



Village of Weston, Wisconsin
MEETING NOTICE

Meeting of: VILLAGE PLAN COMMISSION (PC)

PC Members: White {c}, Diesen, Kollmansberger, Johnson, Lawrence, Schuster, and Zeyghami

Date/Time: Monday, September 12, 2016 @ 6:00 P.M.

Location: Weston Municipal Center (5500 Schofield Ave) – Board Room

Agenda: The agenda packet will be sent out 3 days prior to the meeting.

Attendance: Plan Commission and Department Directors, please indicate if you will, or will not, be attending so we may determine in advance if there will be a quorum.

Questions: Valerie Parker, Recording Secretary
715-359-6114
vparker@westonwi.gov

This notice was posted at the Municipal Center and was e-mailed to local media outlets (Print, TV, and Radio) on 09/07/2016 @ 10:05 a.m.

A quorum of members from other Village governmental bodies (boards, commissions, and committees) may attend the above-noticed meeting in order to gather information. No actions to be taken by any other board, commission, or committee of the Village, aside from the Village Plan Commission and Joint Town & Village Extraterritorial Zoning Committee. Should a quorum of other government bodies be present, this would constitute a meeting pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis.2d 553,494 N.W.2d 408 (1993).

Wisconsin State Statutes require all agendas for Committee, Commission, or Board meetings be posted in final form, 24 hours prior to the meeting. Any posted agenda is subject to change up until 24 hours prior to the date and time of the meeting.

Any person who has a qualifying disability as defined by the Americans with Disabilities Act requires that meeting or material to be in accessible location or format must contact the Weston Municipal Center, by 12 noon, the Friday prior to the meeting, so any necessary arrangements can be made to accommodate each request.



Village of Weston, Wisconsin
OFFICIAL MEETING AGENDA OF THE VILLAGE PLAN COMMISSION

This meeting of the Plan Commission, composed of seven (7) members, will convene at the Weston Municipal Center, Board Room, 5500 Schofield Avenue, Weston, on **Monday, September 12, 2016, at 6:00 p.m.**, to consider the following matters:

A. Opening of Session at 6:00 p.m.

1. Plan Commission meeting called to order Chairman White.
2. Clerk will take attendance and roll call.
3. Request for silencing of cellphones and other electronic devices.

B. Public Comment – PC.

4. Comments from the public on issues, which the PC has oversight, or on business items that might be recommended to the Board of Trustees.

C. Consent Items – PC.

5. [Approve previous meeting\(s\) minutes from the PC, August 8, 2016, regular meeting.](#)

D. New Business – PC.

6. [Discussion and Action on Director’s Recommendation to Approve the Preliminary Plat of Misty Pines Subdivision.](#)
7. [Discussion and Direction on Allowing the Keeping of Animals \(Chickens\) on Residential Lots \(Non-AG\), as Recommended by CLPS Committee.](#)
8. [Discussion and Direction on the Policy Regarding Parking Lot Reconstructions.](#)
9. [Discussion of draft Plans on upcoming Joint Village Board/Plan Commission Public Hearing, scheduled for 6pm on Wednesday, September 21, 2016.](#)
 - a. [Volume 1 – Conditions and Issues \(website link\)](#)
 - b. [Volume 2 – Vision and Directions \(website link\)](#)
 - i. [Discussion on Figure 11-1: Priority Initiatives from Volume 2 of the Village of Weston Comprehensive Plan](#)
 - c. [Volume 3 Supplemental Plan](#)
 - i. [Camp Phillips Corridor Plan \(website link\)](#)
 - ii. [Broadband Technology Plan \(website link\)](#)

E. Reports from Staff.

10. [Report from Planning and Development Director.](#)
11. [Staff Report on staff-approved CSM’s, Site Plans, Sign Permits, Commercial Zoning Permits, and Certificate of Occupancies issued since last report of 08/01/2016.](#)

F. Remarks from Commissioners.

- G. Discuss items to be included for next agenda (No motions will be made, and no action will be taken related to policy affecting the Village of Weston as a result of this agenda item).**
- H. Set next regular meeting date for Monday, October 10, 2016, at 6:00 P.M.**
- I. Adjourn until next meeting (special) date of WEDNESDAY, SEPTEMBER 21, 2016 – End of Session.**

WITNESS: My signature this 9th day of September, 2016.

Valerie Parker
Recording Secretary

This notice was posted at the Municipal Center, and on the Village’s website at www.westonwi.gov, and was emailed to local media outlets (Print, TV, and Radio) on 09/9/2016 @ 4:30 p.m. A quorum of members from other Village governmental bodies (boards, commissions, and committees) may attend the above-noticed meeting in order to gather information. Should a quorum of other government bodies be present, this would constitute a meeting pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis.2d 553,494 N.W.2d 408 (1993). Wisconsin State Statutes require all agendas for Committee, Commission, or Board meetings be posted in final form, 24 hours prior to the meeting. Any posted agenda is subject to change up until 24 hours prior to the date and time of the meeting. Any person who has a qualifying disability, as defined by the Americans with Disabilities Act, requiring that meeting or material to be in an accessible location or format, must contact the Weston Municipal Center at 715-359-6114, so any necessary arrangements can be made to accommodate each request.

Village of Weston, Wisconsin
OFFICIAL PROCEEDINGS OF THE PLAN COMMISSION AND
JOINT TOWN & VILLAGE EXTRATERRITORIAL ZONING COMMITTEE
held on Monday, August 8, 2016 at 6:00 p.m., in the Board Room, at the Municipal Center
Chairman White Presiding.

A. OPENING OF SESSION AT 6:00 P.M.

1. **Joint Town & Village of Weston Extraterritorial Zoning Committee meeting called to order by Olson.**
2. **Plan Commission meeting called to order PC Chairman White.**
3. **Clerk will take attendance and roll call.**

Roll call indicated 5 Joint Town & Village of Extraterritorial Zoning Committee members present.

<u>Member</u>	<u>Present</u>
Christiansen, Randy	NO
Diesen, Dave	YES
Hull, Mark	YES
Kollmansberger, Tina	YES
Olson, Milt	YES
Zeyghami, Hooshang	YES

Roll call indicated 6 Plan Commission members present.

<u>Member</u>	<u>Present</u>
Diesen, Dave	YES
Johnson, Marty	YES
Kollmansberger, Tina	YES
Lawrence, Dennis	NO
Schuster, Fred	YES
White, Loren	YES
Zeyghami, Hooshang	YES

Village Staff in attendance: Higgins, Donner, Wehner, Tatro, Maguire, and Parker. There were about 30 audience members present.

4. **Requests for Silencing of cellphones and other electronic devices.**

B. VISITORS

5. **Charles Newby, Newby's Evergreen Farms, 2910 County Road J, Wausau, Request for zoning ordinance amendment to allow off-premise signs for Christmas Tree farm.**

Charles Newby was present and gave history of how he started out his Christmas tree business. He commented on 25% of sales are from Weston, Kronenwetter, and Rothschild residents. They put up their directional signs throughout out municipalities to get customers to their location. He stated about 5 years ago a change was made to the Weston Zoning, which allowed their signs, but under the new Zoning has changed again, now not allowing these (off-premise) signs.

Diesen questioned the typical locations of Newby's signs, here in Weston. Newby stated the signs in Weston are installed by Kluck's bar and by the Aspirus YMCA. These are installed around Thanksgiving, and removed about the second week in December.

Higgins pointed out the staff briefer, which was included in the packet for further background. She explained what prompted the change back in 2015 was the Plan Commission members not wanting off premise signs. There are also recent legal cases that affect signage and how you regulate them that we now need to take into consideration if we want to entertain Mr. Newby's request. We have to treat every sign the same (cannot base on text). However, Attorney Yde suggested we can base these on size. We do not want off-premise signs popping up all over the Village. We have to either allow all or none of them. We can only regulate the size and duration.

Higgins stated if we were to allow these off-premise signs, this would require us to amend our zoning code, including most likely rewriting the entire sign code Article. Higgins stated staff would like PC to give staff direction; however, with the current department staff workload, there are limitations to when this could be accomplished if the amendment is what PC desires, and

most likely would not occur in time for when Newby would like his signs posted. Johnson questioned the enforcement procedures. Higgins stated it would initially be a phone call, followed by a letter, followed by the sign removal by the Village. Most times if they are smaller signs in the right of way, staff just removes them.

Schuster supports Newby’s business, but realizes if we allow him to post his off-premise signs, we would be opening ourselves to everyone else posting their off-premise signs. Schuster stated he is not in favor of changing the zoning code. Higgins stated the Village offers e-news, so we can help spread the word that way for Mr. Newby and have compiled lists in the past of Christmas Tree and pumpkin/orchards in the past that we have shared on our website, social media and e-news outlets.

Schuster/Kollmansberger to continue the code as is. Diesen opposes.

Motion by Schuster, second by Kollmansberger, to continue with the Zoning and Sign Code as is. Diesen opposes. Motion carried.

Yes Vote: 5 No Votes: 1 Abstain: 0 Not Voting: 1 Result: PASS

<u>Member</u>	<u>Voting</u>
Diesen, Dave	NO
Johnson, Marty	YES
Kollmansberger, Tina	YES
Lawrence, Dennis	NO
Schuster, Fred	YES
White, Loren	YES
Zeyghami, Hooshang	YES

No action was taken by ETZ.

C. UNFINISHED BUSINESS BEFORE VILLAGE PLAN COMMISSION AND JOINT TOWN & VILLAGE EXTRATERRITORIAL ZONING COMMITTEE

6. Ordinance No. 16-032 An Ordinance Creating Section 94.4.10(14) of the Zoning Ordinance Entitled Temporary Asphalt, Batch or Concrete, Stone Crushing and/or Processing Operations and Adding this New Temporary Land Use to the Temporary Land Use Category Within the Charts Displayed in Figures 3.04 and 3.05 of the Village Zoning Ordinance. Higgins stated staff took changes as suggested at the July 11th public hearing and placed those suggestions into the ordinance. Wehner summarized the changes that were made.

Hull questioned if a Temporary Use Permit would be issued to a property within the ETZ, without a Conditional Use Permit, if the duration would be less than 6 months. Wehner answered no. ETZ properties would require a Conditional Use Permit regardless of length of time.

Hull questioned if under #1 of the Performance Standards, if “a” and “b” only apply to the ETZ area. Hull feels this first section should be restructured, as any resident reading this may interpret the main text in #1 to apply to them (ETZ properties), not realizing ETZ properties would be the exception, and follow “a”. Hull feels the language pertaining to the ETZ should be written first, or separated more clearly.

PC members felt this was clear that ETZ properties fall under exception “a”. Hull is fine, then, but just wants to be sure this is clear. Diesen questioned if this have been reviewed by our legal counsel yet? Higgins answered that these are not normally given to our attorney for review.

7. Discussion and Action by Joint Town & Village of Weston Extraterritorial Zoning Committee on Director’s recommendation to approve the Zoning Ordinance Amendment, Ordinance No. 16-032, per the specifications, conditions, and limitations of the submitted staff reports, and forward to the Board of Trustees for their consideration and final approval.

Motion by Diesen, second by Hull, to approve Zoning Ordinance Amendment Ordinance No. 16-032, subject to legal counsel approval, and per the specifications, conditions, and limitations of the submitted staff reports, and forward to the Board of Trustees for their consideration and final approval.

Yes Vote: 5 No Votes: 0 Abstain: 0 Not Voting: 1 Result: PASS

<u>Member</u>	<u>Present</u>
Christiansen, Randy	NO
Diesen, Dave	YES
Hull, Mark	YES
Kollmansberger, Tina	YES
Olson, Milt	YES
Zeyghami, Hooshang	YES

8. **Discussion and Action by Village Plan Commission on Director’s recommendation to approve the Zoning Ordinance Amendment, Ordinance No. 16-032, per the specifications, conditions, and limitations of the submitted staff reports, and forward to the Board of Trustees for their consideration and final approval.**

Motion by Schuster, second by Diesen, to approve Zoning Ordinance Amendment Ordinance No. 16-032, subject to legal counsel approval, and per the specifications, conditions, and limitations of the submitted staff reports, and forward to the Board of Trustees for their consideration and final approval. Q: Hooshang clarified this Section 94.4.10 is within Village zoning.

Yes Vote: 6 No Votes: 0 Abstain: 0 Not Voting: 1 Result: PASS

<u>Member</u>	<u>Voting</u>
Diesen, Dave	YES
Johnson, Marty	YES
Kollmansberger, Tina	YES
Lawrence, Dennis	NO
Schuster, Fred	YES
White, Loren	YES
Zeyghami, Hooshang	YES

D. PUBLIC HEARINGS BEFORE VILLAGE PLAN COMMISSION AND JOINT TOWN & VILLAGE EXTRATERRITORIAL ZONING COMMITTEE

White and Olson Opened the Hearings at 6:32 p.m.

9. **Ordinance No. 16-034 An Ordinance Amending Section 94.4.09(2) of the Zoning Ordinance Entitled *Detached Accessory Structure (For Residential Use)***

No one spoke in favor or opposition.

Wehner explained when trying to regulate these across the board as the same, we found it difficult to regulate when you get into the agricultural district, with larger parcels. Staff clarified the restriction of one principal structure, one detached garage, one utility shed, and one gazebo to mean the residential district including the RR-2 district. This will allow in the RR-5 and AR districts to allow up to 5 detached accessory structures (such as like a farm). Also raised the maximum size of the accessory structures, and if the structure is over 2,000 sq. ft., and in the AR or RR-5 zone, it would be considered a principal structure, and must follow those setbacks.

10. **Ordinance No. 16-035 An Ordinance Amending Figure 5.01(1) of the Village Zoning Ordinance Entitled *Rural, Open Space and Residential District Lot Dimension and Intensity Standards.***

No one spoke in favor or opposition.

Wehner explained staff added a clarifier for total square footage of accessory structures floor area, which he came up with 2,500 sq. ft. Plan Commission can approve anything larger than what is allowed (not having to get a variance) in the figure.

Johnson questioned how many principal structures can be on a lot. Wehner stated zoning code does not limit the number of principal structures.

11. Ordinance No. 16-036 An Ordinance Amending Section 94.3.05: Figure 3.05 of the Village Zoning Ordinance Entitled Allowable Uses in Non-Residential and Mixed Use Zoning Districts.

No one spoke in favor or opposition.

Wehner commented in reaction to a lot of properties across from the Municipal Center, in the old Weston Commercial development, wanting to have more light industrial uses, we are changing the B-3 district to allow more indoor storage or wholesaling as a permitted use, along with adding light industrial activities, incidental to indoor sales or service, as a permitted use in the B-3 District.

12. Ordinance No. 16-037 An Ordinance Creating Section 94.16.18(5) of the Zoning Ordinance Entitled Parkland Fees.

No one spoke in favor or opposition.

Higgins stated this was brought up a few months ago. Within Chapter 74 Subdivision, we did not have a way to collect parkland dedication fees, or parkland, without there being a land division. If approved, during a site plan, rezone, or new apartment complex (who will put needs on our park system) is proposed, we can collect the fees or obtain the needed parkland land through dedication. White confirmed apartments do impact our park systems.

Olson and White closed the public hearings, Items #9 – 12, at 6:45 p.m.

13. Discussion and Action by Joint Town & Village of Weston Extraterritorial Zoning Committee on Director’s recommendation to approve the following Zoning Ordinance Amendments, per the specifications, conditions, and limitations of the submitted staff reports, and forward to the Board of Trustees for their consideration and final approval.

a. Ordinance No. 16-034 An Ordinance Amending Section 94.4.09(2) of the Zoning Ordinance Entitled *Detached Accessory Structure (For Residential Use)*.

Motion by Kollmansberger, second by Diesen, to approve Ordinance No. 16-034, per the specifications, conditions, and limitations of the submitted staff reports, and forward to the Board of Trustees for their consideration and final approval. Q: Hull questioned #1, uses the term “Lot”, then #2 uses the term “Parcel”, and confirmed this was Wehner’s intent. Hull is okay with this. Motion carried.

Yes Vote: 5 No Votes: 0 Abstain: 0 Not Voting: 1 Result: PASS

<u>Member</u>	<u>Present</u>
Christiansen, Randy	NO
Diesen, Dave	YES
Hull, Mark	YES
Kollmansberger, Tina	YES
Olson, Milt	YES
Zeyghami, Hooshang	YES

b. Ordinance No. 16-035 An Ordinance Amending Figure 5.01(1) of the Village Zoning Ordinance Entitled Rural, Open Space and Residential District Lot Dimension and Intensity Standards.

Motion by Hull, second by Kollmansberger, to approve Ordinance No. 16-035, per the specifications, conditions, and limitations of the submitted staff reports, and forward to the Board of Trustees for their consideration and final approval.

Yes Vote: 5 No Votes: 0 Abstain: 0 Not Voting: 1 Result: PASS

<u>Member</u>	<u>Present</u>
Christiansen, Randy	NO
Diesen, Dave	YES
Hull, Mark	YES
Kollmansberger, Tina	YES
Olson, Milt	YES
Zeyghami, Hooshang	YES

- c. Ordinance No. 16-036 An Ordinance Amending Section 94.3.05: Figure 3.05 of the Village Zoning Ordinance Entitled *Allowable Uses in Non-Residential and Mixed Use Zoning Districts*.

Motion by Kollmansberger, second by Zeyghami, to approve Ordinance No. 16-036, per the specifications, conditions, and limitations of the submitted staff reports, and forward to the Board of Trustees for their consideration and final approval.

Yes Vote: 5 No Votes: 0 Abstain: 0 Not Voting: 1 Result: PASS

<u>Member</u>	<u>Present</u>
Christiansen, Randy	NO
Diesen, Dave	YES
Hull, Mark	YES
Kollmansberger, Tina	YES
Olson, Milt	YES
Zeyghami, Hooshang	YES

- d. Ordinance No. 16-037 An Ordinance Creating Section 94.16.18(5) of the Zoning Ordinance Entitled *Parkland Fees*.

Motion by Diesen, second by Kollmansberger, to approve Ordinance No. 16-037, per the specifications, conditions, and limitations of the submitted staff reports, and forward to the Board of Trustees for their consideration and final approval.

Yes Vote: 5 No Votes: 0 Abstain: 0 Not Voting: 1 Result: PASS

<u>Member</u>	<u>Present</u>
Christiansen, Randy	NO
Diesen, Dave	YES
Hull, Mark	YES
Kollmansberger, Tina	YES
Olson, Milt	YES
Zeyghami, Hooshang	YES

14. Discussion and Action by Village Plan Commission on Director’s recommendation to approve the following Zoning Ordinance Amendments, per the specifications, conditions, and limitations of the submitted staff reports, and forward to the Board of Trustees for their consideration and final approval.

- a. Ordinance No. 16-034 An Ordinance Amending Section 94.4.09(2) of the Zoning Ordinance Entitled *Detached Accessory Structure (For Residential Use)*.
- b. Ordinance No. 16-035 An Ordinance Amending Figure 5.01(1) of the Village Zoning Ordinance Entitled *Rural, Open Space and Residential District Lot Dimension and Intensity Standards*.
- c. Ordinance No. 16-036 An Ordinance Amending Section 94.3.05: Figure 3.05 of the Village Zoning Ordinance Entitled *Allowable Uses in Non-Residential and Mixed Use Zoning Districts*.
- d. Ordinance No. 16-037 An Ordinance Creating Section 94.16.18(5) of the Zoning Ordinance Entitled *Parkland Fees*.

Motion by Schuster, second by Diesen, to approve the Zoning Ordinance Amendments 16-034, 16-035, 16-036, and 16-037, per the specifications, conditions, and limitations of the submitted staff reports, and forward to the Board of Trustees for their consideration and final approval.

Yes Vote: 6 No Votes: 0 Abstain: 0 Not Voting: 1 Result: PASS

<u>Member</u>	<u>Voting</u>
Diesen, Dave	YES
Johnson, Marty	YES

Kollmansberger, Tina	YES
Lawrence, Dennis	NO
Schuster, Fred	YES
White, Loren	YES
Zeyghami, Hooshang	YES

E. PUBLIC HEARING BEFORE THE JOINT TOWN & VILLAGE EXTRATERRITORIAL ZONING COMMITTEE

15. Conditional Use Permit (CU-7-16-1599) Paul and Sylvia Legenza, 7505 Gusman Road, Tourist Rooming House Land Use Within the RR-5 Zoning District.

Olson opened the public hearing at 6:55 p.m.

Sylvia & Paul Legenza, 7505 Gusman Road, were present in support. It was explained they have lived here for 20 years, and their house is in the middle of 5 acres. They have a 6-bedroom home, and they would like to open their home up to travelers, such as nursing professionals doing short-term stays in Wausau who have a contract with the hospital, they can provide the lodging. She stated their home has 3 bathrooms. This would be an option to those people, versus a hotel stay.

Kollmansberger questioned this being a 6-bedroom home, when the staff report indicates there are only 4 bedrooms. Legenza confirmed there are 6 bedrooms. The bedrooms are upper and lower, currently no one else resides there with the Legenza's.

Olson confirmed Legenza's will remain living in the home. Also confirmed parking would not be an issue.

Diesen questioned the minimum and maximum length of stays for their guests. Legenza stated the minimum stay would be an overnight. The maximum would be up to 13 week contracts or longer. Legenza stated they have a large kitchen with 2 refrigerators, and guests would be able to use the kitchen as they like.

Zeyghami questioned if the septic system is designed to handle more people in the home. Legenza stated when the house was built, it was built for their family with 3 children.

Legenza explained to Diesen the maximum number of guests would be 8. She does not necessarily see this many guests here at a time, but possible for a couple of days if there is an overlap.

Legenza confirmed this will be offered year round.

It was confirmed to Johnson that there are two exits to all bedrooms, as all bedrooms include an egress window along with the doorway. It was explained that there are three accesses into this home. The main front entrance, an entrance to the lower level through the garage, and entrance to kitchen through garage also.

There was discussion that once this receives approval here, they would then apply for a license through the County. It was also brought up that Legenza's would be subject to all sales taxes. Olson asked about Room Taxes, which Higgins explained the Town does not have this capability in place at this time. It would require the Town adopting a Room Tax Ordinance.

Kollmansberger asked how Legenza's are advertising. Legenza stated she will be advertising through Air B&B. She explained that though she could take in weekend travelers, she would prefer longer stay guests. Diesen questioned any other amenities that are being offered. Legenza stated private bedroom, but common areas for kitchen, living room, and laundry.

Olson closed the hearing at 7:06 p.m.

a. Discussion and Action by ETZ on Director's recommendation to approve the Conditional Use Permit per the specifications, conditions, and limitations of the submitted staff report.

Higgins pointed out the draft states the performance standards Legenza's will be required to meet, under #1. This includes staff's recommendations. They would not be able to have more than 8 guests.

Motion by Diesen, second by Zeyghami, to approve CU-7-16-1599, per the specifications, conditions, and limitations of the submitted staff reports, and forward to the Board of Trustees for their consideration and final approval. Q: Kollmansberger questioned if there is a limit to the length of stay they can have before this turns into a regular rental. Higgins stated ETZ could place a limit. Hull questioned if the definition in the ordinance on the period of time 30 days or less, same as State

code? Wehner commented the Administrative code changed, and we should be consistent. It was confirmed that they would have to have 30-day contracts, and renew for another 30 days, if longer. Olson commented about going to legal counsel for room tax. Higgins stated she believed you needed to have it in place already to collect. Hull questioned the enforcement. Nuisances would come to Village, and Health Department would be responsible for licensing issues. White stated if the Town were to pass a room tax ordinance, a majority of that goes to the CVB. Higgins commented CU runs with the applicant in this case. If the use ceases for 12 months than it expires. If a transfer of ownership, they would have to come back through. Olson questioned placing a condition that the owners must reside on premises? Higgins stated this would not be a requirement under the definition of a Tourist Rooming House, but ETZ can place that requirement. Higgins confirmed to Zeyghami that 8 is the maximum number of guests that can stay here.

Kollmansberger motioned, second by Hull, to make an amendment to the original motion to add the requirement that the owners need to reside on the premises, and to approve Option #1 within the Staff Report. Q: Legenza questioned if this would affect their traveling to Florida for a month during the winter. It was explained that since their primary residence is here, they would not be affected. Diesen feels it is not necessary to restrict the owners to residing here. He said he knows others in a similar situation in Kronenwetter, where the owners live across the road, and with them living so close by, the home basically manages itself. He feels this is a popular trend now, and sees this coming up again. Diesen voted nay.

Motion to approve the conditional use permit, with Staff's option #1, with the amendment that the owners need to reside on the premises. Diesen voted nay.

Motion carried.

Yes Vote: 4 No Votes: 1 Abstain: 0 Not Voting: 1 Result: PASS

<u>Member</u>	<u>Present</u>
Christiansen, Randy	NO
Diesen, Dave	NO
Hull, Mark	YES
Kollmansberger, Tina	YES
Olson, Milt	YES
Zeyghami, Hooshang	YES

F. PUBLIC COMMENT – ETZ.

16. Comments from the public on issues, which the ETZ has oversight, or on business items that might be recommended to the Board of Trustees.

None.

G. CONSENT ITEMS – ETZ.

17. Approve previous meeting(s) minutes from the ETZ, July 11, 2016.

Motion by Kollmansberger, second by Hull, to approve previous meeting(s) minutes from the ETZ, July 11, 2016. (Diesen stepped out of room during this motion).

Yes Vote: 4 No Votes: 0 Abstain: 0 Not Voting: 2 Result: PASS

<u>Member</u>	<u>Present</u>
Christiansen, Randy	NO
Diesen, Dave	NO
Hull, Mark	YES
Kollmansberger, Tina	YES
Olson, Milt	YES
Zeyghami, Hooshang	YES

H. ADJOURN ETZ

18. Adjourn ETZ Committee.

Motion by Hull, second by Kollmansberger, to adjourn at 7:22 p.m.

I. PUBLIC HEARINGS BEFORE VILLAGE PLAN COMMISSION

White opened the hearings at 7:23 p.m.

19. Conditional Use Permit (CU-7-16-1603), Lewis Properties, LLC, 9309 Camp Phillips Road, Solid Waste Disposal, Composting, an/or Recycling Facility Use within the LI Zoning District.

Dan Higginbotham, PGA Inc., 7306 Zinser Street, Weston, and Steve Lewis, 6611 Peninsula Lane, Weston, were present in support. Mitch King, 6205 Municipal Street, was also present.

Higginbotham stated they have contracted with Lewis construction to clean up and process the accumulated concrete (accumulated over the past 15 years) on the Lewis property. He explained that Lewis had recently received a letter from the Village, requiring them to cease their operations. Lewis has no intentions of operating out of this site, and have contacted PGA to help clean up the site. Higginbotham stated PGA vessel for clean-up and cause the material to be crushed and exported from the site. It was explained the crusher has magnets built in, so any metal rods within the concrete will be separated and then recycled at Yaeger Auto Salvage. Crushing process will take about 3 weeks. Higginbotham stated Mitch King's son, Jeremy King, will do the crushing, which is not scheduled yet. Higginbotham stated once crushed, the material will be made into base course and removed from the site over a period of time. He is anticipating the crushing would take place this fall. There most likely will be no work taking place late this fall until spring, and then they can remove the material during next construction season.

Lewis commented how all the existing concrete on their property has been pushed into one pile. The goal now is to take that pile and crush it into a usable product, and into a road base that PGA can use on their projects. What is left over was from a 20-year operation, which they no longer plan to bring and place material there in the future. Zeyghami questioned how they will keep the dust and noise down. Higginbotham stated they can water down the area.

Higginbotham stated there may be days where they take two truckloads out, and other days where they take 50 truckloads out of there. Higginbotham stated based on their calculations, looking at the existing pile, they are anticipating about 12,000 cubic yards of material. It was brought up the application stated 8,000 yards. Higginbotham stated what is on the application was based on Lewis's measurements, but they think it may be closer to 12,000 cubic yards.

Higginbotham stated they may have to bring some sand in to the site, only for blending purposes, to allow them to meet the State's 305 requirements. He stated they have American Engineering and Testing at their project sites doing periodic testing of the material to be sure it is blended right. Higginbotham confirmed they would not be hauling anything else in, other than sand for blending. King stated his son plans to crush in September. Once they start the crushing they will continue until it is completed. Higgins stated they only get 30 consecutive days to perform the crushing, from 7am – 5pm, Monday – Friday and 7am to noon on Saturday. They need to inform us when they start and when they finish the crushing project. Higgins stated the noise and dust standards and enforcement all fall under Article 12, of Chapter 94, so if there are complaints that is where we would regulate from.

Higginbotham brought up that in his application, he meant 12 trucks in rotation, not 12 trucks per day.

Johnson questioned if December 1, 2017, would be sufficient for completing this project and having it all removed.

No one spoke in opposition.

White closed the hearing at 7:36 p.m.

a. Discussion and action by PC on Director's recommendation to approve the Conditional Use Permit per the specifications, conditions, and limitations of the submitted staff report.

Donner confirmed the material they are bringing in is sand for road base. Higginbotham stated since they do not know what material is under the pile, they will not know until they start the work. Higginbotham stated when they performed the crushing operations at Ministry in Wausau, there was a total of 15,000 cubic yards of pure rock, and they had to bring in about 1,000 yards of sand. Zeyghami questioned the amount of waste. Higginbotham anticipates everything will get trucked off. White confirmed staff needs to make changes to the final conditional use permit, based on tonight's discussion. Donner suggested to change within (a), from no more than +-8,000 cubic yards to instead state to "limit to material on the site, an estimated quantity of between 8,000 – 12,000 cubic yards", and add a letter to indicate an amount of material to be brought on site strictly for blending.

Higgins briefly summarized changes that staff can make, based on the main points PC would like to see:

- *Adding “limit to material on the site, an estimated quantity of between 8,000 – 12,000 cubic yards”
- *Change (h) from 12 trucks per day to 12 truck rotations.
- *Bringing in ancillary material to make an acceptable road base.

Diesen suggested staff can adjust the ordinance. There was discussion that once the crushing operations begins is the only time when blending material will come in, as they do the blending with the crushing. There would be no reason to bring material in after the crushing is completed.

Motion by Schuster, second by Diesen, to approve CU-7-16-1603, based on staff adding language on amount of material there, and amount of material coming in, per the specifications, conditions, and limitations of the submitted staff report.

Yes Vote: 6 No Votes: 0 Abstain: 0 Not Voting: 1 Result: PASS

<u>Member</u>	<u>Voting</u>
Diesen, Dave	YES
Johnson, Marty	YES
Kollmansberger, Tina	YES
Lawrence, Dennis	NO
Schuster, Fred	YES
White, Loren	YES
Zeyghami, Hooshang	YES

20. REZN-7-16-1597 Jennifer Higgins, Village of Weston, 5500 Schofield Avenue, Weston, requesting a rezoning from B-2 (Highway Business) with WHP-A (Wellhead Protection Zone – A) to MF (Multiple Family) with WHP-A (Wellhead Protection Zone – A), on property along Neupert Avenue, Described as Outlot 1 of Certified Survey Map No. 15481, Volume 70, Page 63, and consists of 0.178 acres.

Wehner stated he and Parker noticed that this property was zoned in error to B2. It was previously zoned under the old zoning code as B-3, then when this lot was split (west half to Kwik Trip, east half to apartments), and never correctly zoned to MF with the zoning ordinance update project in 2015.

White closed the hearing at 7:37 p.m.

- a. Discussion and action by PC on Director’s recommendation to approve REZN-7-16-1597, per the specifications, conditions, and limitations of the submitted staff report.**

Motion by Johnson, second by Zeyghami, to approve REZN-7-16-1597, per the specifications, conditions, and limitations of the submitted staff report.

Yes Vote: 6 No Votes: 0 Abstain: 0 Not Voting: 1 Result: PASS

<u>Member</u>	<u>Voting</u>
Diesen, Dave	YES
Johnson, Marty	YES
Kollmansberger, Tina	YES
Lawrence, Dennis	NO
Schuster, Fred	YES
White, Loren	YES
Zeyghami, Hooshang	YES

21. REZN-7-16-1600 – State Highway “29” and County Highway “J” Interchange – South, Rezone from B-2 (Highway Business) to B-3 (General Business)

Wehner stated this was prompted by the use table changing. This is in the outer limits of the Village and staff is proposing a change to B3 to allow for more industrial uses (the majority through the conditional use process). Also in properties along the TIF district, this counts as industrial in TIF 1.

Wehner stated with general business, all storage is contained inside, with the exception of outdoor display. Anything that would be industrial in use would require a conditional use permit and strict performance standards, and also strict performance standards if next to a residential use. This area of rezone is south of STH-29. If there is a residential neighbor in another township, there still needs to be a buffer. A resident questioned if this includes areas south of Weston Avenue. Staff responded yes, the buffer applies along Weston Avenue. Higgins stated this area used to be M1 in our old zoning code which allowed for a heavy industrial, with the new zoning code it went to B2, Highway Business.

Lee & Gretchen Kluz, R10530 Weston Avenue, Ringle, were concerned how this will impact residential uses just outside of the municipal boundary.

Helen Champaign, 2812 E. Neupert Avenue, was present, and expressed her concern for the residents in the Highway J area. She does not want to see a 24-hour bar or hotel. She would prefer to see a store that closes at 9:00 p.m.

Higgins clarified the difference between the two public hearings tonight. White commented Schofield Avenue is meant for commercial, not industrial, in the future land use plan.

Sharon Ruhl, 2711 E. Neupert Avenue, was present as a concerned resident. She confirmed Schofield Avenue is going from B3 – B2. She is concerned that some retail businesses are causing issues, such as at Target there was a forklift from a tractor trailer that was beeping at 4:30 a.m. She also gave an example of issues with noise at Wendy’s at 1:30 a.m., where equipment was being used to drain out old cooking oil.

White closed the hearing at 7:51 p.m.

a. Discussion and Action by Plan Commission on Director’s Recommendation to approve Ordinance No. 16-040, An Ordinance to Approve the Rezoning of Land from B-2 (Highway Business) to B-3 (General Business), at the Intersection of Weston Avenue and County Road J, and on Adventure Way, Sections 24 and 25, Village of Weston, Marathon County, Wisconsin, per the specifications, conditions, and limitations of the submitted staff report and forward to the Board of Trustees for their consideration and final approval.

Motion by Diesen, second by Kollmansberger, to approve REZN-7-16-1600, per the specifications, conditions, and limitations of the submitted staff report.

Yes Vote: 6 No Votes: 0 Abstain: 0 Not Voting: 1 Result: PASS

<u>Member</u>	<u>Voting</u>
Diesen, Dave	YES
Johnson, Marty	YES
Kollmansberger, Tina	YES
Lawrence, Dennis	NO
Schuster, Fred	YES
White, Loren	YES
Zeyghami, Hooshang	YES

22. REZN-7-16-1602 – Schofield Avenue Corridor Rezone from B-3 (General Business) to B-2 (Highway Business).

Wehner clarified the changes between the B3 and B2, and how the B2 does not allow for any industrial uses.

Ruhl stepped forward again and asked if there is a particular project coming forward that is prompting this? Higgins stated there are currently no planned projects in the area prompting this zoning change. She stated this came about with the new code, through that process, we remapped the Village. Wehner stated General Business in the old code and the new code serve different very different purposes. The vision was for Schofield Avenue to be commercial, where the old code industrial uses were more prominent. Ruhl confirmed the allowed uses would be more resident friendly.

Ark Rhomine, John Prey, and Brandon O'Connor, of Habitat Humanity, 1810 Schofield Avenue, were present. They are closing next week on the 1810 Schofield Avenue property for their new office and Recycled Building Materials (RBM) facility. They are in support of these changes, but want to verify they are still within the legal limits with their proposed use. Higgins stated staff can send them a response on their planned use at this time and when the code changes would take effect, and explained this rezone request is not final until the Board approves the change by ordinance and the ordinance is published.

Bob Arndt, 5703 Camp Phillips Road, wanted to clarify this will not negatively affect this business on Camp Phillips Road. He stated he would prefer the zoning on his properties stay the same.

White closed the hearing at 8:09 p.m.

- a. **Discussion and Action by Plan Commission on Director's recommendation to approve Ordinance No. 16-039, an Ordinance to Approve the Rezoning of Land from B-3 (General Business) to B-2 (Highway Business), on Schofield Avenue, from Business Highway 51 to Von Kanel Street of Sections 16, 17, and 18; and on Business Highway 51, from Schofield Avenue to South of Post Avenue, Village of Weston, Marathon County, Wisconsin, per the specifications, conditions, and limitations of the submitted staff report and forward to the Board of Trustees for their consideration and final approval.**

8:22 Motion by Schuster, second by Johnson, to approve REZN-7-16-1600, per the specifications, conditions, and limitations of the submitted staff report.

Yes Vote: 6 No Votes: 0 Abstain: 0 Not Voting: 1 Result: PASS

<u>Member</u>	<u>Voting</u>
Diesen, Dave	YES
Johnson, Marty	YES
Kollmansberger, Tina	YES
Lawrence, Dennis	NO
Schuster, Fred	YES
White, Loren	YES
Zeyghami, Hooshang	YES

J. PUBLIC COMMENT – PC

- 23. **Comments from the public on issues, which the PC has oversight, or on business items that might be recommended to the Board of Trustees.**
None.

K. CONSENT ITEMS – PC

- 24. **Approve previous meeting(s) minutes from the Plan Commission July 11, 2016, regular meeting.**

Motion by Diesen, second by Johnson, to approve the Plan Commission July 11, 2016 regular meeting minutes.

Yes Vote: 6 No Votes: 0 Abstain: 0 Not Voting: 1 Result: PASS

<u>Member</u>	<u>Voting</u>
Diesen, Dave	YES
Johnson, Marty	YES
Kollmansberger, Tina	YES
Lawrence, Dennis	NO
Schuster, Fred	YES
White, Loren	YES
Zeyghami, Hooshang	YES

I. NEW BUSINESS - PC

25. Discussion and Action by Plan Commission on Director’s Recommendation to approve the Camp Phillips Corridor – South Neighborhood – SE Quadrant General Plan, per the specifications, conditions, and limitations of the submitted staff report and forward to the Board of Trustees for the consideration and final approval.

Higgins stated the Plan was presented to them at the June meeting via a presentation by Justin Frahm of JSD. The presentation and maps shown were now placed in a formal document. This document will get used going forward in the Camp Phillips Corridor Plan Mark Roffers (MDRoffers) is preparing for us, and will also be used in working with the DOT, DNR, and Marathon County to get the wetland crossing for the extension of Westview Blvd.

Motion by Schuster, second by Johnson, to approve Camp Phillips Corridor – South Neighborhood, per the Specifications, Conditions, and Limitations of the Submitted Staff Report and Forward to the Board of Trustees for their Consideration and Final Approval.

Yes Vote: 6 No Votes: 0 Abstain: 0 Not Voting: 1 Result: PASS

<u>Member</u>	<u>Voting</u>
Diesen, Dave	YES
Johnson, Marty	YES
Kollmansberger, Tina	YES
Lawrence, Dennis	NO
Schuster, Fred	YES
White, Loren	YES
Zeyghami, Hooshang	YES

26. Discussion on Draft Camp Phillips Corridor Plan.

Higgins stated we need to schedule a special meeting to go through these and schedule a public hearing. It was suggested to send out a Doodle Poll for a Wednesday night meeting. Some members agree 5:00 p.m. would be preferred, though Johnson prefers 6:00 p.m. Johnson stated regardless, he will not be able to meet next Wednesday, August 17th.

Higgins will talk to Roffers on the process, as she feels we need to have another public meeting on these plans and be in touch with the members for a plan for the approval process and potential meeting needs.

27. Discussion on Draft Comprehensive Plan – Volume 1 and Volume 2

a. Discussion on Figure 11-1: Priority Initiatives from Volume 2 of the Village of Weston Comprehensive Plan.

The members did not discuss. A similar approval process will be planned with the members following Higgins discussion with Roffers.

M. REPORTS FROM STAFF

28. Report from Planning and Development Director.

Higgins will send her report to everyone by the end of the week. She then pointed out the site plans that staff has either approved or is working on. She reported on the Broadband Phase 2 project, which should hopefully be wrapping up in the next few weeks.

29. Staff Report on staff-approved CSM’s, Site Plans, Sign Permits, Commercial Zoning Permits, and Certificate of Occupancies issued since last reported of 07/01/2016.

N. REMARKS FROM COMMISSIONERS.

Zeyghami is still looking for traffic report and plans he requested 60 days ago from Guild and JSD. Higgins thought Guild had already sent this to him through e-mail twice. A paper copy would be best to provide to Zeyghami. Higgins will relay this to Guild and will have the appropriate items copied and made available for Zeyghami.

O. DISCUSS ITEMS TO BE INCLUDED FOR NEXT AGENDA.

None.

P. SET NEXT REGULAR MEETING DATE FOR MONDAY, SEPTEMBER 12, 2016, AT 6:00 P.M.

The next regular meeting is set for September 12th, and a special Wednesday night meeting will be scheduled at a later date following Higgins discussion with Roffers.

Q. ADJOURN.

13. Adjourn Plan Commission.

Motion by Johnson, second by Kollmansberger to adjourn at 8:37 p.m.

Loren White, Chairman
Jennifer Higgins, Director of Planning & Development
Valerie Parker, Recording Secretary

Village of Weston, Wisconsin
AGENDA ITEM COVERSHEET
Request for Official Consideration and Review from Plan Commission

REQUEST FROM: **JENNIFER HIGGINS, PLANNING AND DEVELOPMENT DIRECTOR**
 KEITH DONNER, DIRECTOR OF SERVICES

ITEM DESCRIPTION: **MISTY PINES SUBDIVISION PRELIMINARY PLAT REVIEW**

DATE/MTG: **PLAN COMMISSION, MONDAY SEPTEMBER, 12, 2016**

REQUESTED ACTION: Applicant would like approval of the Preliminary Plat as submitted.

POLICY QUESTION: Should the Plan Commission approve the preliminary plat w/o any conditions?

RECOMMENDATION: I make a motion to endorse approval, and recommend that the Board of Trustees adopt a resolution incorporating the conditions and stipulations under item A below as recommended by the Zoning Administrator, the Director of Services, and the Property & Infrastructure Committee detailed below.

APPLICANT: G & S Investments, 7306 Zinser Street, Weston, WI 54476

PROPERTY OWNER: G & S Investments, 7306 Zinser Street, Weston, WI 54476

PROPERTY DESCRIPTION: All of lots 1, 2, and 3 of Volume 32 Certified Survey Maps Page 145, and all of Lot 3 of Volume 30 Certified Survey Maps, Page 191, Located in Part of the Southeast ¼ of the Northwest ¼ of Section 17, Township 28 North, Range 8 East, Village of Weston, Marathon County, Wisconsin

ZONING: SF-S Single Family Residential -Small Lot

SURROUNDING LAND USES: MF Multiple Family Residential (North and East), SF-S Single Family Residential - Small Lot (West and South)

CONDITIONS OF APPROVAL: Since there is some question as to the suitability of the 28-foot street cross section with 2-foot wide flat curbs, approval of the final plat approval will be based on the following conditions.

A. Provided the Plan Commission agrees with the recommendation of the Property & Infrastructure Committee (See attached staff report and back-up) regarding the typical street cross section of 24 feet of pavement with a 2-foot curb, infiltration swale/ditch and 5 foot sidewalks on both sides, the following changes/additions must be made to the Plat (see attached marked up preliminary plat for more detail):

1. Update owner contact information to include email address.
2. Update Surveyor contact information to include email address.
3. Add Engineer contact information.
4. Increase R.O.W. width to 66 feet at east end of Sternberg, reducing to 60 feet at common lot boundary of Lots 41 & 42 and west of lot 43 to allow for transition of street and sidewalk construction.

5. Add access restrictions to:
 - a. The entire north line (Ross Avenue) and the north 67 feet of the east side (Misty Pines Lane) of Lot 1.
 - b. The west 69 feet of the south line of Lot 11 (Archer Street)
 - c. The west 65 feet of the north line of Lot 14. (Archer Street)
 - d. The west 65 feet of Lot 15 (Sternberg Ave.)
 - e. The entire west line (Fox Street) and the west 92 feet of the north line (Sternberg Ave.) of Lot 32
6. Add a 15-foot wide snow storage easement parallel to the access control area of Lots 11 and 14.
7. Add all building setback lines to the preliminary plat (Sec. 74.3.04, (c), 6.
 - a. 30-foot front yard
 - b. 8-foot side yard (interior lot line)
 - c. 20-foot rear yard
 - d. 20-foot non-drive side yard of corner lot (for interior corner lots 4, 12, 17, 19, 23, 26, 31, 43, show 30-foot setback on both street sides with a note on the Preliminary Plat indicating front or side yard designation is determined based on the street from which the lot is accessed)
8. Show lot lines on corner lots with a minimum 25-foot radius per Sec. 74.6.10(4) and show setback lines consistent with the property boundaries.
9. Show vision triangles at R.O.W. lines at all intersections per Section 71.6.01 (2)
10. Add minimum first floor building elevations based on proposed average centerline elevation of street(s) fronting each lot. In lieu of indicating these elevations on the plat they may be indicated in a table on the plat.
11. Show WPS, Charter, and Frontier easements and provide verification letters from each verifying they have received a copy of the plat and agree to any easement locations and dimensions.
12. Show all proposed easements and include a note(s) as to the purpose of the easement and the grantee(s).
13. Provide a note on the plat that property owners are required to maintain any storm water easements.
14. Provide a note on the plat that fences may be placed in the storm water easement however, they may be removed due to Village need to access the stormwater areas. Cost to reinstall the fence will be at the owner's expense.
15. Payment of Parkland Dedication Fees of \$11,956 (49 lots at \$244 per lot), or dedication of parkland as required by the Park and Recreation Committee, or combination of fee and parkland dedication consistent with the Village's Comprehensive Outdoor Recreation Plan.
16. Approval of plans for public improvements by the Director of Public Works/Director of Services in accordance with the requirements of Chapter 74 and other construction standards of the Village of Weston including street tree planting.
17. Execution of a Development Agreement in accordance with Section 74.7.03 which requires a performance guarantee (i.e., financial security, bond, etc.) for public improvements based on the level of completeness of the public improvements at the time of filing of the final plat and which also includes the conditions upon which building permits may be issued, among other things.

B. If the Plan Commission does not agree with the recommendation of the Property & Infrastructure Committee (See attached staff report and back-up) regarding the typical street cross section of 24 feet of pavement with a 2 foot flat curb, infiltration swale/ditch and 5 foot sidewalks on both sides, and instead recommends an integral 2-foot curb & gutter with 6 inch high face and sloped boulevard, the following changes/additions must be made to the Plat in addition to the conditions described under Item A above:

1. Submit a grading plan for the plat showing locations of berms.
2. Addition of 20-foot wide stormwater/drainage easements centered on the common boundary lines between the following lots:
 - a. 14 & 15; 13 & 16; 16 & 18; 13 & 18; 12 & 13; 20 & 29; 21 & 28; 22 & 27; 27 & 28
 - b. Add easements for access to berms and other drainage swales/ditches which need to be directed to the storm water drainage system.

ADDITIONAL BACKGROUND:

At the meeting of the Property & Infrastructure Committee on August 29, 2016, the Committee approved the modified street cross section of 24 feet of asphalt pavement with 2-foot wide flat curbs, a 10.5-foot wide drainage/infiltration swale and 5-foot wide sidewalks on each side. This street will be constructed within a 60-foot wide right-of-way. Staff is not recommending that parking be restricted on the public streets within the development at this time. The boulevard area will be planted with grass in addition to the street trees required by Village ordinance.

This recommended street cross section will minimize if not eliminate the need to channel water into back-yards in easements and detention pond. Based on previous experiences with attempting to direct water into rear and side yards, there are many problems created once homes are built and different builders and homeowners join the mix. To avoid those problems the site would likely need to be clear cut to define the drainage throughout the plat.

Advantages of this modified cross section also include:

1. Minimizing the public storm sewer and drainage system, eliminating the need for a detention basin due to the detention provided in the ditches;
2. No need for curb cuts for driveways
3. Less asphalt area to maintain over time (20% less as compared to previous typical section);
4. Traffic calming effects

The main concern for this modified cross section is the increased probability of cars parking on the street encroaching into the boulevard area. This could be remedied with a vertical curb, however, the vertical curb would then create additional drainage challenges.

During discussion on this item, the Property & Infrastructure Committee did not see it as being substantially different than existing areas in the Hidden River Subdivision area or in the Everest Addition area. [Click here](#) to see some example photos.

The street width complies with the Public Street Design Requirements in Section 74.6.06 (1) of the Subdivision Code and the referenced Figure 6.06.

Type of Street ¹	Right-of-way width	Street Width	Sidewalks Required	On-Street Parking?
Arterial	100 ⁴	46-52 ⁵	Yes, both sides	No
Collector	80 ⁴	33-41 ⁵	Yes, both sides	Determined on a case-by-case
Local	60-66 ^{4 5}	24-33 ⁵	Yes, both sides	Yes, on at least one
Alley	17	16	No	No

Figure 6.06(1): Minimum Public Street Design Requirements ¹

NOTES:

¹ See Article 14 in Chapter 94 for alternative requirements within the N Neighborhood zoning district.

² Street width includes pavement width, plus the width of the gutter section of the curb where curbing is present or proposed. The Village may require extra street width and/or off-street parking where adjacent land uses are expected to generate significant on-street parking demand, such as schools, parks, and other public and institutional uses.

³ All sidewalks shall be concrete and five feet in width. The Village may substitute a single 10-foot wide asphalt multiuse path for a sidewalk on both sides of the street where consistent with Village plans, safe pedestrian access, and best practices for multiuse path placement.

⁴ Or as indicated on the Village's Official Map.

⁵ Upon recommendation of the Director of Public Works, the Plan Commission shall establish the exact right-of-way or pavement width on each street within the ranges specified in this figure.

⁶ One-sided parking shall be located on the north and east sides of streets unless otherwise determined by the Director of Public

The effort to minimize long term maintenance and promote surface water infiltration is consistent with stated goals of the Village Comprehensive Plan

<http://wi-weston.civicplus.com/DocumentCenter/View/2191>

3.2. Goal

Weston will promote sustainable new development that adds jobs, products, services, homes, value and beauty.

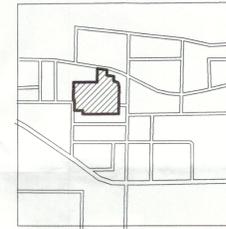
ATTACHMENTS:

1. Proposed Misty Pines Preliminary Plat with staff mark-up
2. Request for Consideration as presented to the Property & Infrastructure Committee on 8/29/16 with attached documents:
 - a. Proposed Misty Pines Plat as received from developer
 - b. Preliminary Plans for Public Improvements for Misty Pines
 - c. Example pictures of modified cross sections from other unidentified communities

PRELIMINARY PLAT

MISTY PINES

OF ALL OF LOTS 1, 2 AND 3 OF VOLUME 32 CERTIFIED SURVEY MAPS PAGE 145 AND ALL OF LOT 3 OF VOLUME 30 CERTIFIED SURVEY MAPS, PAGE 191 LOCATED IN PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 28 NORTH, RANGE 8 EAST, VILLAGE OF WESTON, MARATHON COUNTY, WISCONSIN



Location Sketch
Section 17-28-08
Scale: 1"=2000'

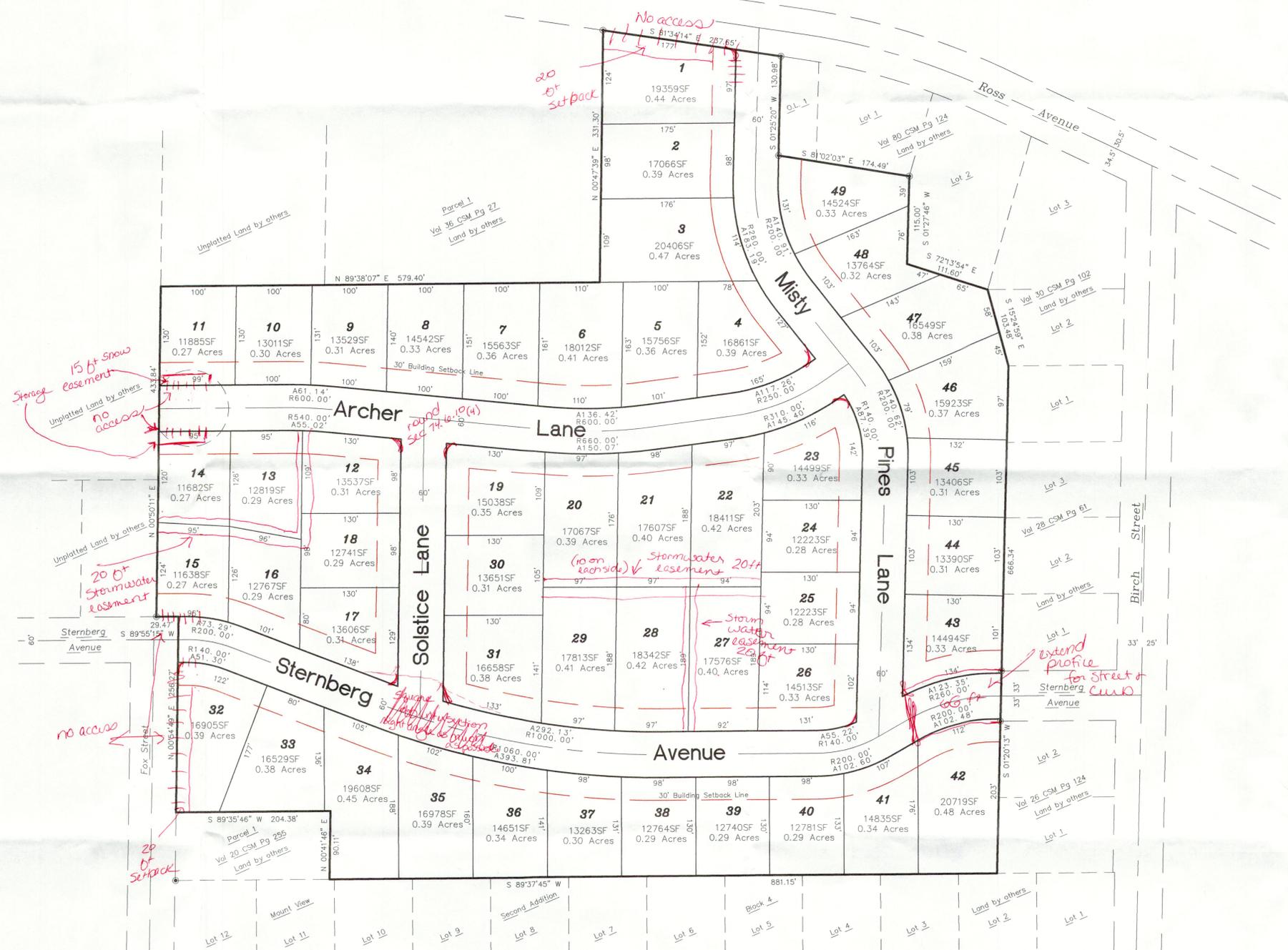
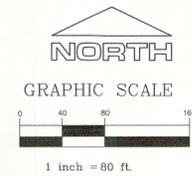
LEGEND

- ▲ 30' Frontyard setback shown (varies on corner lots)
- FOUND 2" I. PIPE
- FOUND 1" I. PIPE
- SET 1 3/16" X 30" IRON ROD WEIGHING 3.76 LBS/LIN FT
- PUBLIC LAND SURVEY CORNER
- RECORD DATA
- 1" X 24" IRON PIPE WEIGHING 1.13 LBS/LIN FT SET AT ALL OTHER LOT CORNERS AND OUTLOT CORNERS

OWNER:
G & S Investments
7306 Zinser Street
Weston, WI 54476
715-355-6717
email address

SURVEYOR:
Plover River Land Co., Inc.
156 Kent Street
Wausau, WI 54403
715-449-2229
email

Add engineer contact info



SHEET 1 OF 1

MISTY PINES	
OF THE SE 1/4 OF THE NW 1/4 SEC. 17, T 28 N, R 8 E VILLAGE OF WESTON, MARATHON COUNTY WISCONSIN	
DRAFTED BY: DH	CHECKED BY:
DATE: AUGUST 15, 2016	JOB NO.
REVISION DATE:	
PLOVER RIVER LAND CO. INC. 156 KENT STREET, WAUSAU, WI 54403 (715)449-2229	

**Village of Weston, Wisconsin
AGENDA ITEM COVERSHEET
Requested for Official Consideration and Review**

REQUEST FROM: **KEITH DONNER, DIRECTOR OF PUBLIC WORKS AND UTILITIES**

ITEM DESCRIPTION: **MISTY PINES SUBDIVISION STREET CROSS SECTION AND DRAINAGE CONCEPT.**

DATE/MTG: **PROPERTY & INFRASTRUCTURE COMMITTEE, MONDAY, AUG. 29, 2016.
PLAN COMMISSION, MONDAY, SEPT. 12, 2016
BOARD OF TRUSTEES, MONDAY, SEPT. 19, 2016**

POLICY QUESTION: Should the Board of Trustees approve a modified street cross section and drainage concept in the proposed Misty Pines plat as recommended by the Director of Public Works & Utilities.

RECOMMENDATION TO: I make a motion that the Board of Trustees approve a modified street cross section and drainage concept in the proposed Misty Pines plat as recommended by the Director of Public Works & Utilities.

LEGISLATIVE ACTION:

- | | | |
|---|------------------------------------|---------------------------------------|
| <input checked="" type="checkbox"/> Acknowledge/Approve | <input type="checkbox"/> Ordinance | <input type="checkbox"/> Proclamation |
| <input type="checkbox"/> Administrative Order | <input type="checkbox"/> Policy | <input type="checkbox"/> Reports |
| <input type="checkbox"/> Expenditure | <input type="checkbox"/> Procedure | <input type="checkbox"/> Resolution |
-
-

FISCAL IMPACT ANALYSIS:

- Budget Line Item: _____
- Budgeted Expenditure: _____
- Budgeted Revenue: _____
-
-

STATUTORY / RULEMAKING / POLICY REFERENCES:

- WI Statue: _____
- WI Administrative Code: _____
- Case Law / Legal: _____
- Municipal Code: Chapter 74: Subdivision Regulations, Village of Weston Municipal Code
- Municipal Rules: _____
-
-

PRIOR REVIEW: **Concept plat approval – PIC 6/6/16; PC 6/13/16**

BACKGROUND: The Village has adopted a Complete Streets Policy and an updated Subdivision Ordinance within the past 18 months. These policies/ordinances have had the effect of requiring a higher level of aesthetics and pedestrian friendly public infrastructure. All other things being equal these additional requirements result in higher costs for a subdivision developer. The Director and Deputy Director are conscious of the need/desire to create a sense of place in neighborhoods. In the past our subdivision design paid greater attention to compatibility with public works equipment and the thought that if parking is not restricted on a street the street must still be able to accommodate 2 parked cars and one vehicle traveling in each direction. This led us to the standard street cross section of 34 feet from back to back of curb.

With more attention paid to walkability and pedestrian friendly construction, the Director and Deputy Director have suggested an alternate street cross section for the Misty Pines Plat. The alternate street cross section is a 24-foot pavement with 2-foot wide flat curbs, 10 foot “ditch/swale, and 5-foot sidewalk on each side centered in a 60 foot right of way. This results in 28 feet of paved surface on the street as compared to 33 feet, but without the barrier curb. The modified section is intended to function like a rural street section, shedding water from the street centerline (or crown) out toward the shoulder and ditch. Rather than utilizing a single main storm sewer line, the drainage in the ditch will either infiltrate into the soil (sand in this development) or if the infiltration capacity is exceeded, the overflow will be gathered in inlets located on both sides of the street at the common lot boundary lines. The modified street section along with the sandy soil conditions allows for storm water to be collected and infiltrated without having need for a large detention basin in the subdivision.

Another benefit of the narrowed street section should be traffic calming, especially if cars park on both sides. The Director and Deputy Director do not recommend restricting parking on the street at this time. Streets in densely developed urban areas often do not restrict parking and are only able to accommodate a single vehicle in the middle. Even with a 34 foot back-to-back of curb section, cars must proceed slowly if vehicles are parked on both sides and accommodating 2 traveling vehicles is still “iffy.” The proposed cross section for Misty Pines would only accommodate 1 traveling vehicle between 2 parked vehicles. The duty falls on the vehicle operator to proceed with caution. The intent isn’t to need or create an arterial street in this subdivision.

A concern with the flat curb could be the opportunity for vehicles to run their wheels outside the edge of the pavement into the ditch.

Likely benefits of the modified section are the reduced drainage system needs, flexibility in locating driveways, reduction in street surface area of approximately 20% (directly translating to reduced maintenance cost) and traffic calming.

The Director recommends approval of the proposed modified pavement cross section and drainage concept. Details of other items in the plan will be addressed in a review letter to the developer. As noted in the Subdivision Code, <http://westonwi.gov/documentcenter/view/63> the approval is delegated to the Director of Public Works.

Prior to adoption of the final plat, the public improvements plans will need to be adopted by the Board of Trustees and will first be brought to the Plan Commission and PIC Committee.

Supplemental Briefer for Agenda Items under Consideration

Attachments

Misty Pines Preliminary Plat

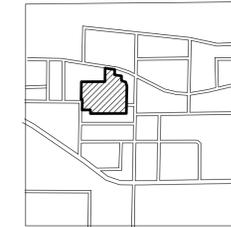
Preliminary Public Improvements Plans for Misty Pines

Example pictures of similar street cross sections.

PRELIMINARY PLAT

MISTY PINES

OF ALL OF LOTS 1, 2 AND 3 OF VOLUME 32 CERTIFIED SURVEY MAPS PAGE 145 AND ALL OF LOT 3 OF VOLUME 30 CERTIFIED SURVEY MAPS, PAGE 191 LOCATED IN PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 28 NORTH, RANGE 8 EAST, VILLAGE OF WESTON, MARATHON COUNTY, WISCONSIN



Location Sketch
Section 17-28-08
Scale: 1"=2000'

LEGEND

- 30' Frontyard setback shown (varies on corner lots)
- FOUND 2" I. PIPE
- FOUND 1" I. PIPE
- SET 1 3/16" X 30" IRON ROD WEIGHING 3.76 LBS/LIN FT
- PUBLIC LAND SURVEY CORNER
- RECORD DATA
- 1" X 24" IRON PIPE WEIGHING 1.13 LBS/LIN FT SET AT ALL OTHER LOT CORNERS AND OUTLOT CORNERS

OWNER:
G & S Investments
7306 Zinser Street
Weston, WI 54476
715-355-6717

SURVEYOR:
Plover River Land Co., Inc.
156 Kent Street
Wausau, WI 54403
715-449-2229



GRAPHIC SCALE



1 inch = 80 ft.

SHEET 1 OF 1

MISTY PINES	
OF THE SE 1/4 OF THE NW 1/4 SEC. 17, T. 28 N., R. 8 E. VILLAGE OF WESTON, MARATHON COUNTY WISCONSIN	
DRAFTED BY: DH	CHECKED BY:
DATE: AUGUST 15, 2016	JOB NO.
REVISION DATE:	
PLOVER RIVER LAND CO., INC. 156 KENT STREET, WAUSAU, WI 54403 715-449-2229	



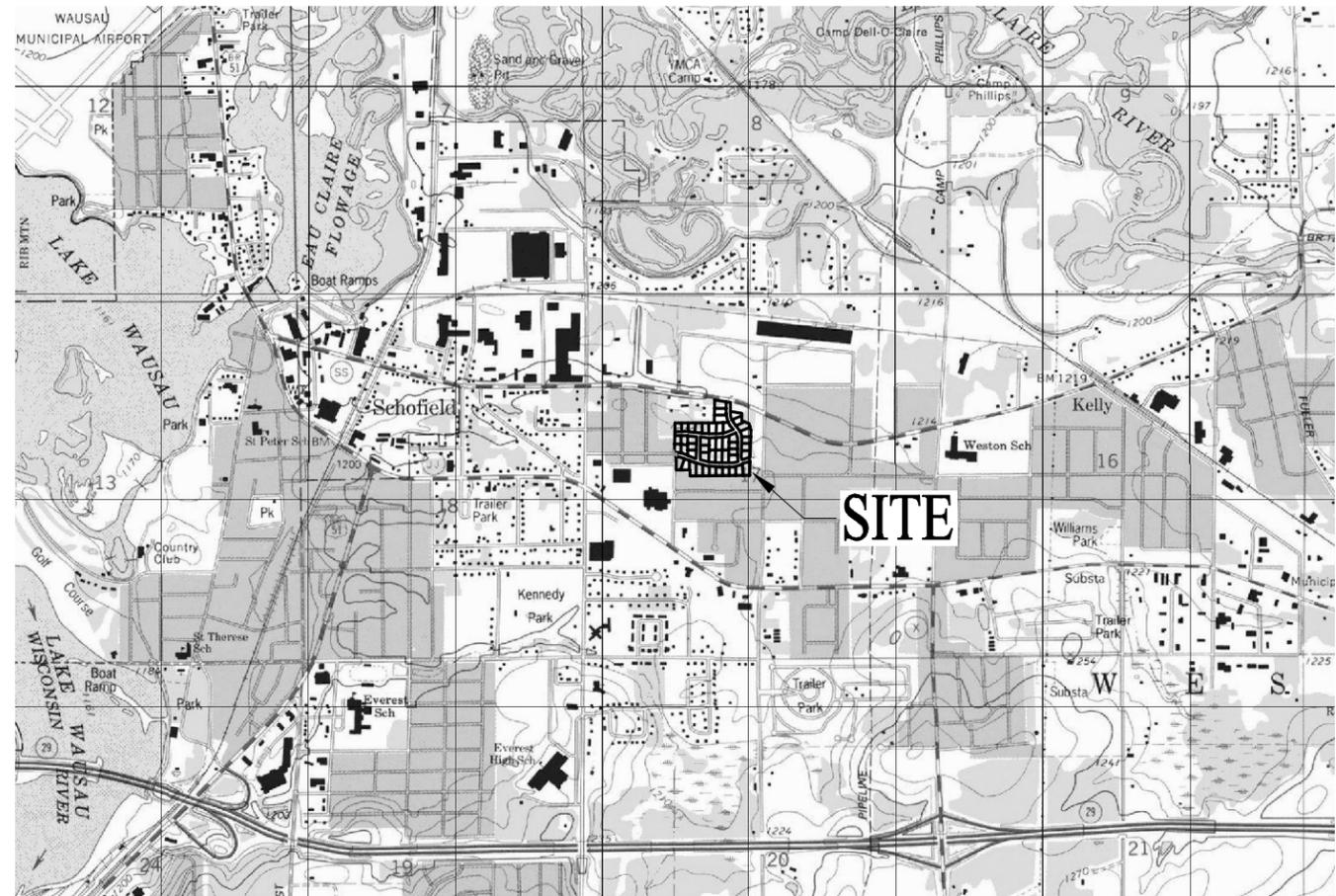
INDEX OF SHEETS

SHEET NO. T1	TITLE SHEET
SHEET NO. C0	EXISTING CONDITIONS
SHEET NO. C1	SITE PLAN
SHEET NO. C1.1	SITE & EROSION CONTROL DETAILS
SHEET NO. PPI-E - PP2-E	PLAN & PROFILE EAST ROAD
SHEET NO. XSI-E - XS3-E	CROSS SECTIONS EAST ROAD
SHEET NO. PPI-S - PP3-S	PLAN & PROFILE STERNBERG ROAD
SHEET NO. XSI-S - XS6-S	CROSS SECTIONS STERNBERG ROAD
SHEET NO. PPI-W	PLAN & PROFILE WEST ROAD
SHEET NO. XSI-W - XS2-W	CROSS SECTIONS WEST ROAD
SHEET NO. PPI-N - PP2-N	PLAN & PROFILE EAST ROAD
SHEET NO. XSI-N - XS5-N	CROSS SECTIONS EAST ROAD
SHEET NO. C2	GRADING & EROSION CONTROL PLAN
SHEET NO. SWM	STORM WATER MANAGEMENT PLAN
SHEET NO. C3	UTILITY PLAN
SHEET NO. C3.1 - C3.2	UTILITY & STORM WATER DETAILS
SHEET NO. SP	SITE SPECIFICATIONS
TOTAL SHEETS = 34	

LIST OF STANDARD ABBREVIATIONS

&	AND
AB	AUGER BORING
ADT	AVERAGE DAILY TRAFFIC
BC	BOTTOM OF CURB
BM	BENCHMARK
BOC	BACK OF CURB
BR	BOTTOM OF RAMP
BS	BOTTOM OF STEPS
BW	BOTTOM OF WALL
CB	CATCH BASIN
CMAC	CORRUGATED METAL ARCH CULVERT
CMBC	CORRUGATED METAL BOX CULVERT
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONC.	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
DGB	DENSE GRADED BASE
DIP	DUCTILE IRON PIPE
D/S	DOWNSTREAM
(E)	EAST
ELEV.	ELEVATION
EOG	EDGE OF GRAVEL
FFE	FINISHED FLOOR ELEVATION
FG	FINISH GRADE
F.O.	FIBER OPTIC
INL	INLET
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HMA	HOT MIX ASPHALT
HP	HIGH POINT
IE	INVERT ELEVATION
LF	LINEAL FEET
LP	LOW POINT
MEG	MATCH EXISTING GRADE
MH	MANHOLE
(N)	NORTH
(NE)	NORTHEAST
(NW)	NORTHWEST
OH	OVERHEAD
PC	POINT OF CURVATURE
P/L	PROPERTY LINE
PP	POWER POLE
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE PIPE
RCB	CREINFORCED CONCRETE BOX CULVERT
RCP	REINFORCED CONCRETE PIPE
RR	RAIL ROAD
R/W	RIGHT OF WAY
(S)	SOUTH
SAN	SANITARY SEWER
SB	SOIL BORING
SS	STORM SEWER
STM	STORM
(SW)	SOUTHWEST
TC	TOP OF CURB
TBR	TO BE REMOVED
TLE	TEMPORARY LIMITED EASEMENT
TNH	TOP NUT FIRE HYDRANT
TP	TEST PIT
TR	TOP OF RAMP
TYP.	TYPICAL
TS	TOP OF STEPS
TW	TOP OF WALL
U/S	UPSTREAM
VAR.	VARIES
(W)	WEST

REVIEW PLANS FOR:
MISTY PINES SUBDIVISION
 VILLAGE OF WESTON, MARATHON COUNTY, WISCONSIN



TITLE WORK REQUIRED
 TITLE WORK FOR THE PROJECT SITE WAS NOT PROVIDED TO REI FOR REVIEW, THEREFORE REI WAS UNABLE TO VERIFY THE EXISTENCE OF EASEMENTS OR USE ENCUMBRANCES.

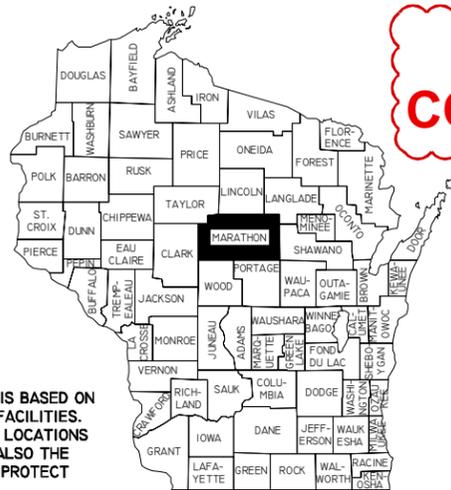
DIGGERS HOTLINE TICKETS
 XXXXXXXXXXXX

SEC.17, T28N, R8E — NOT TO SCALE —

BENCHMARKS				
BM#	DESC.	N=	E=	ELEV.=
1	TNH	XXXXXXX	XXXXXXX	XXXX.XX
2	TNH	XXXXXXX	XXXXXXX	XXXX.XX

Received on 08/19/2016

INFORMATION SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES IS BASED ON INFORMATION AND DATA FURNISHED BY THE OWNER OF SUCH UNDERGROUND FACILITIES. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXACT LOCATIONS OF ALL UNDERGROUND FACILITIES PRIOR TO COMMENCING ANY WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITY FACILITIES.



NOT FOR CONSTRUCTION



TOLL FREE: 811 OR (800) 242-8511
 HEARING IMPAIRED: TDD (800)542-2289
 EMERGENCY ONLY: (877) 500-9592
 WWW.DIGGERSHOTLINE.COM

UTILITY CONTACTS:
FRONTIER:
 (TELEPHONE)
 521 FOURTH STREET
 WAUSAU, WI 54403-4869
 (231) 727-1327
 ATTN: STEVE ACKERSON

WISCONSIN PUBLIC SERVICE CORPORATION:
 (GAS & ELECTRIC)
 700 NORTH ADAMS STREET
 PO BOX 19001
 GREEN BAY, WI 54307-9001
 (920) 433-1703
 ATTN: MS. LORI BUTRY

FIELD CONTACTS (GAS)
 MIKE BOSI
 (715) 848-7471

(ELECTRIC)
 KEITH MARKSTROM
 (715) 848-7314

CHARTER COMMUNICATIONS:
 (CABLE TV)
 853 MCINTOSH STREET
 PO BOX 1818
 WAUSAU, WI 54403-1818
 (715) 845-4223
 ATTN: JEFF KULAF

DNR WAUSAU SERVICE CENTER
 5301 RIB MOUNTAIN DRIVE
 WAUSAU, WISCONSIN 54401
 (715) 359-2872
 ATTN: MELISSA YARRINGTON

VILLAGE OF WESTON PUBLIC WORK AND UTILITIES
 5500 SCHOFIELD AVENUE
 WESTON, WI 54476
 (715) 241-2610
 ATTN: MR. KEITH DONNER
 ATTN: MR. MICHAEL WODALSKI

OWNER:
 G&S INVESTMENTS LLC.

SURVEYOR:
REI ENGINEERING, INC.
 4080 N. 20TH AVENUE
 WAUSAU, WI 54401
 (715) 675-9784

ENGINEER:
REI ENGINEERING, INC.
 4080 N. 20TH AVENUE
 WAUSAU, WI 54401
 (715) 675-9784
 PROJECT MANAGER
 JIM J. BORYSENKO, P.E.

APPROVING AUTHORITIES:
 WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES
 VILLAGE OF WESTON

LEGEND

	BENCHMARK
	1" IRON BAR
	EXISTING MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING HYDRANT
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING WATER SHUTOFF
	EXISTING DECIDUOUS TREE
	EXISTING CONIFEROUS TREE
	EXISTING GAS VALVE
	EXISTING CURB INLET
	EXISTING WELL
	TEST PIT LOCATION
	SOIL BORING
	EXISTING AIR CONDITIONING UNIT
	EXISTING GAS METER
	EXISTING ELECTRIC METER
	EXISTING UTILITY PEDESTAL
	EXISTING RAILROAD TRACKS
	EXISTING TREE LINE
	EXISTING GUY POLE
	EXISTING CABLE TV
	EXISTING FIBER OPTIC CABLE
	EXISTING UNDERGROUND GAS
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	EXISTING OVERHEAD UTILITIES
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING PROPERTY LINE
	PROPOSED HANDICAP PARKING
	PROPOSED CURB STOP
	PROPOSED HYDRANT
	PROPOSED WATER VALVE
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED FORCE MAIN
	PROPOSED SANITARY SEWER LATERAL
	PROPOSED WATER LATERAL
	PROPOSED WATER MAIN
	PROPOSED PUMP STATION
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM MANHOLE
	PROPOSED CURB INLET
	PROPOSED CATCH BASIN
	PROPOSED CLEANOUT
	PROPOSED DRAINAGE FLOW
	PROPOSED SLOPE
	PROPOSED CURB & GUTTER
	PROPOSED REJECT CURB & GUTTER
	PROPOSED MOUNTABLE CURB & GUTTER
	EXISTING GROUND CONTOUR (INTERVAL-1 FT.)
	PROPOSED GROUND CONTOUR (INTERVAL-1 FT.)
	PROPOSED SPOT ELEVATION (TOP OF CURB)
	PROPOSED SPOT ELEVATION (BOTTOM OF CURB)
	PROPOSED SILT FENCE
	PROPOSED INLET PROTECTION
	PROPOSED RIPRAP
	PROPOSED EROSION MAT
	PROPOSED SAWCUT
	PROPOSED DRAINAGE SWALE

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REI Engineering, INC.
 4080 N. 20TH AVENUE
 WAUSAU, WISCONSIN 54401
 PHONE: 715.675.9784 FAX: 715.675.6060
 EMAIL: MAIL@REIENGINEERING.COM



REI CIVIL & ENVIRONMENTAL ENGINEERING, SURVEYING

NO SCALE

DATE	REVISION	BY	CHK'D
	DESIGNED BY: TAE		CHECKED BY: JJB
	SURVEYED BY: OTHERS		APPROVED BY: JJB
	DRAWN BY: NAP		DATE: 08/18/16

TITLE SHEET
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

REI
 REI No. 7398
 SHEET TI

DRAWING FILE: P:\17300-7399\7398 - MISTY PINES.DWG\PLANS\7398-CO-EXISTING.DWG LAYOUT: PO
 PLOTTED: AUG 18, 2016 - 4:01PM PLOTTED BY: ToddW



ROSS AVENUE

STERNBERG AVENUE

FOX STREET

BIRCH STREET

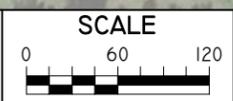
STERNBERG AVENUE



REI Engineering, INC.
 4080 N. 20TH AVENUE
 WAUSAU, WISCONSIN 54401
 PHONE: 715.675.9784 FAX: 715.675.4060
 EMAIL: MAIL@REIENGINEERING.COM



REI CIVIL & ENVIRONMENTAL
 ENGINEERING, SURVEYING

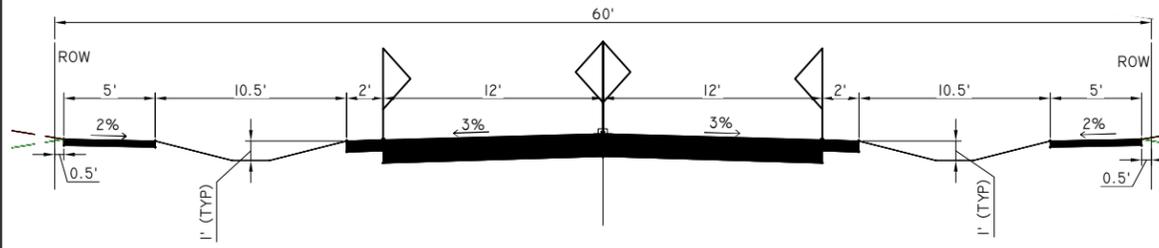


DATE	REVISION	BY	CHK'D
Received on 08/19/2016			

DESIGNED BY: TAE	CHECKED BY: JJB
SURVEYED BY: OTHERS	APPROVED BY: JJB
DRAWN BY: NAP	DATE: 08/18/16

EXISTING CONDITIONS
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

REI
 REI No. 7398
 SHEET C0



TYPICAL SECTION

KEYED NOTES

1. ASPHALT PAVEMENT. SEE DETAIL A/C.I.I.
2. 4" CONCRETE SIDEWALK. SEE DETAIL B/C.I.I.
3. 24" RIBBON CURB, SEE DETAIL D/C.I.I.
4. HANDICAP ACCESS RAMPS, SEE DETAIL H/C.I.I.
5. INSTALL STOP SIGN, AND 12" STOP BAR (WHITE). SEE DETAIL I/C.I.I.
6. INSTALL PEDESTRIAN CROSSING MARKING (YELLOW).
7. TEMPORARY PAVED CUL DE SAC.



NOTES:

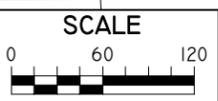
- (A) ALL DIMENSIONS ARE TO THE BACK OF CURB OR FACE OF INTEGRAL CURB, UNLESS OTHERWISE NOTED.
- (B) PRIVATE UTILITY COORDINATION INCLUDING GAS, ELECTRIC, AND TELECOMMUNICATIONS SHALL BE COORDINATED BY THE CONTRACTOR.

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REI Engineering, INC.
 4080 N. 20TH AVENUE
 WAUSAU, WISCONSIN 54401
 PHONE: 715.675.9784 FAX: 715.675.4060
 EMAIL: MAIL@REIENGINEERING.COM



REI CIVIL & ENVIRONMENTAL ENGINEERING, SURVEYING

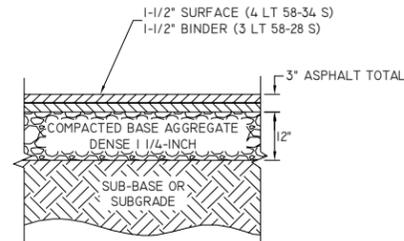


DATE	REVISION	BY	CHK'D

DESIGNED BY: TAE	CHECKED BY: JJB
SURVEYED BY: OTHERS	APPROVED BY: JJB
DRAWN BY: NAP	DATE: 08/18/16

SITE PLAN
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

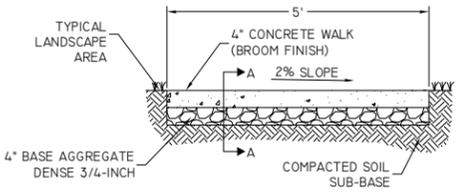
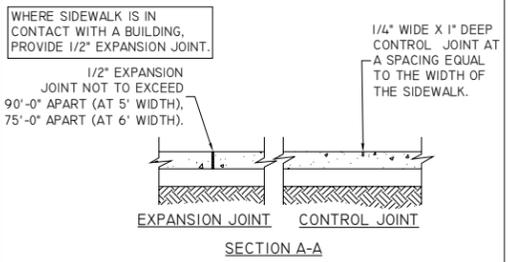
REI
 REI No. 7398
 SHEET CI



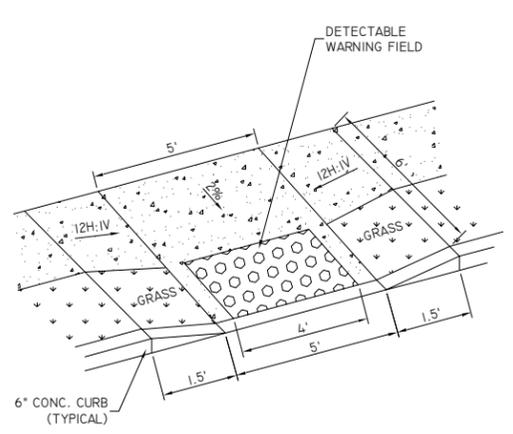
NOTE: BASE AGGREGATE TO EXTEND 12\"/>

SURFACE COURSE SHALL BE 4 LT 58-34 H FOR HEAVY-DUTY APPLICATION.

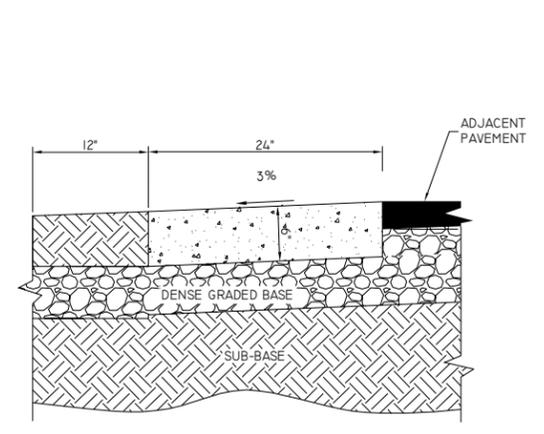
A ASPHALT PAVEMENT
Cl.I NTS



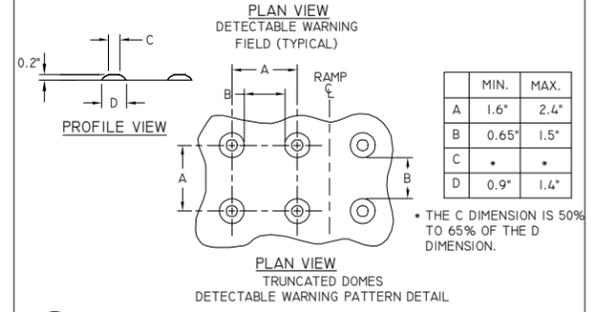
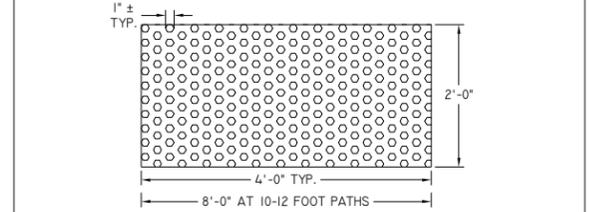
B SIDEWALK SECTION
Cl.I NTS



C TYPE 5 HANDICAP RAMP
Cl.I NTS



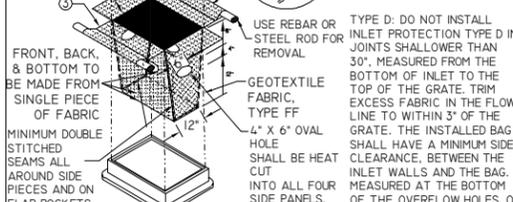
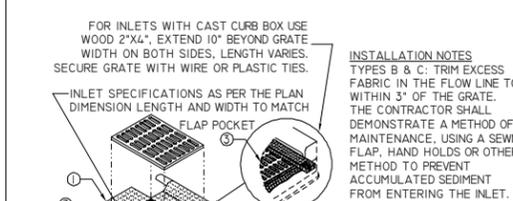
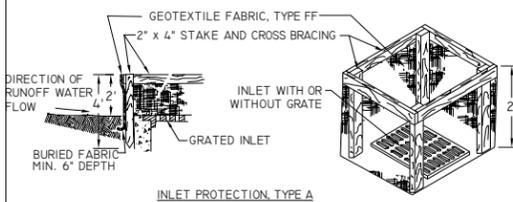
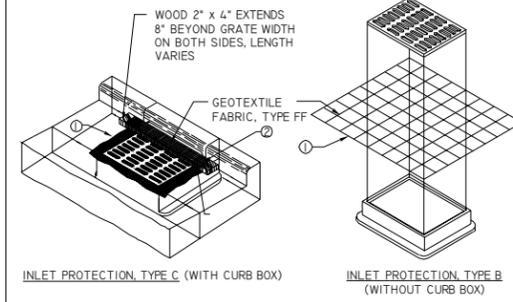
D 24" RIBBON CURB
Cl.I NTS SEE SITE PLAN FOR DESIGNATION



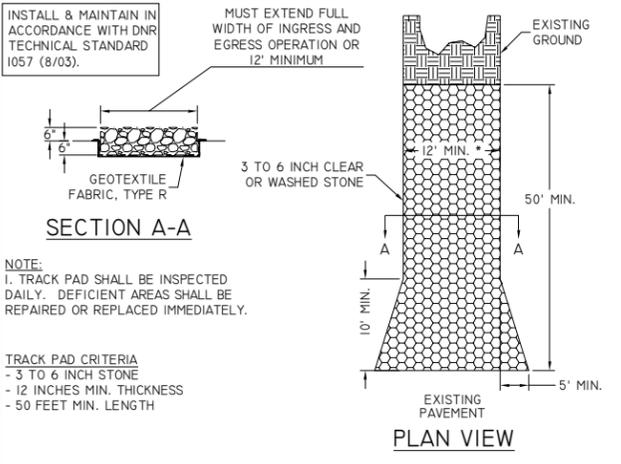
E TYPICAL DETECTABLE WARNING FIELD
Cl.I NTS

GENERAL NOTES: FABRIC SHALL BE REPLACED AT THE ENGINEER'S DISCRETION. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

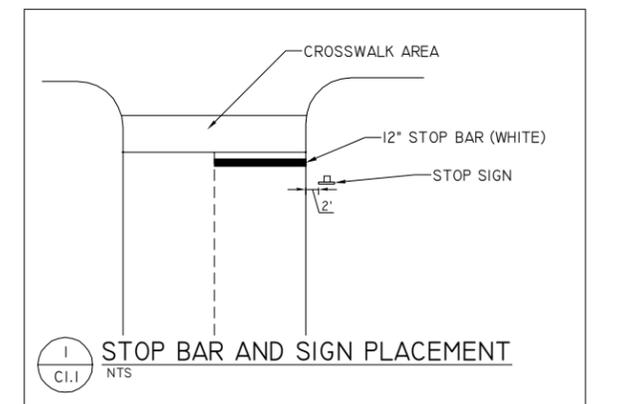
- 1 FINISHED SIZE INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10\"/>
- 2 FOR INLET PROTECTION, TYPE C, WITH A CURB BOX, AN ADDITIONAL 18\"/>
- 3 FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.



F INLET PROTECTION
Cl.I NTS TYPE A, B, C, AND D



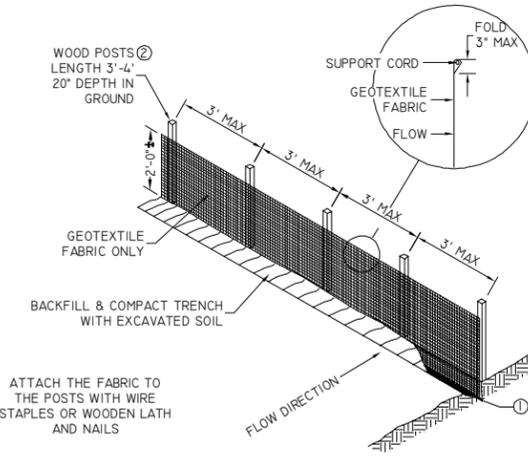
G TEMPORARY CONSTRUCTION ENTRANCE/EXIT
Cl.I NTS FOR CONSTRUCTION EGRESS POINTS



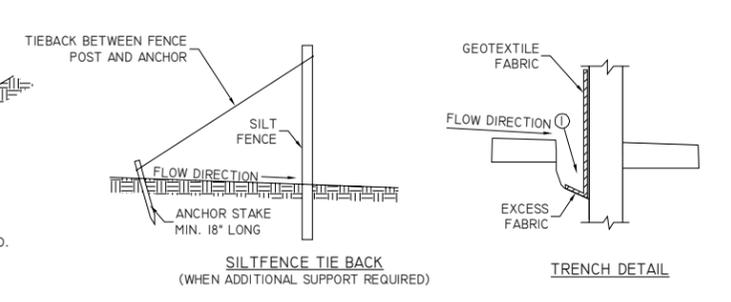
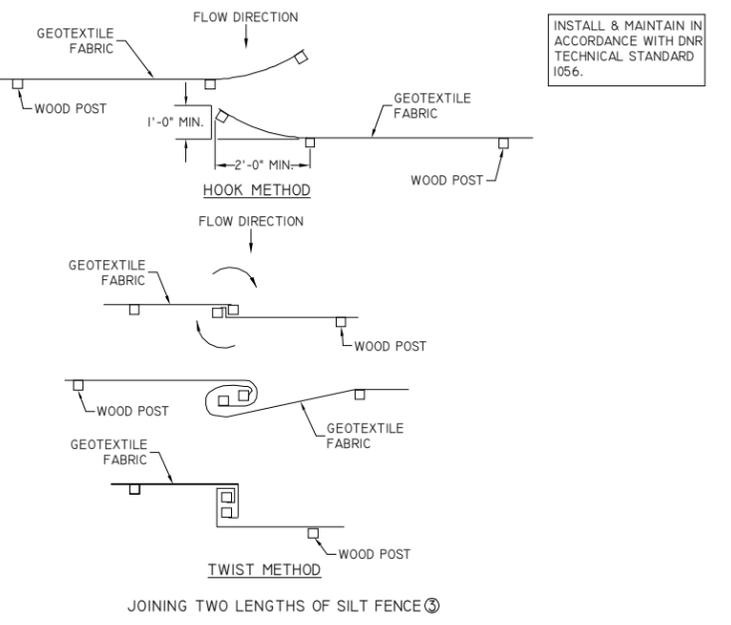
I STOP BAR AND SIGN PLACEMENT
Cl.I NTS

- GENERAL NOTES:
- 1 TRENCH SHALL BE A MINIMUM OF 4\"/>
 - 2 WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8\"/>
 - 3 CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS; A) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. B) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.

NOTE: ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS



H SILT FENCE
Cl.I NTS



J SILT FENCE TIE BACK
Cl.I NTS (WHEN ADDITIONAL SUPPORT REQUIRED)

INSTALL & MAINTAIN IN ACCORDANCE WITH DNR TECHNICAL STANDARD 1056.



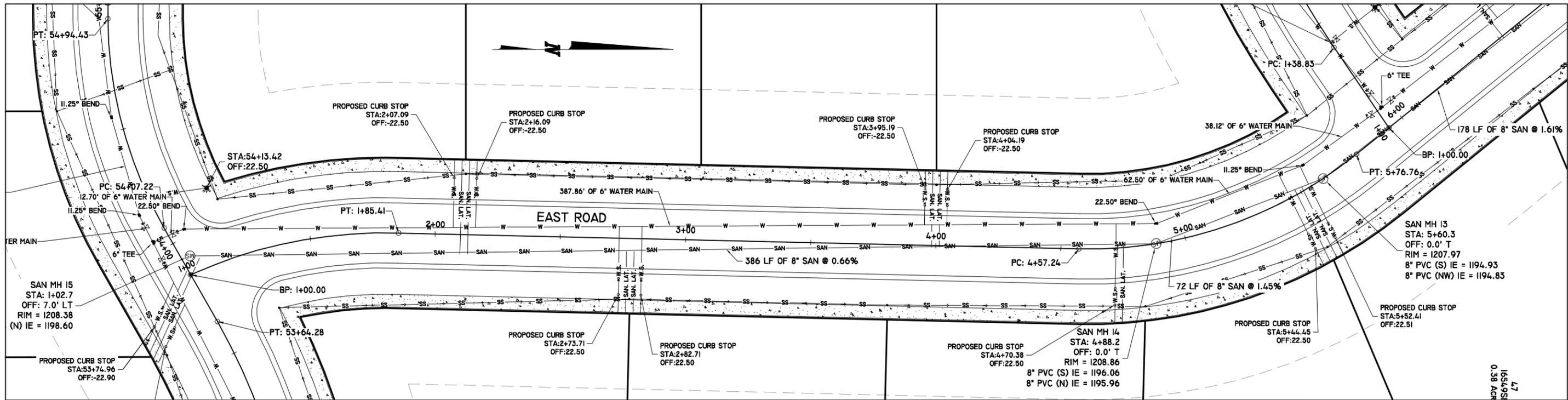
K TRENCH DETAIL
Cl.I NTS

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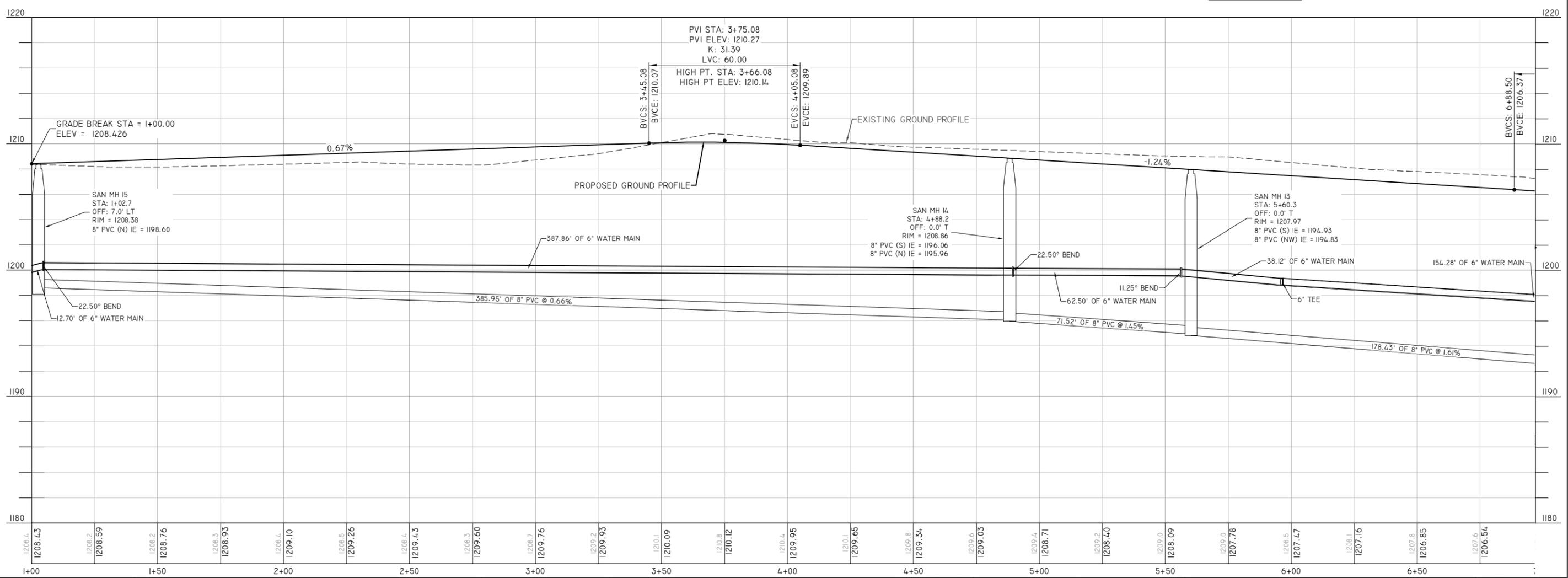
DATE	REVISION	BY	CHK'D

DESIGNED BY: TAE CHECKED BY: JJB
SURVEYED BY: OTHERS APPROVED BY: JJB
DRAWN BY: NAP DATE: 08/18/16

Received on 08/19/2016

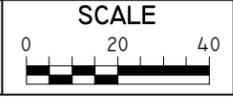


EAST ROAD PROFILE



DRAWING FILE: P:\17300-7399\7398 - MISTY PINES.DWG\PLANS\7398 PLAN & PROFILE.DWG LAYOUT: PPI-E
 PLOTTED: AUG 18, 2016 - 4:12PM PLOTTED BY: NATHANP

REI Engineering, INC.
 4080 N. 20TH AVENUE
 WALSAU, WISCONSIN 54401
 PHONE: 715.675.9784 FAX: 715.675.4060
 EMAIL: MAIL@REIENGINEERING.COM



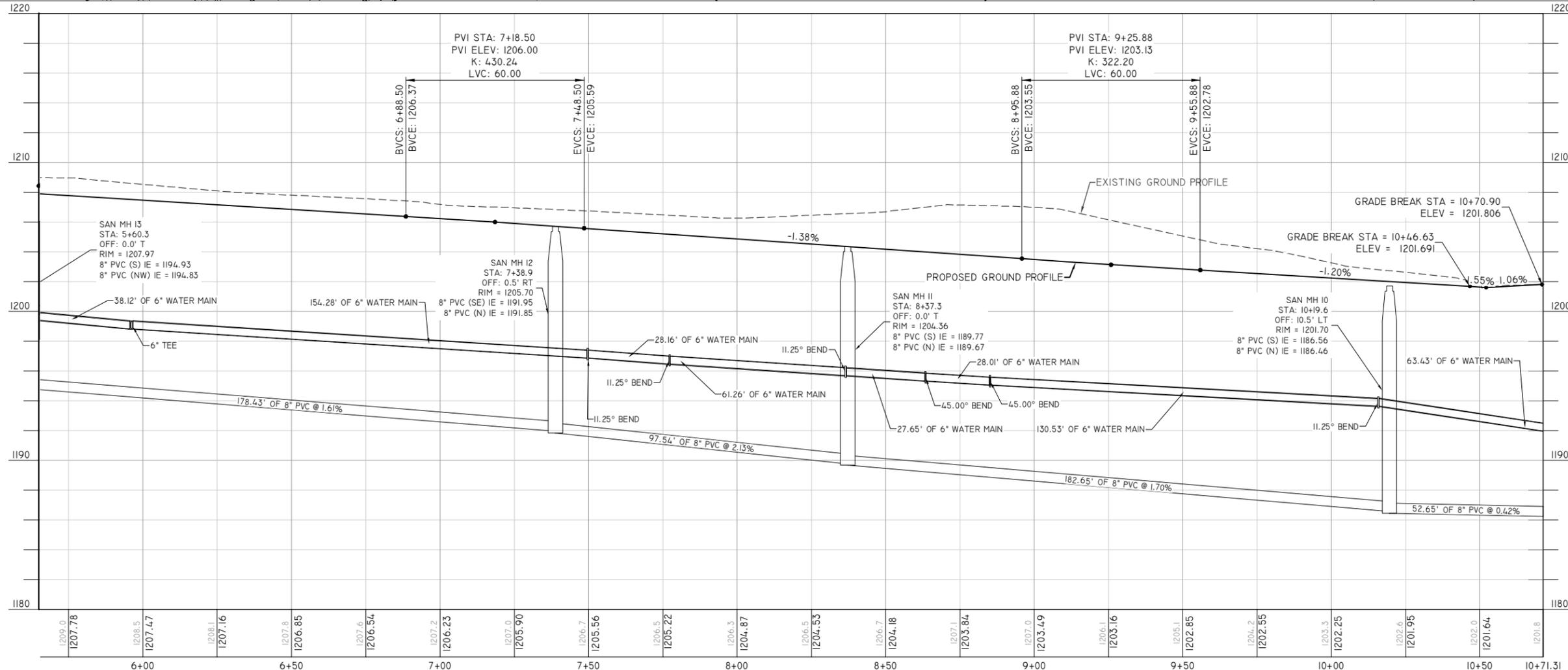
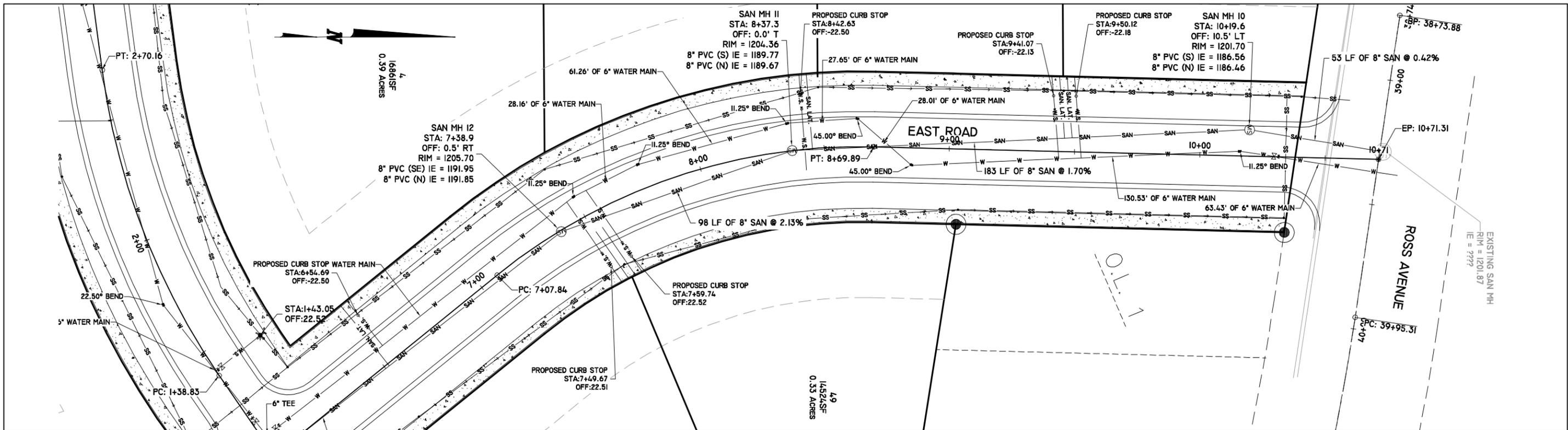
DATE	REVISION	BY	CHK'D

DESIGNED BY: TAE	CHECKED BY: JJB
SURVEYED BY: OTHERS	APPROVED BY: JJB
DRAWN BY: NAP	DATE: 08/18/16

PLAN & PROFILE - EAST ROAD
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

REI
 REI No. 7398
 SHEET PPI-E

Received on 08/19/2016

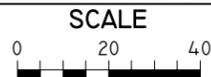


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 PLOTTED: AUG 18, 2016 - 4:13PM PLOTTED BY: NATHANP

REI Engineering, INC.
 4080 N. 20TH AVENUE
 WAUSAU, WISCONSIN 54401
 PHONE: 715.675.9784 FAX: 715.675.4060
 EMAIL: MAIL@REIENGINEERING.COM



REI CIVIL & ENVIRONMENTAL ENGINEERING, SURVEYING



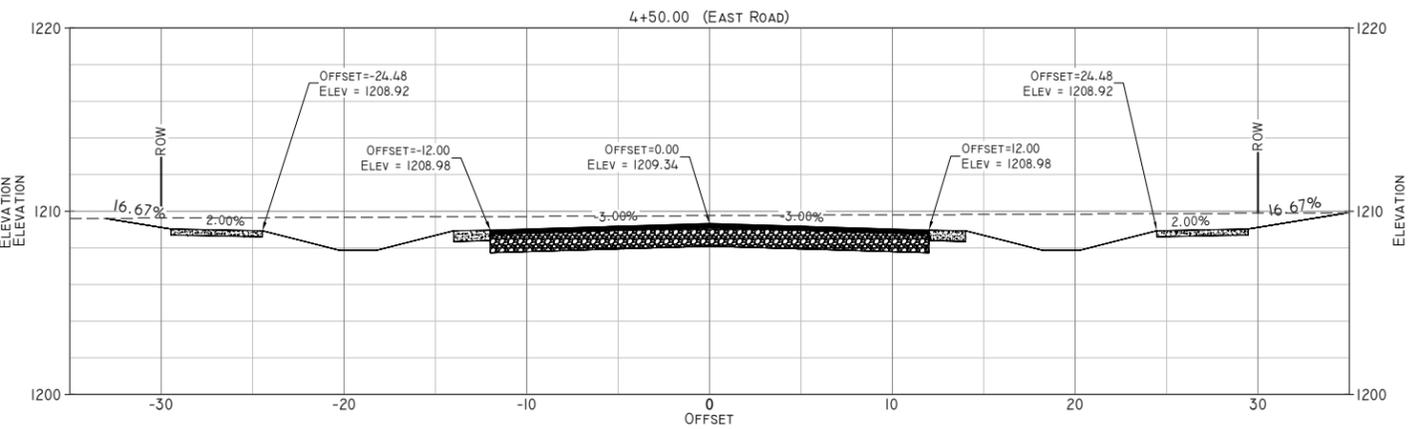
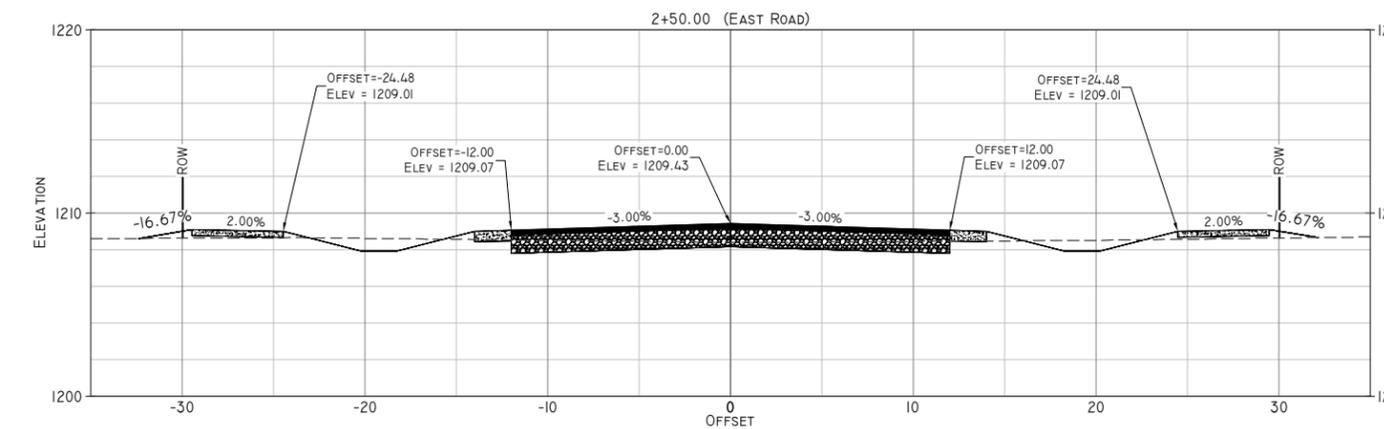
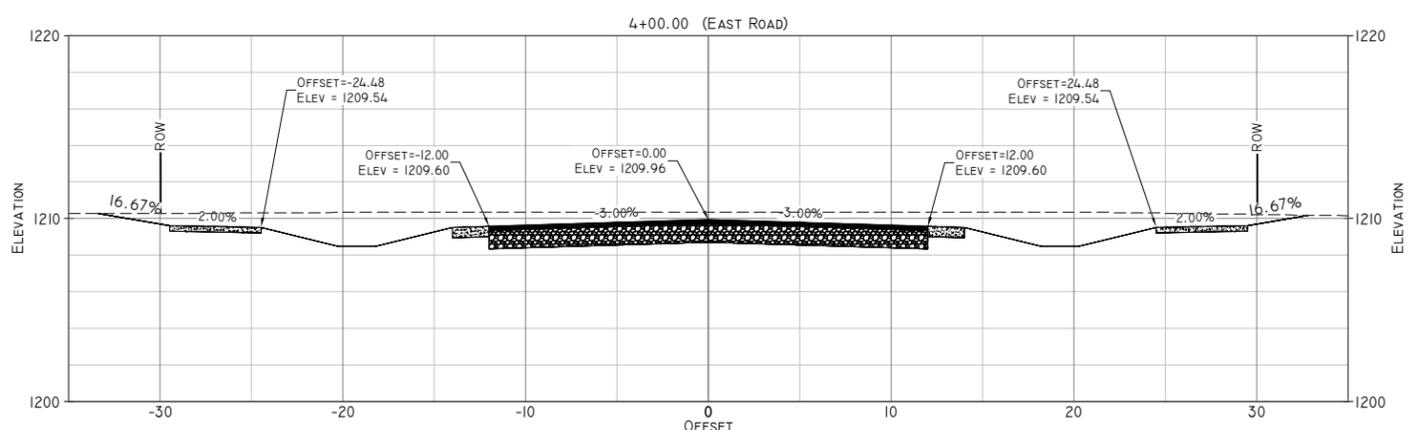
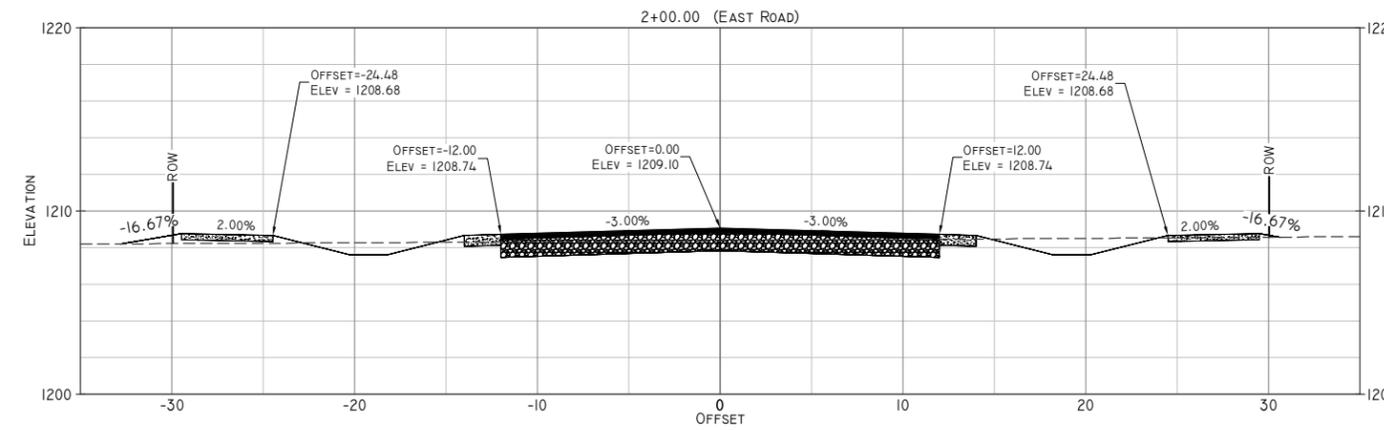
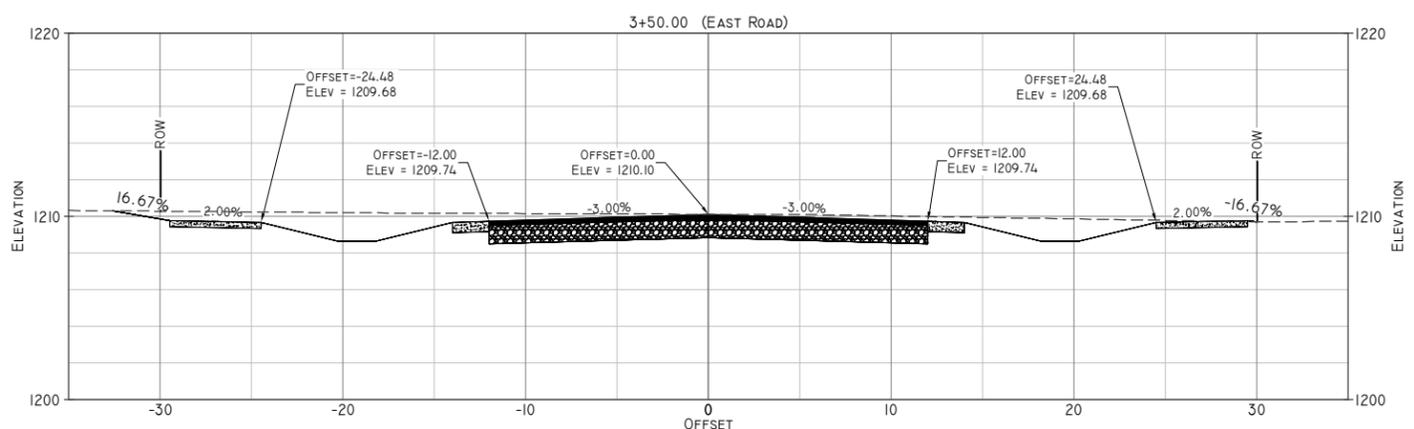
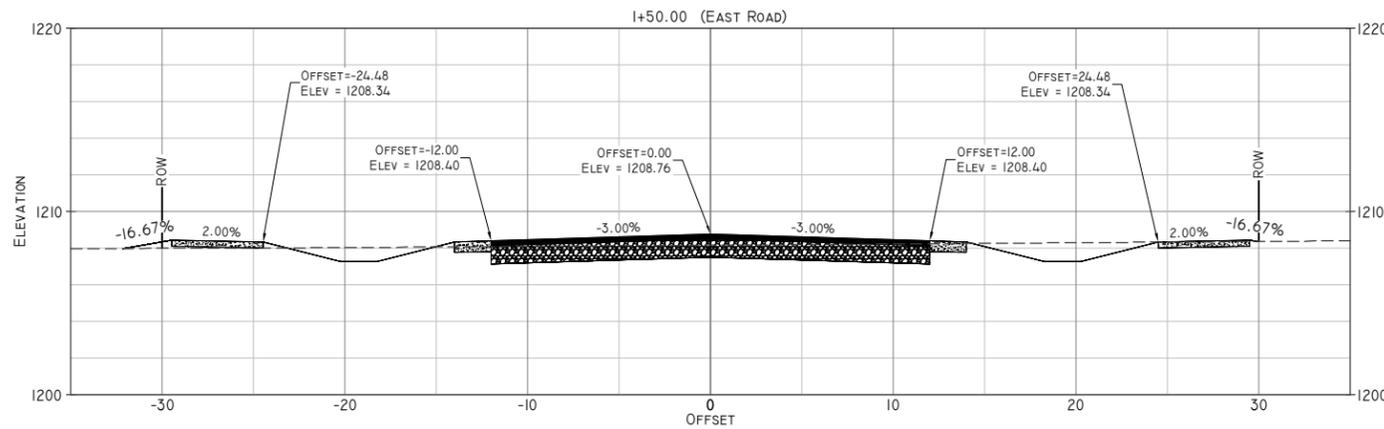
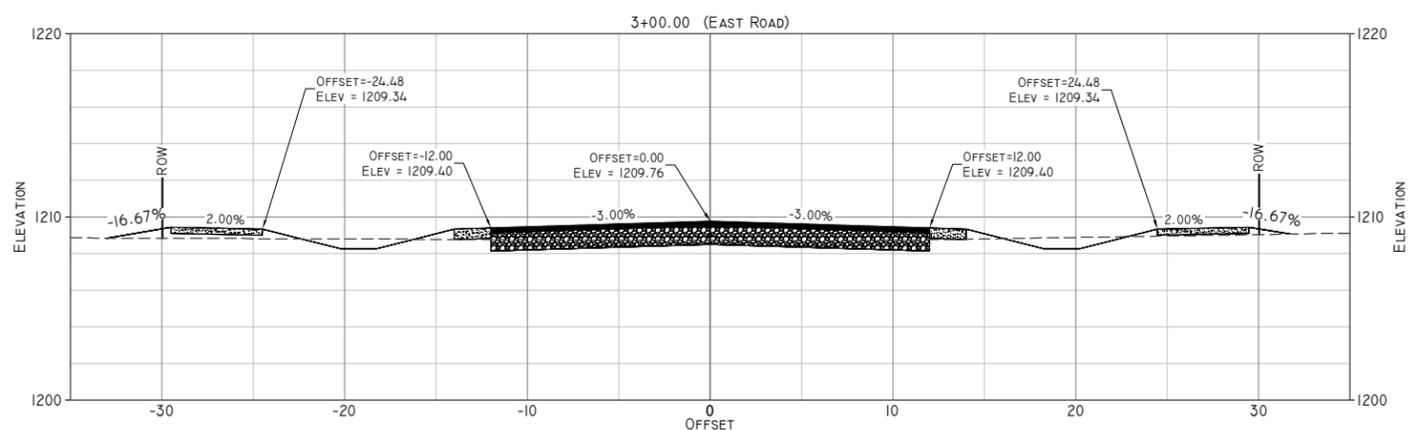
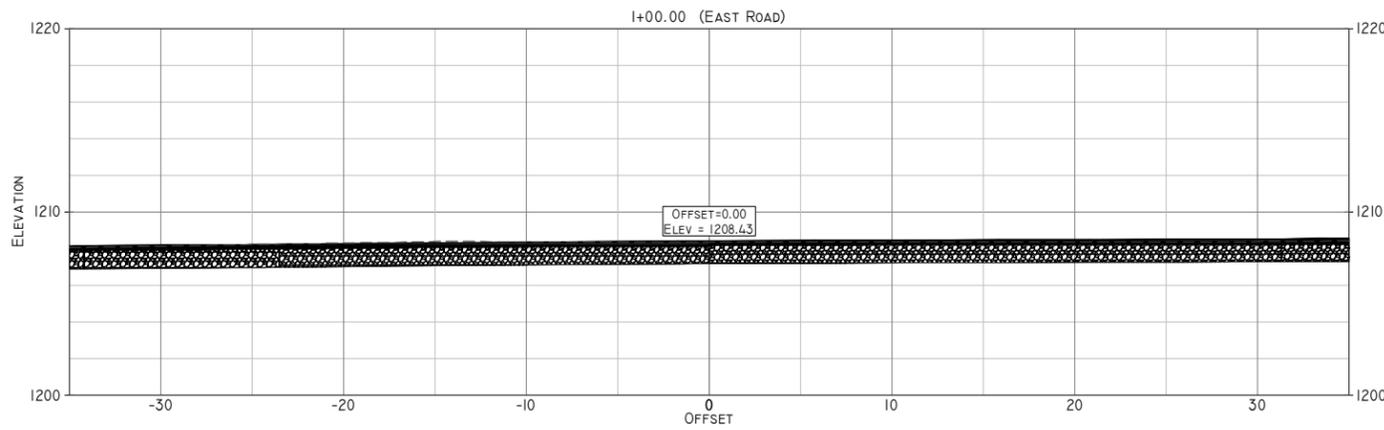
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DESIGNED BY: TAE	CHECKED BY: JJB
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DRAWN BY: NAP	DATE: 08/18/16

PLAN & PROFILE - EAST ROAD
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

REI
 REI No. 7398
 SHEET PP2-E

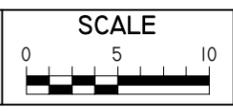


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 PLOTTED: Aug 18, 2016 - 4:08pm PLOTTED BY: TODD

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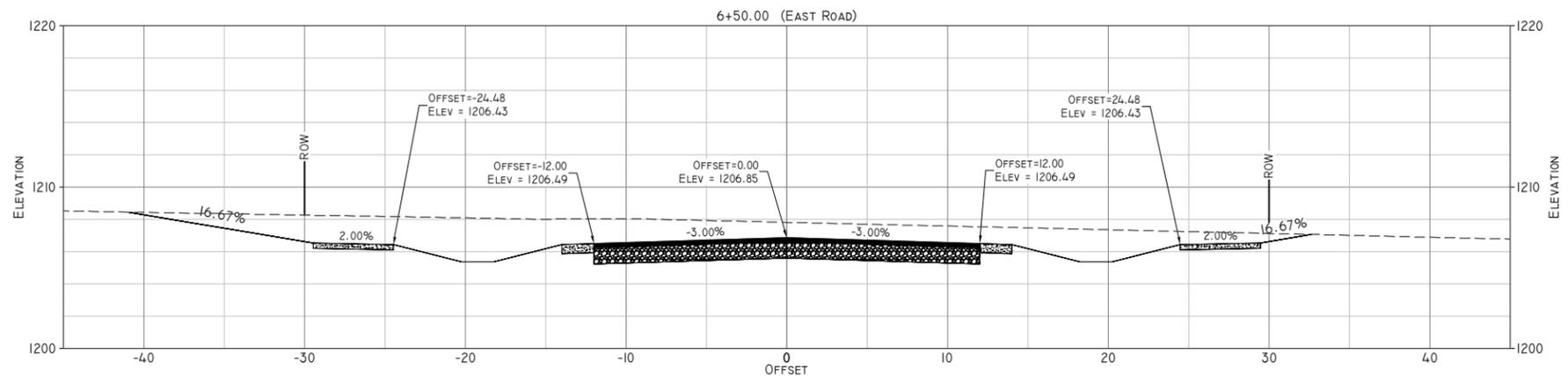
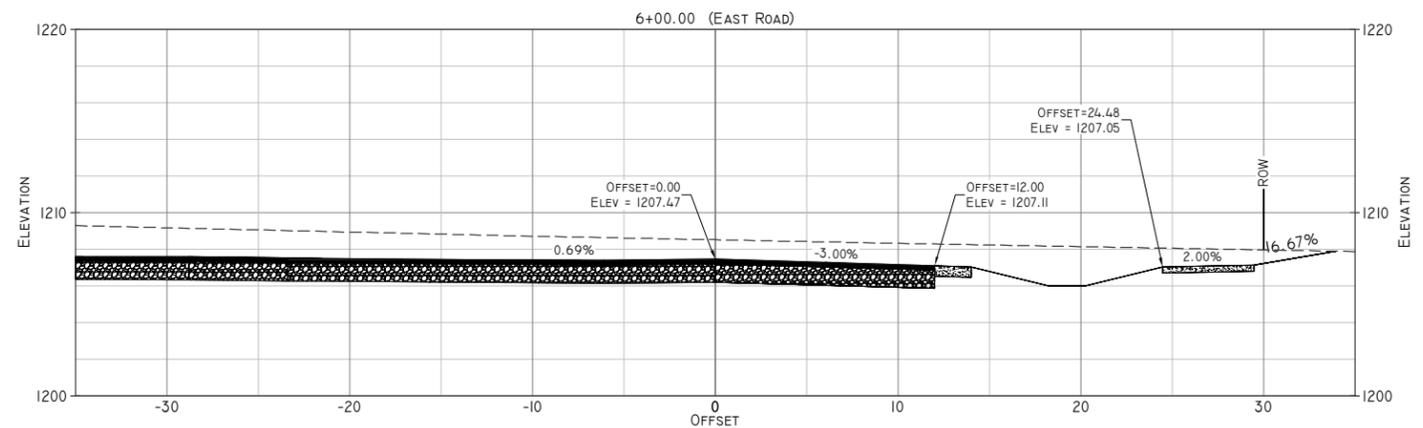
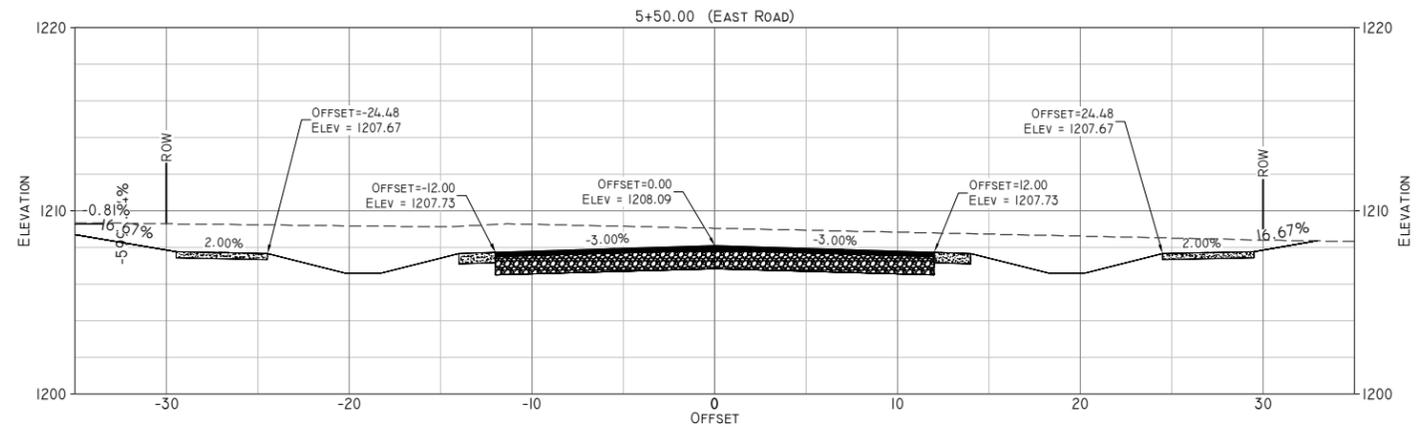
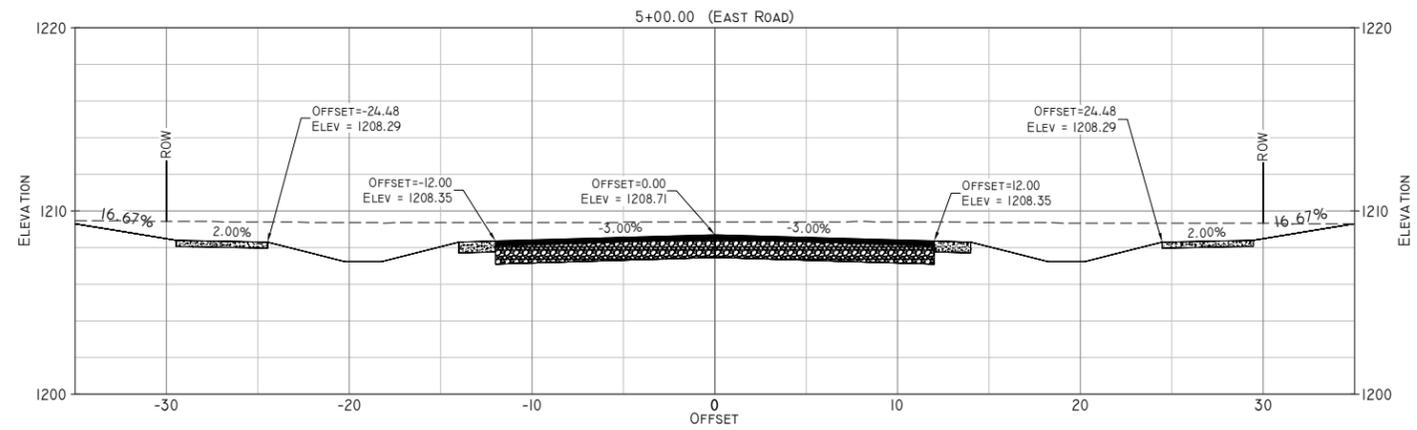
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SURVEYED BY: OTHERS	APPROVED BY: JJB
DRAWN BY:	DATE: 08/18/16

CROSS SECTIONS - EAST
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

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 SHEET XSI-E

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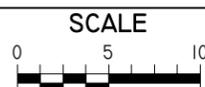


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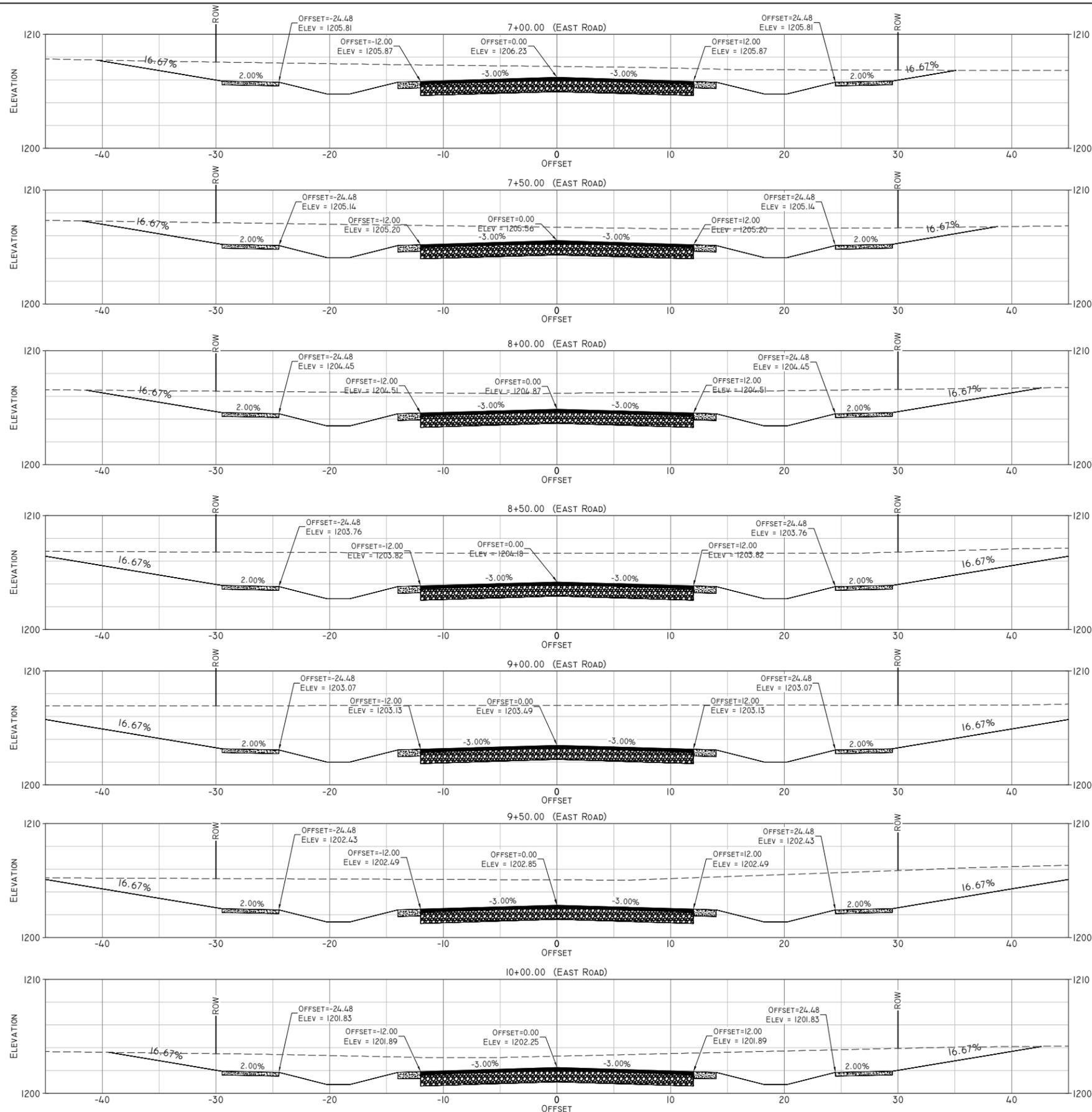
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SURVEYED BY: OTHERS	APPROVED BY: JJB
DRAWN BY:	DATE: 08/18/16

CROSS SECTIONS - EAST
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

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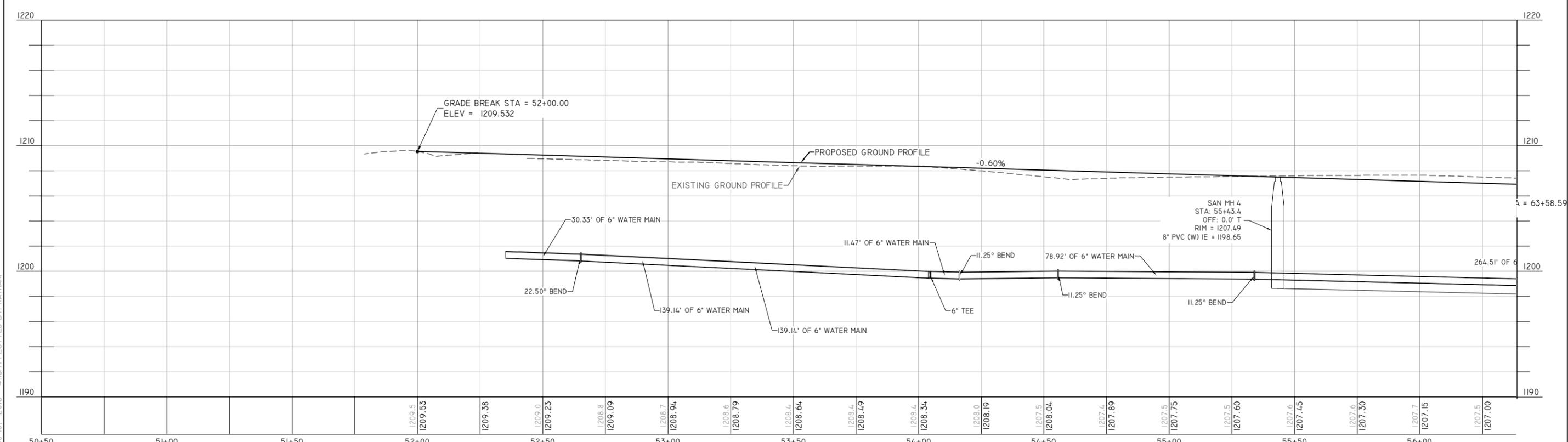
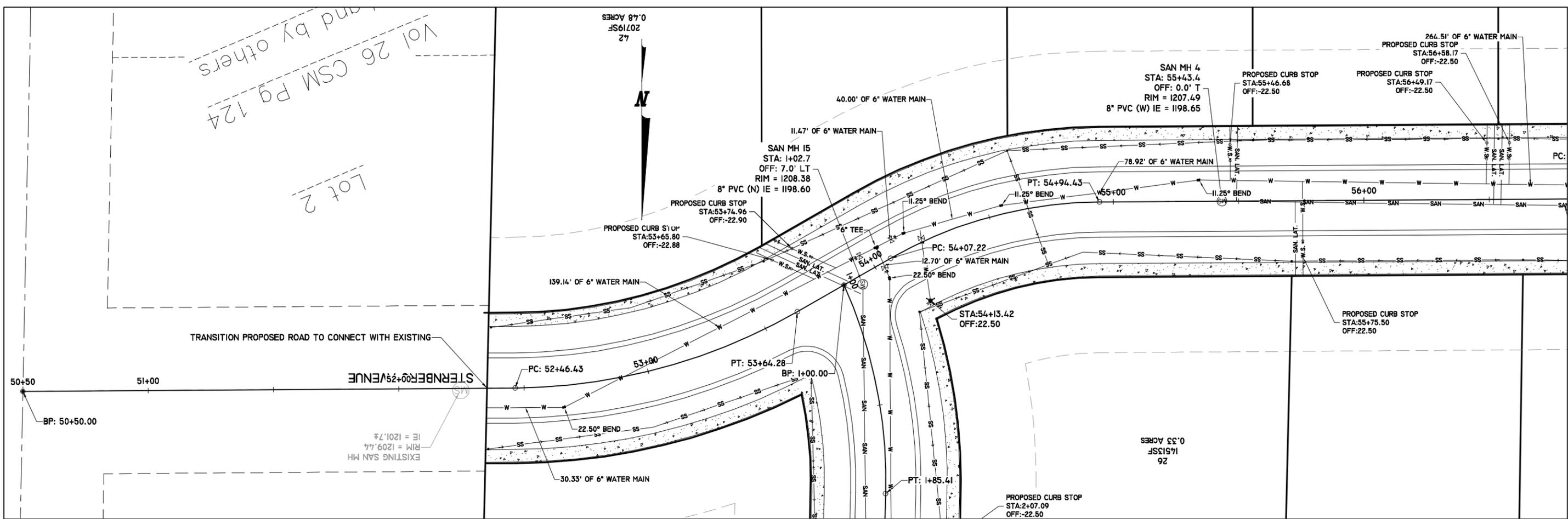
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DESIGNED BY: TAE	CHECKED BY: JJB
SURVEYED BY: OTHERS	APPROVED BY: JJB
DRAWN BY:	DATE: 08/18/16

CROSS SECTIONS - EAST
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

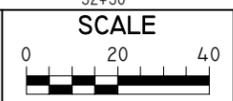
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Vol 26 CSM Pg 124
 and by others
 Lot 2



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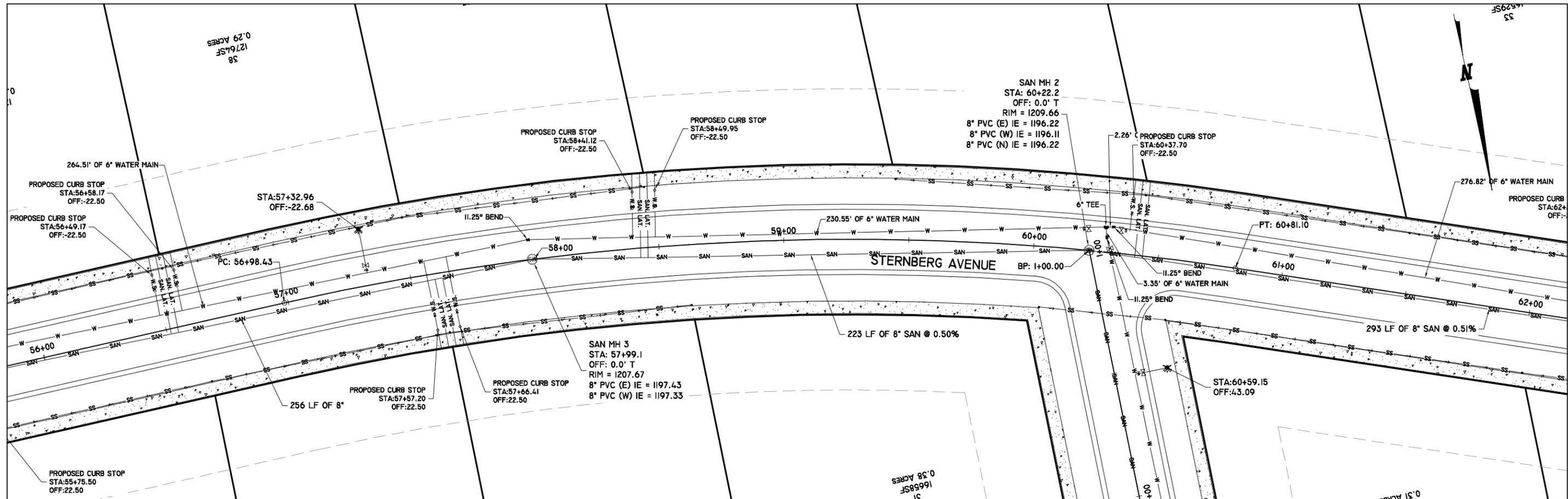
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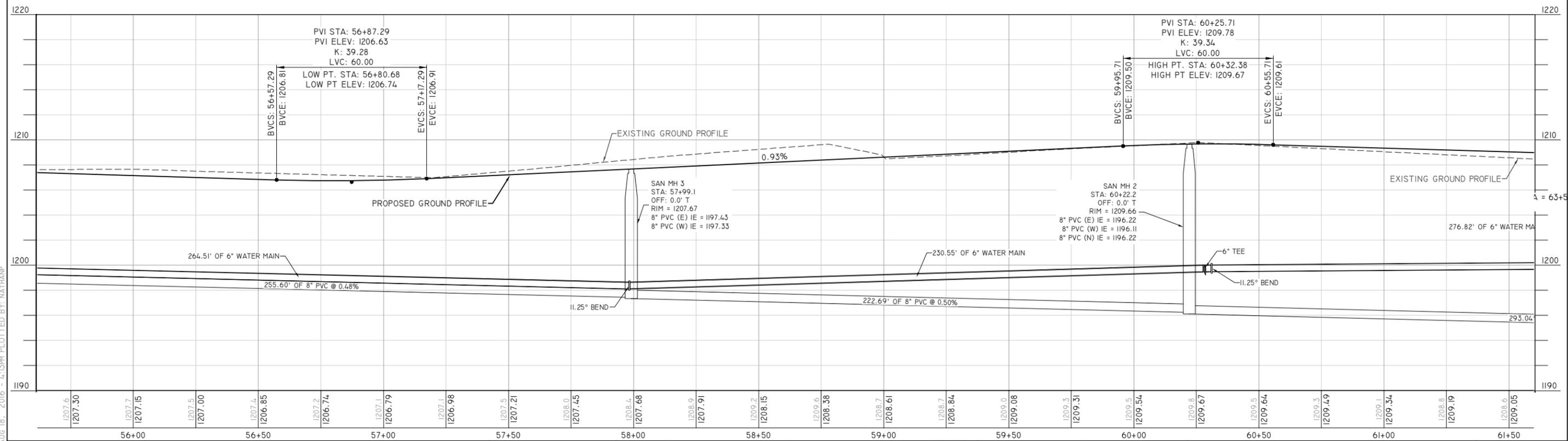
PLAN & PROFILE - STERNBERG AVENUE
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

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STERNBERG ROAD PROFILE

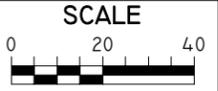


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 PLOTTED: AUG 18, 2016 - 4:13PM PLOTTED BY: NATHAN

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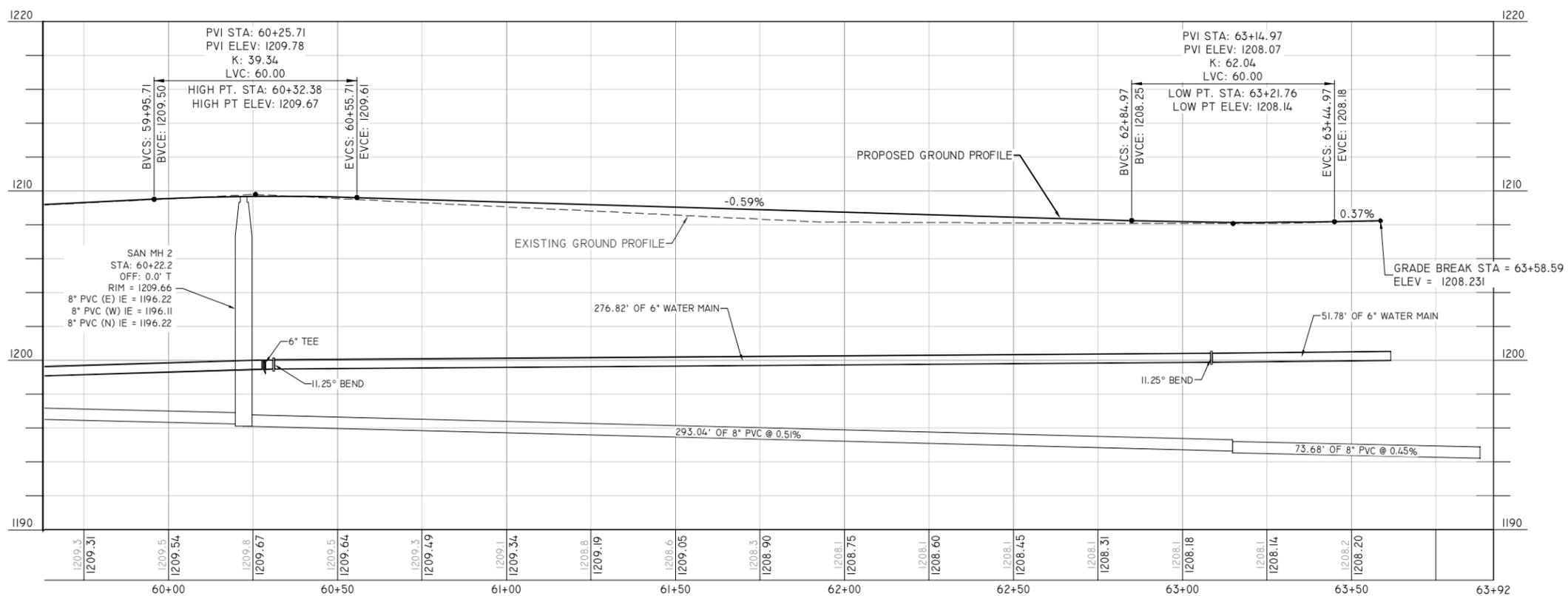
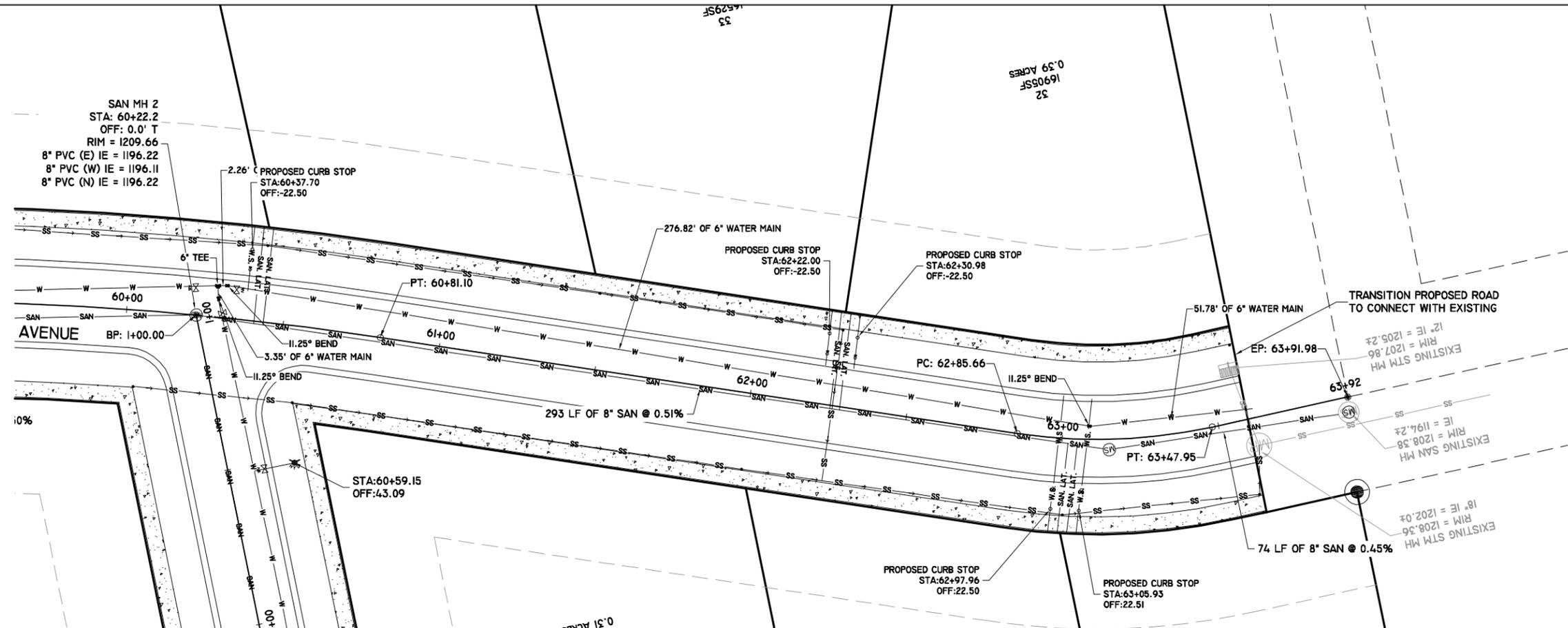
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DESIGNED BY: TAE
 SURVEYED BY: OTHERS
 DRAWN BY: NAP

CHECKED BY: JJB
 APPROVED BY: JJB
 DATE: 08/18/16

PLAN & PROFILE - STERNBERG AVENUE
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

REI
 REI No. 7398
 SHEET PP2-S

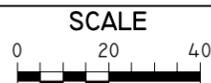


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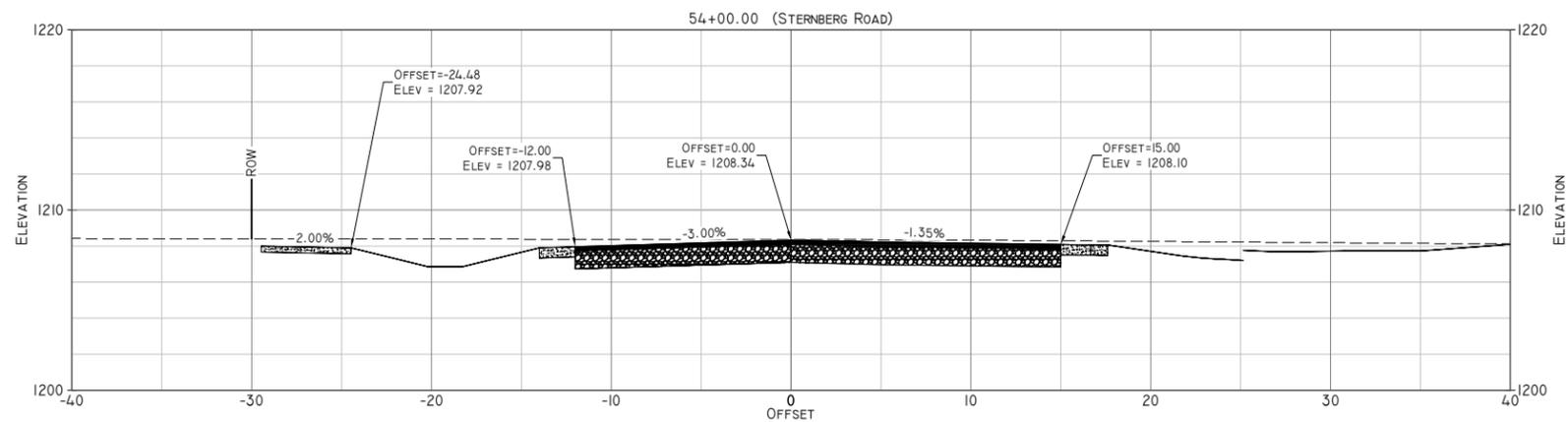
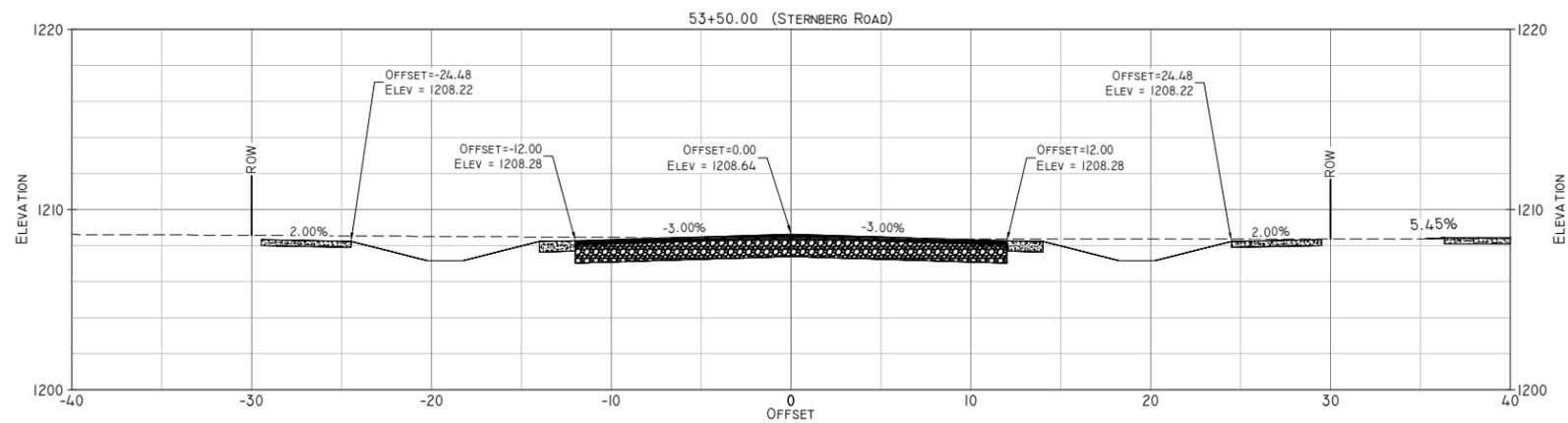
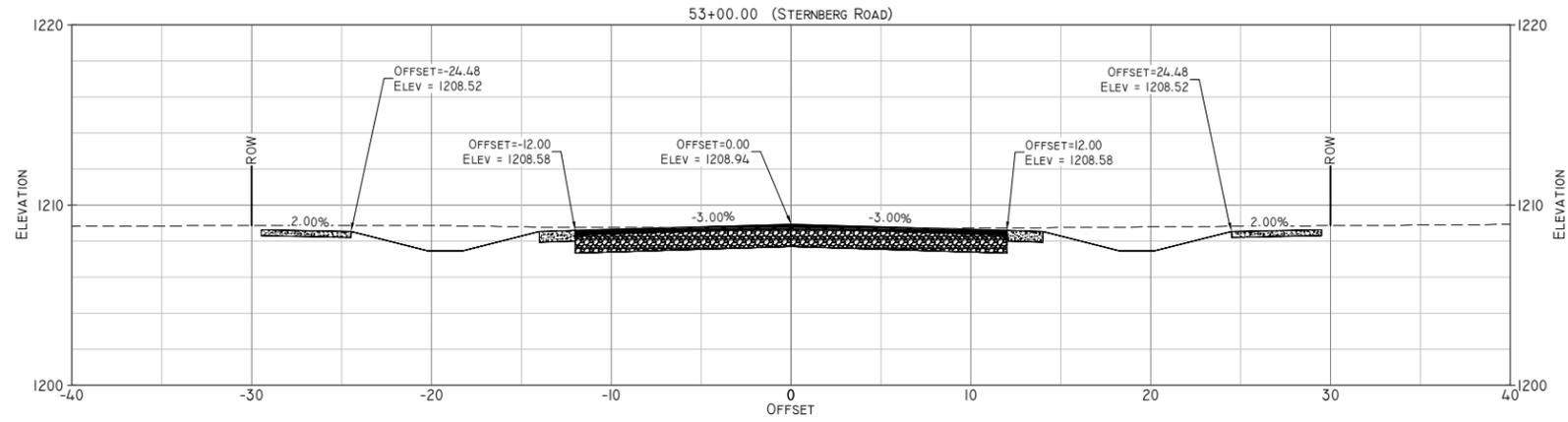
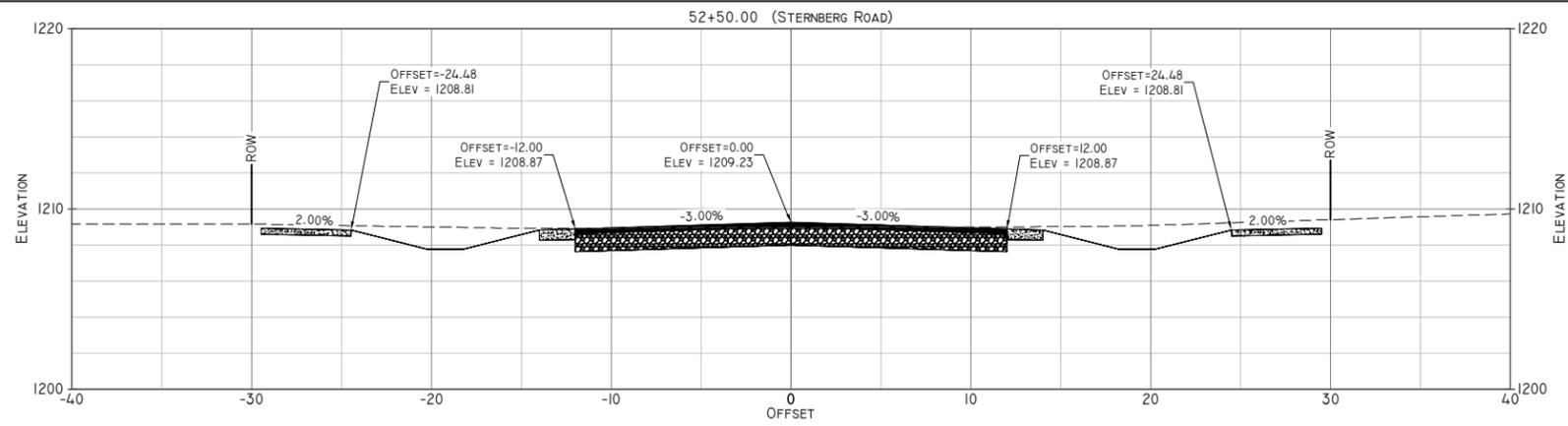


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DESIGNED BY: TAE	CHECKED BY: JJB
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DRAWN BY: NAP	DATE: 08/18/16

PLAN & PROFILE - STERNBERG AVENUE
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

REI
 REI No. 7398
 SHEET PP3-S



DRAWING FILE: P:\17300-7399\7398 - MISTY PINES\DWG\PLANS\7398 CROSS SECTIONS.DWG LAYOUT: XSI-S
 PLOTTED: Aug 18, 2016 - 4:12PM PLOTTED BY: ToddW

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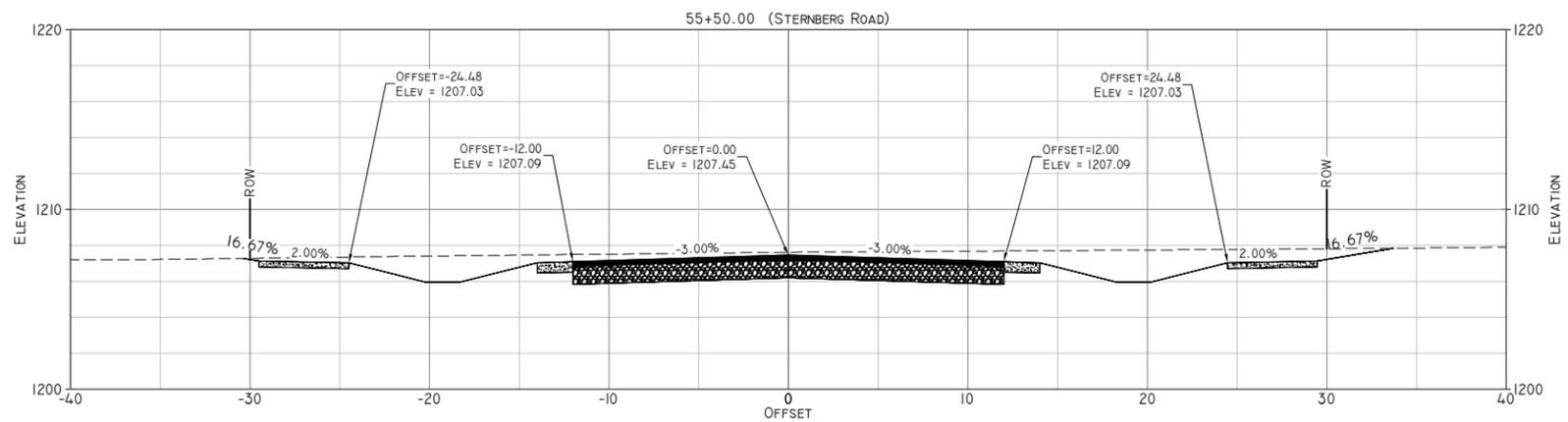
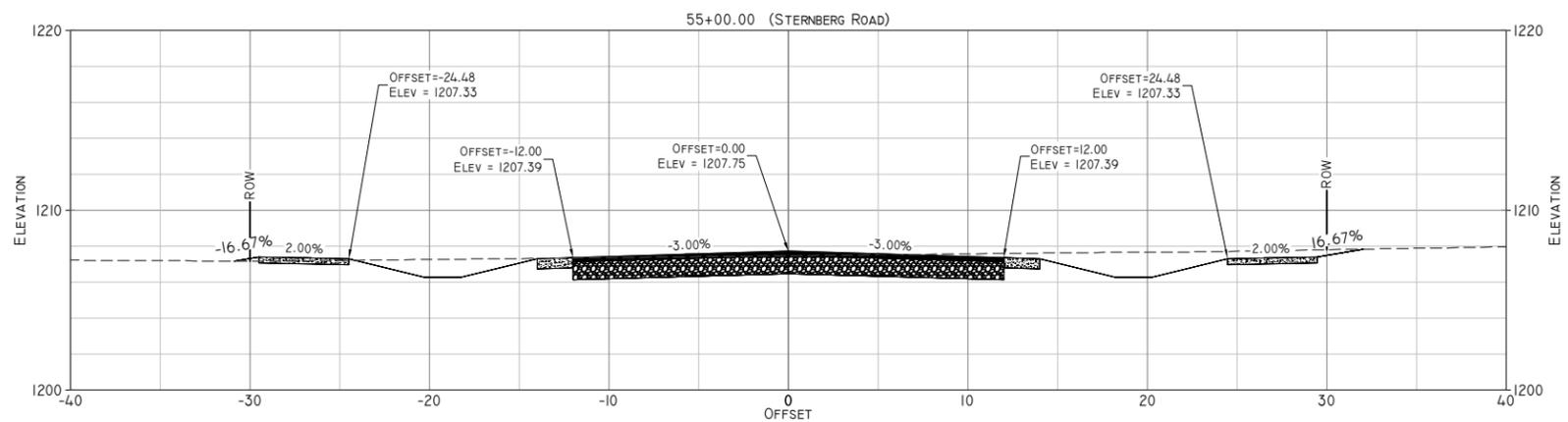
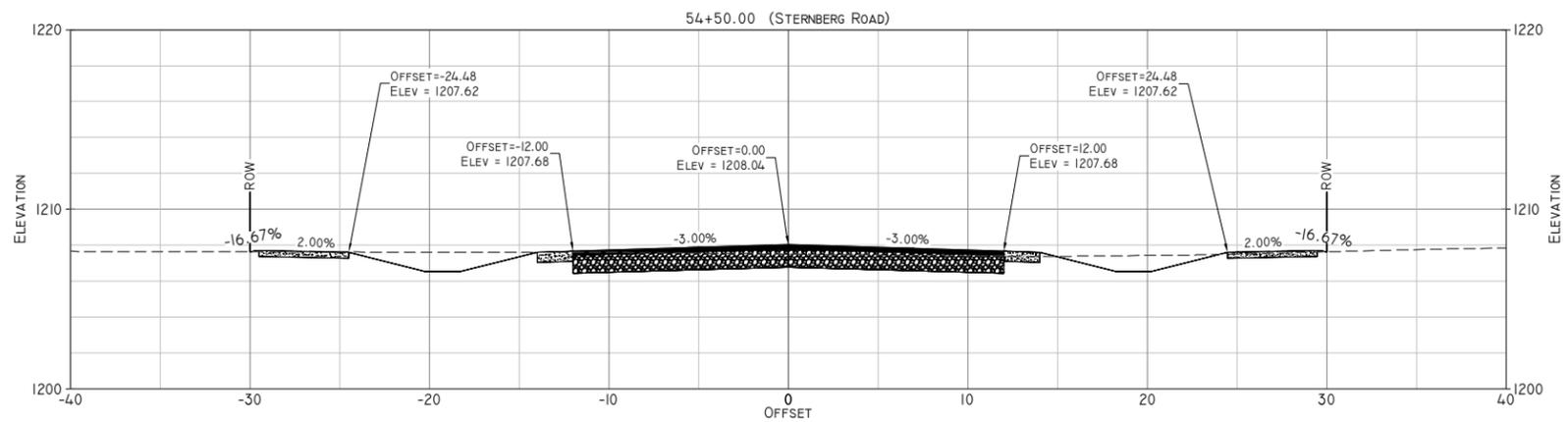


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DESIGNED BY: TAE	CHECKED BY: JJB
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DRAWN BY:	DATE: 08/18/16

CROSS SECTIONS - STERNBERG AVENUE
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

REI
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 SHEET XSI-S

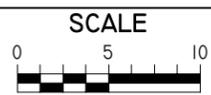


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 PLOTTED: Aug 18, 2016 - 4:13PM PLOTTED BY: ToddW

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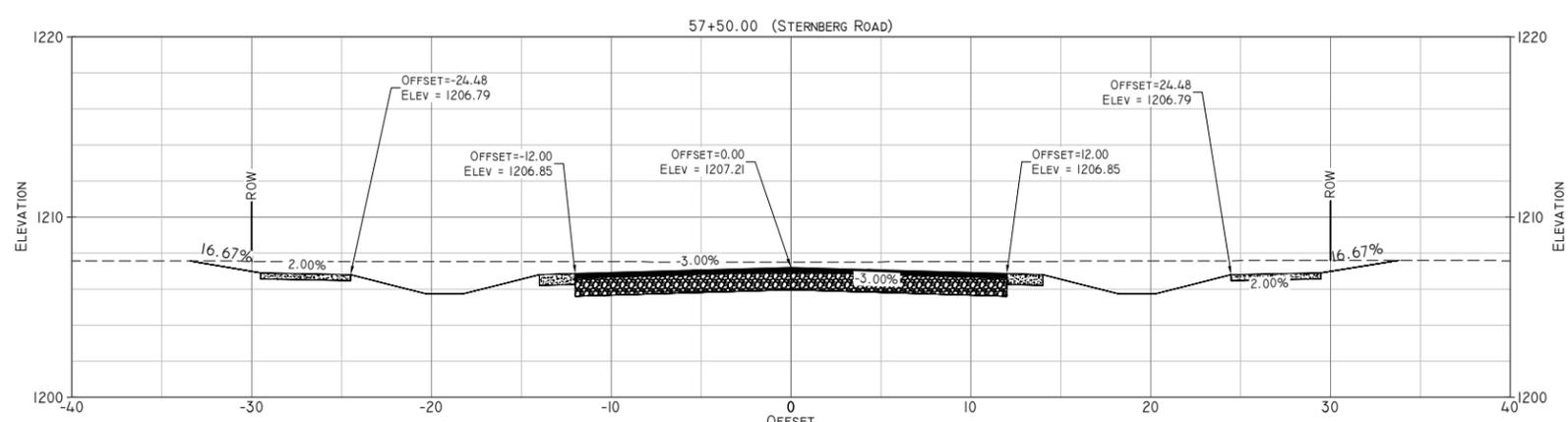
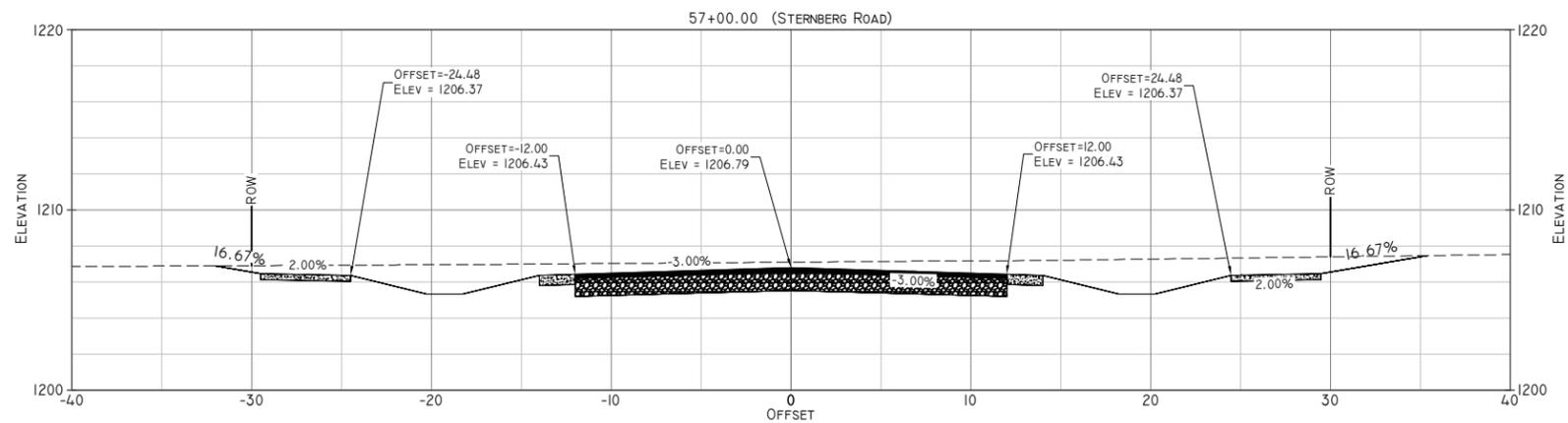
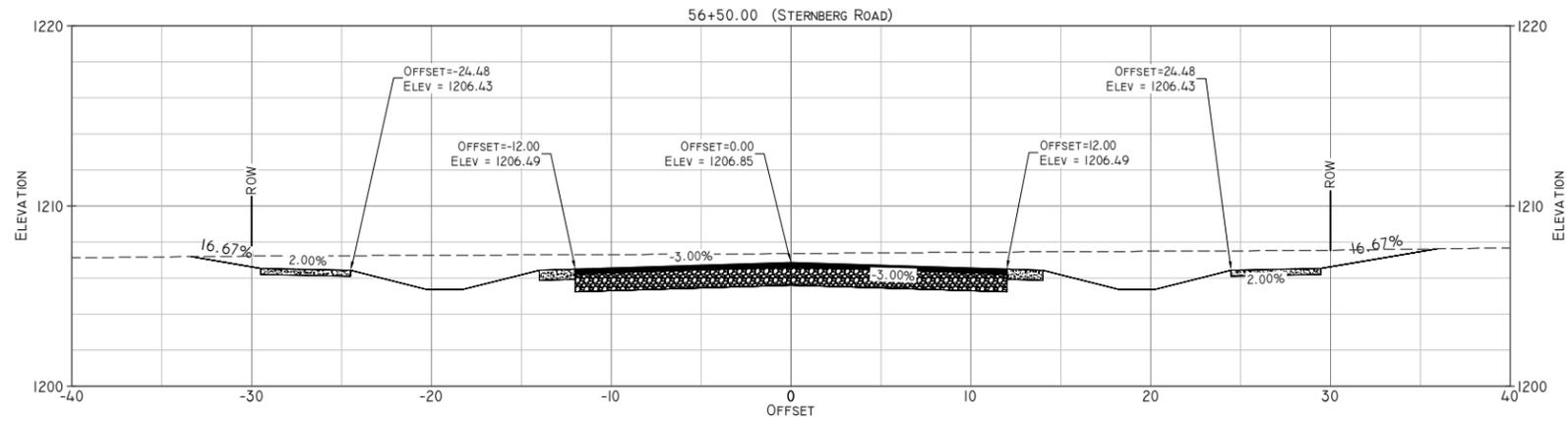
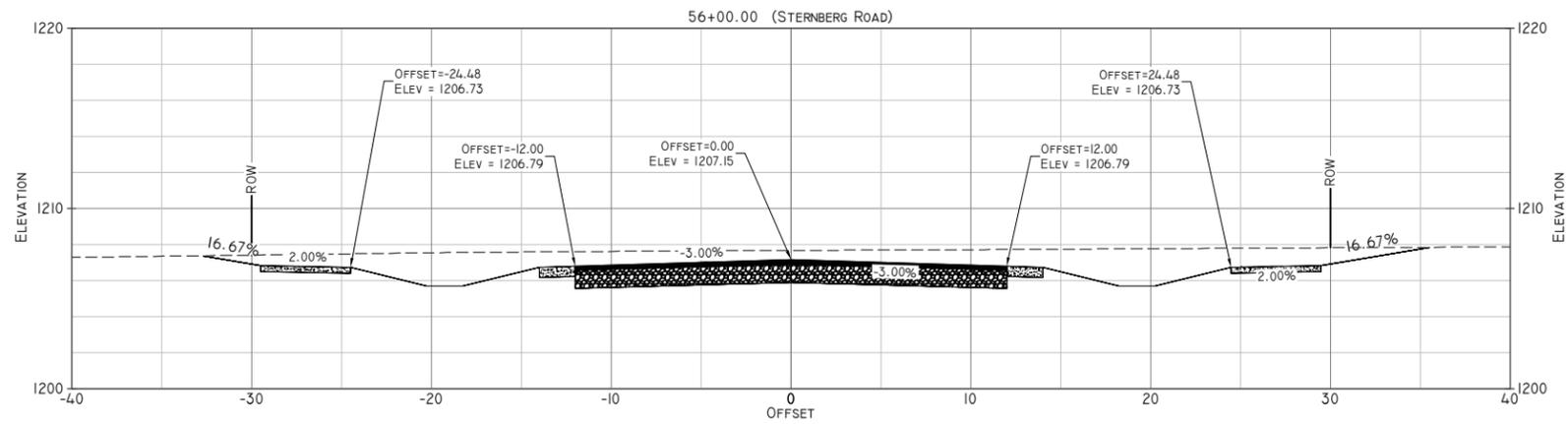
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CROSS SECTIONS - STERNBERG AVENUE
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

REI
 REI No. 7398
 SHEET XS2-S

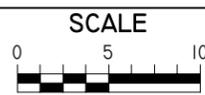
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 PLOTTED: Aug 18, 2016 - 4:13PM PLOTTED BY: ToddW



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DATE	REVISION	BY	CHK'D

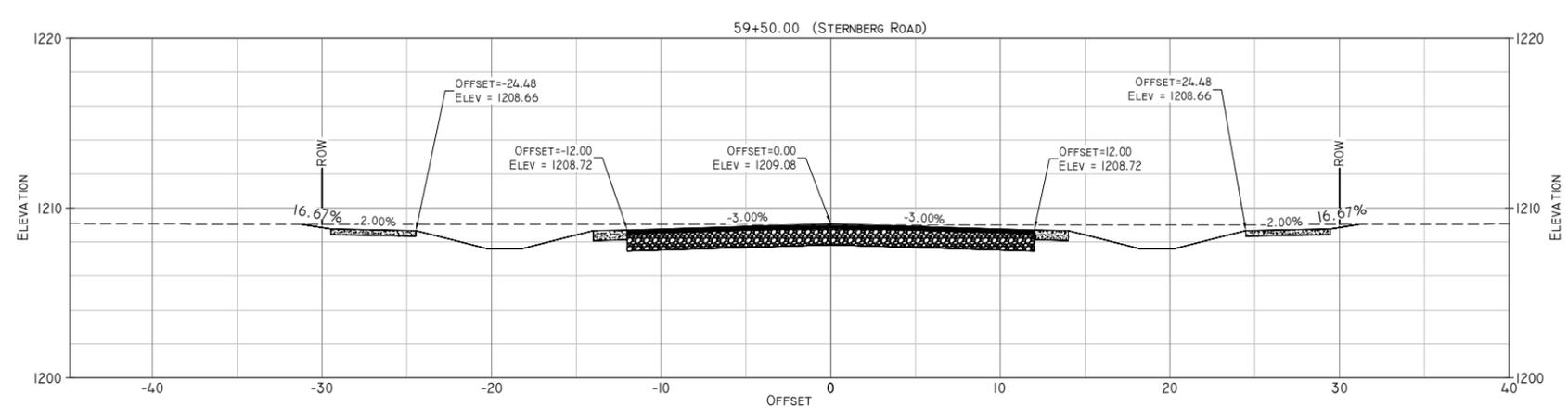
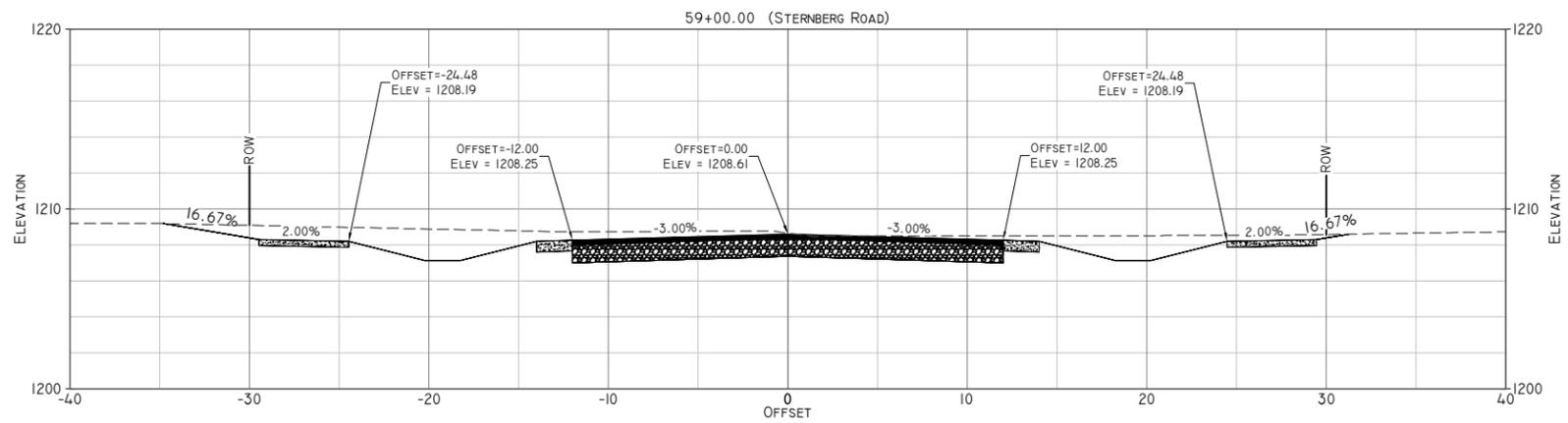
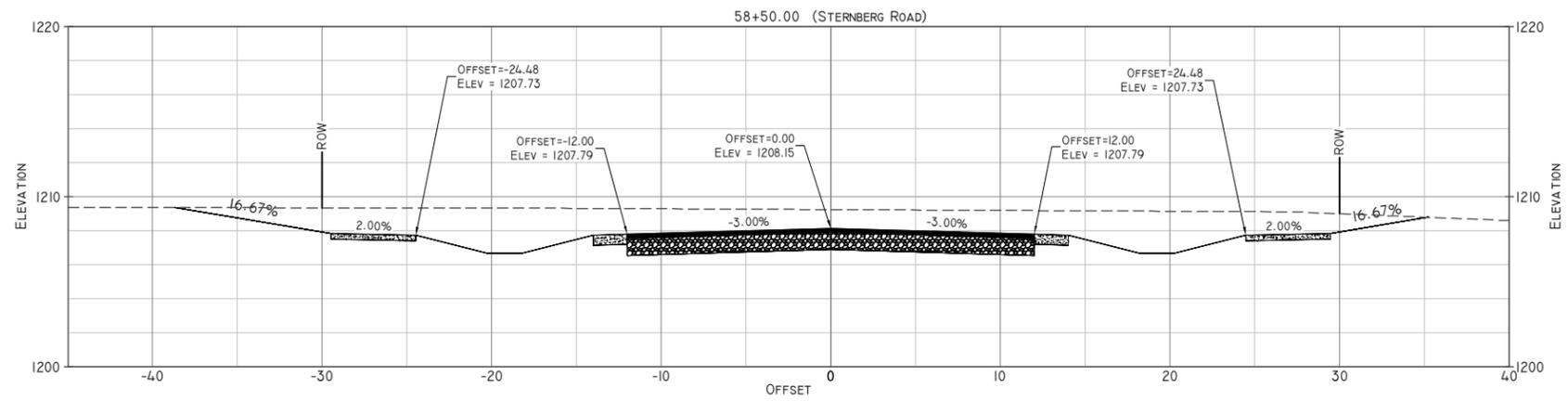
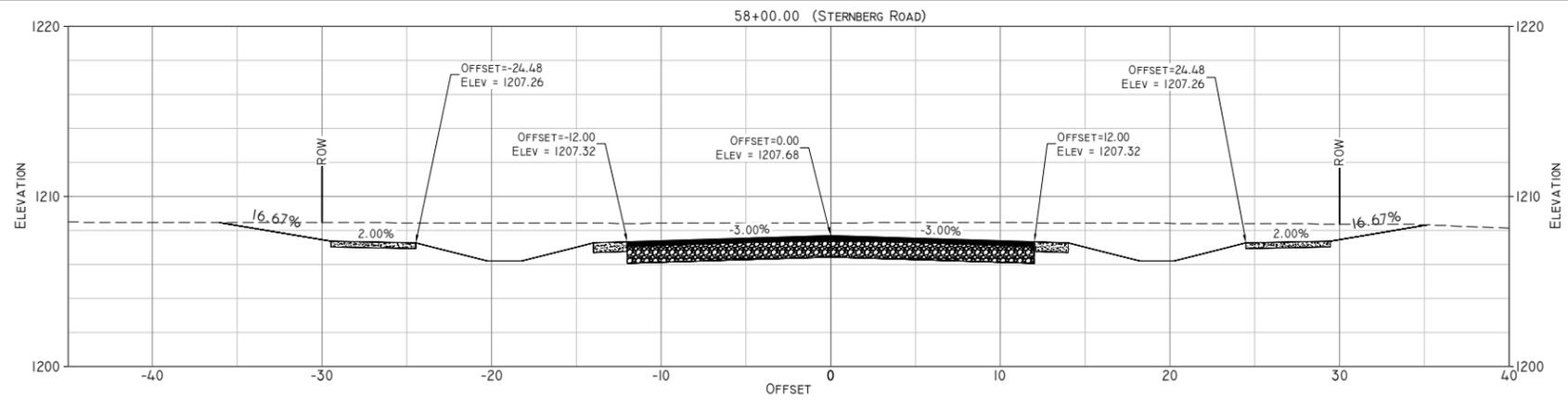
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CROSS SECTIONS - STERNBERG AVENUE
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

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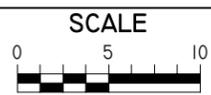
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 PLOTTED: Aug 18, 2016 - 4:14PM PLOTTED BY: ToddW



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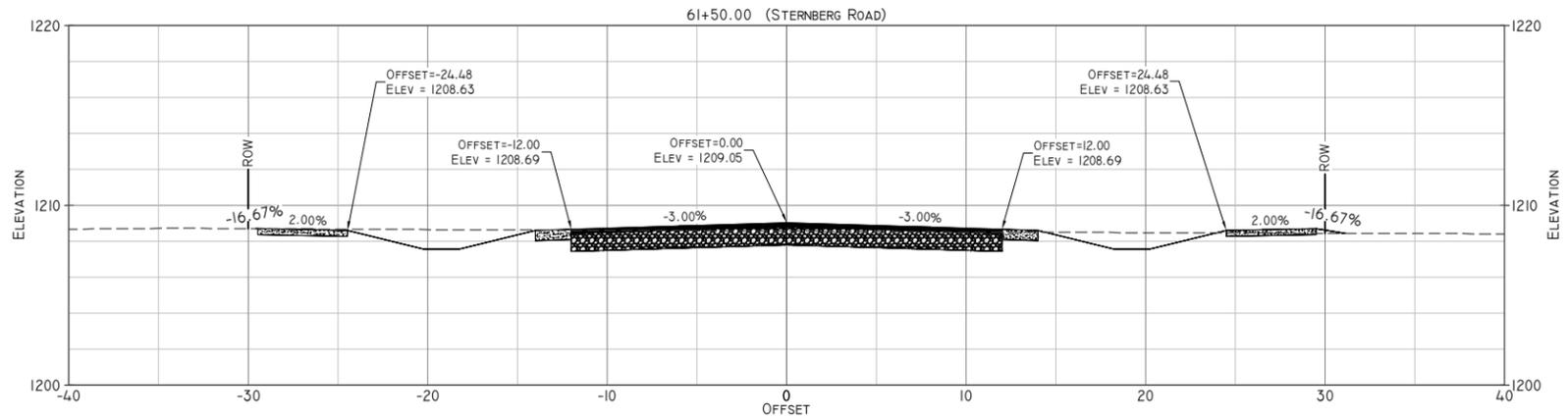
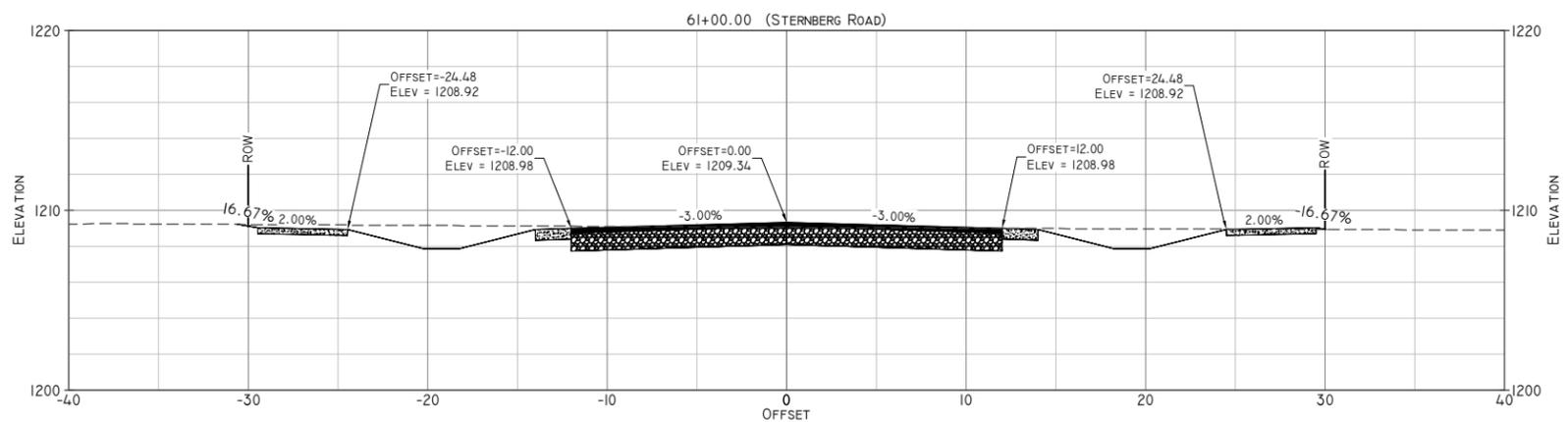
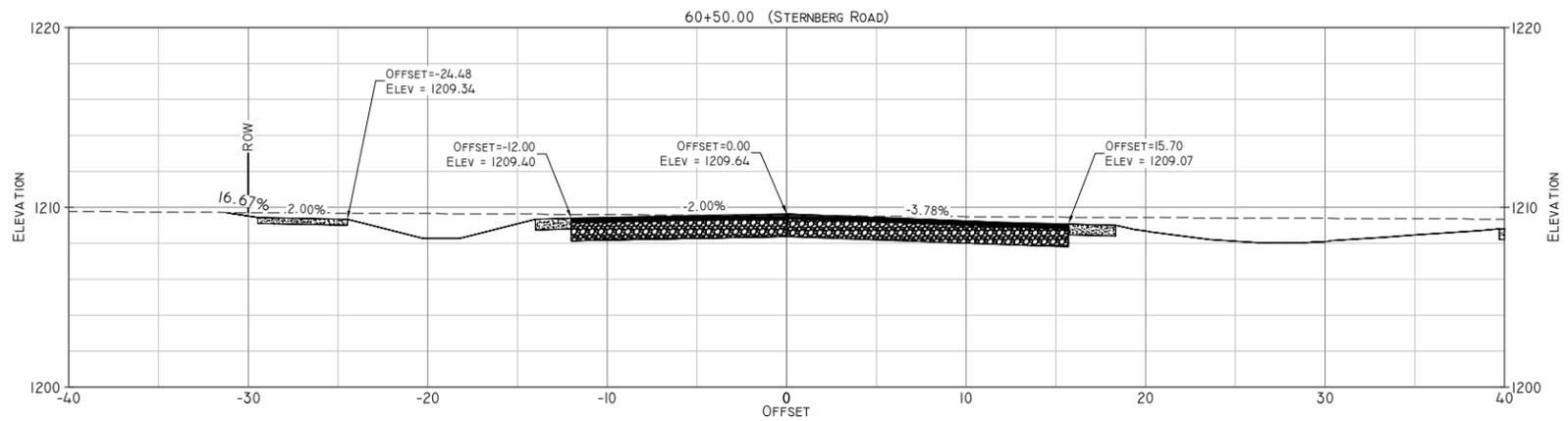
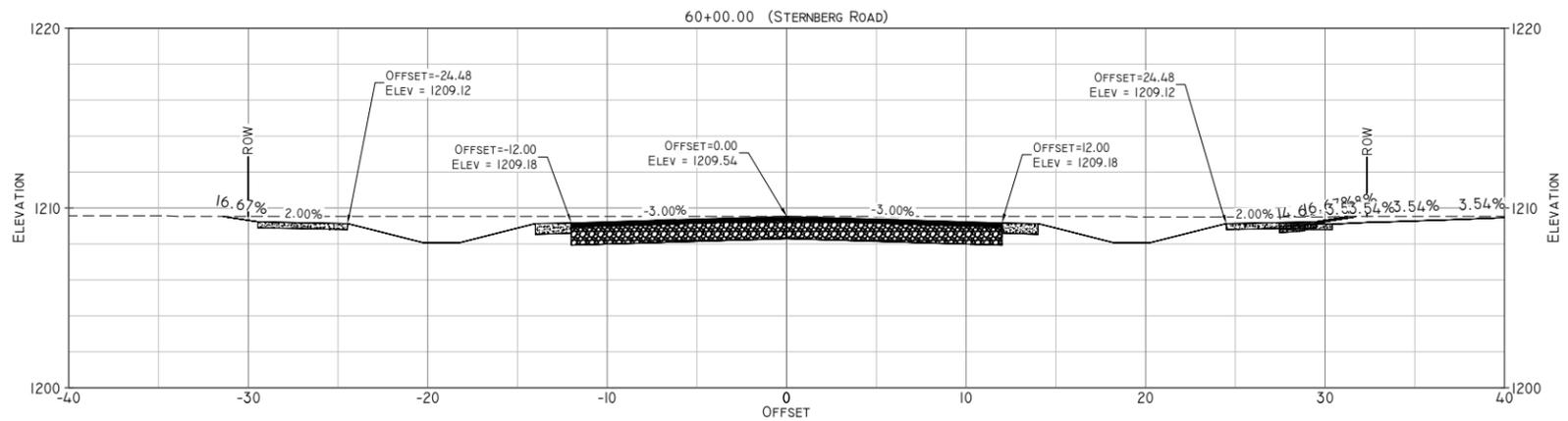
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 SURVEYED BY: OTHERS APPROVED BY: JJB
 DRAWN BY: _____ DATE: 08/18/16

CROSS SECTIONS - STERNBERG AVENUE
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

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 SHEET XS4-S

DRAWING FILE: P:\17300-7399\7398 - MISTY PINES\DWG\PLANS\7398 CROSS SECTIONS.DWG LAYOUT: XS5-S
 PLOTTED: Aug 18, 2016 - 4:14PM PLOTTED BY: TODD



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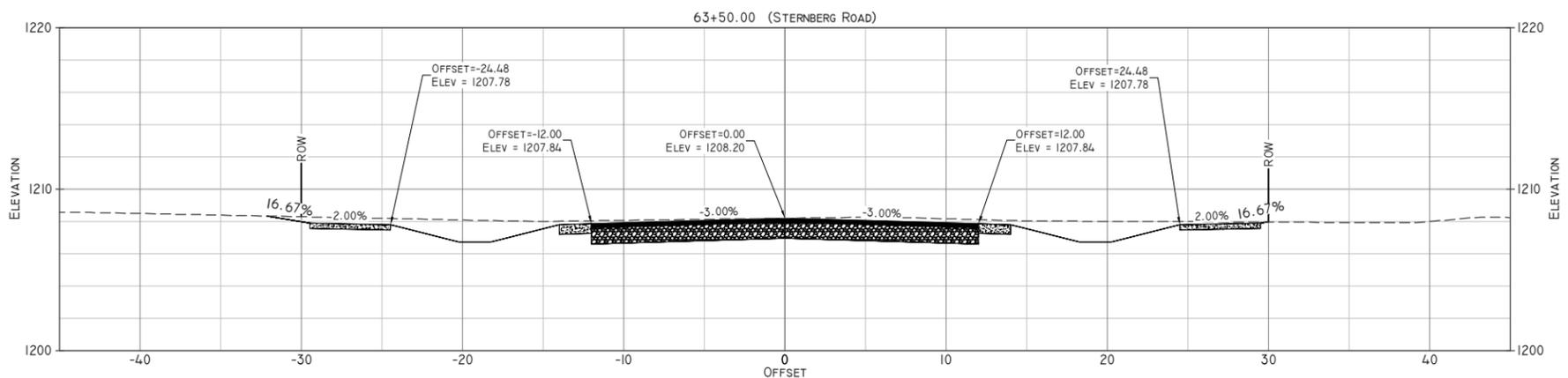
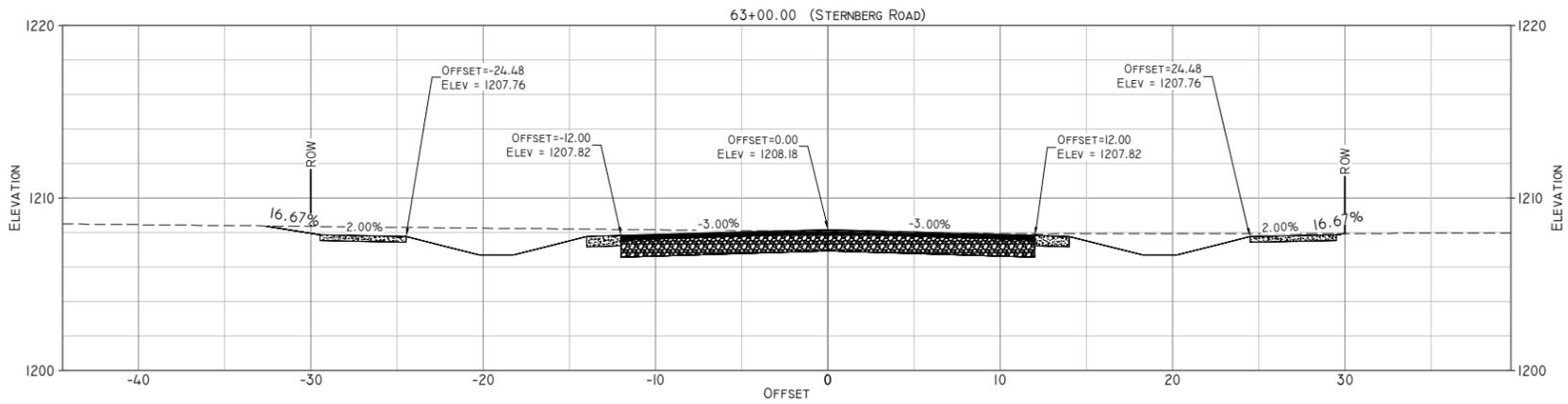
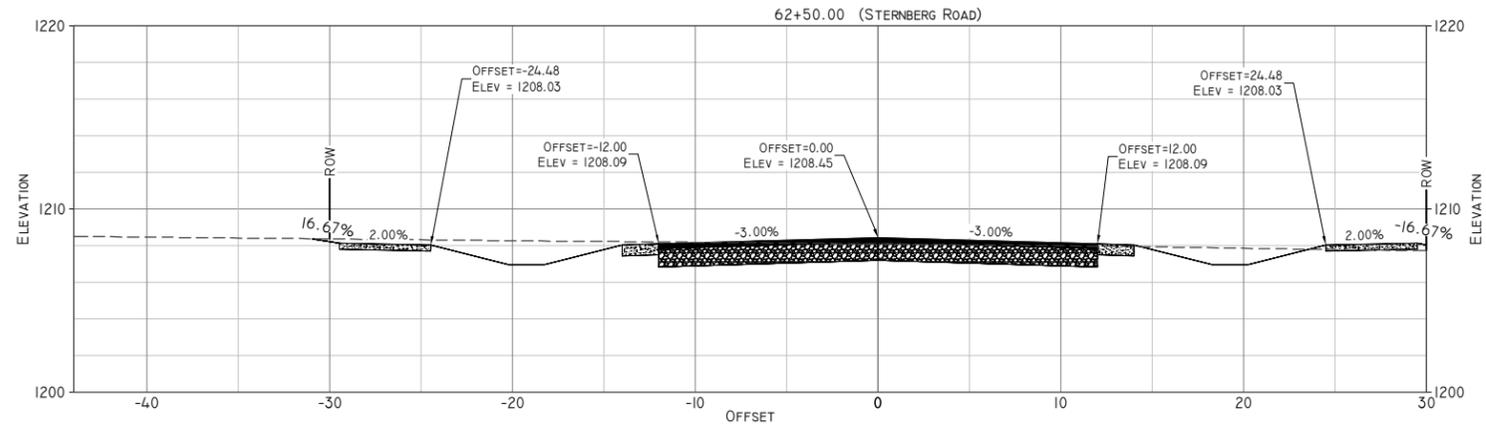
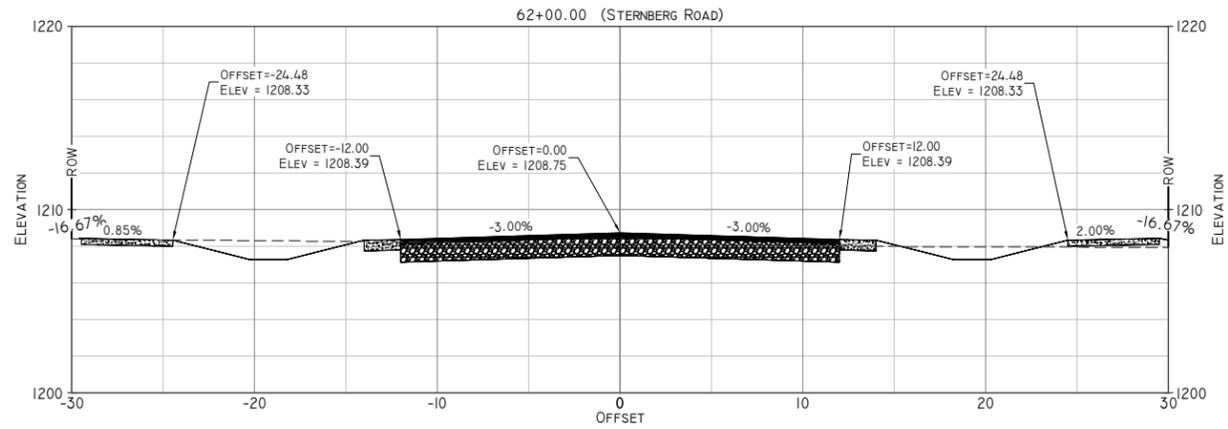
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DESIGNED BY: TAE	CHECKED BY: JJB
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DRAWN BY:	DATE: 08/18/16

CROSS SECTIONS - STERNBERG AVENUE
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 PLOTTED: Aug 18, 2016 - 4:58PM PLOTTED BY: Todd

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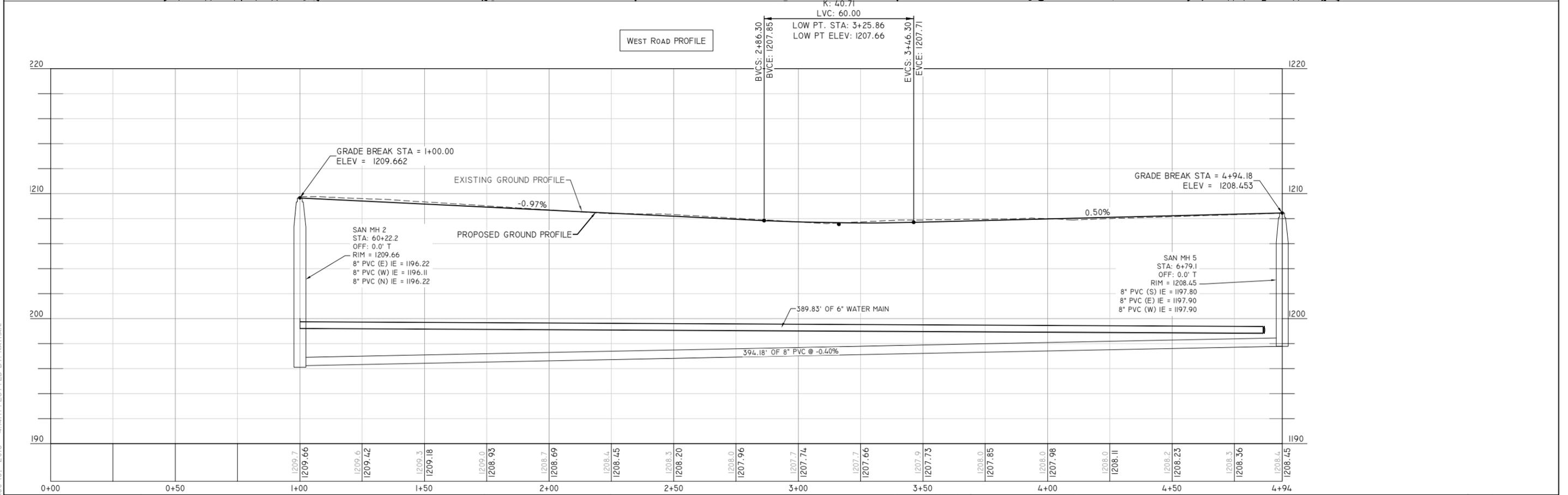
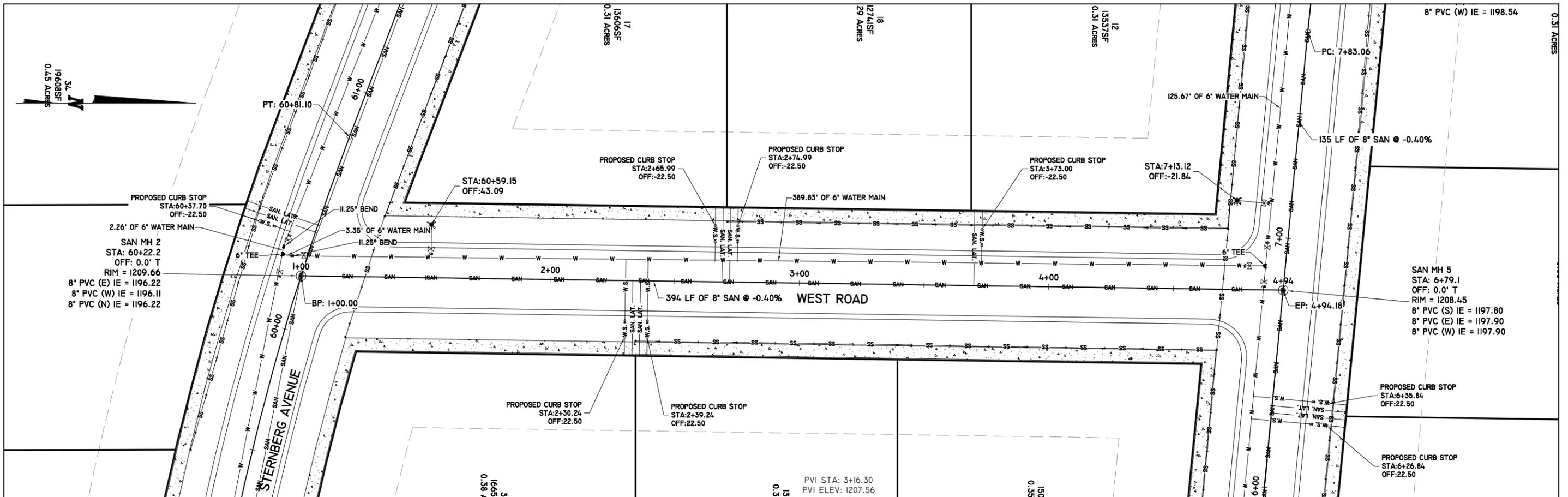
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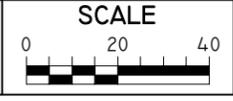
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 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

REI
 REI No. 7398
 SHEET XS6-S



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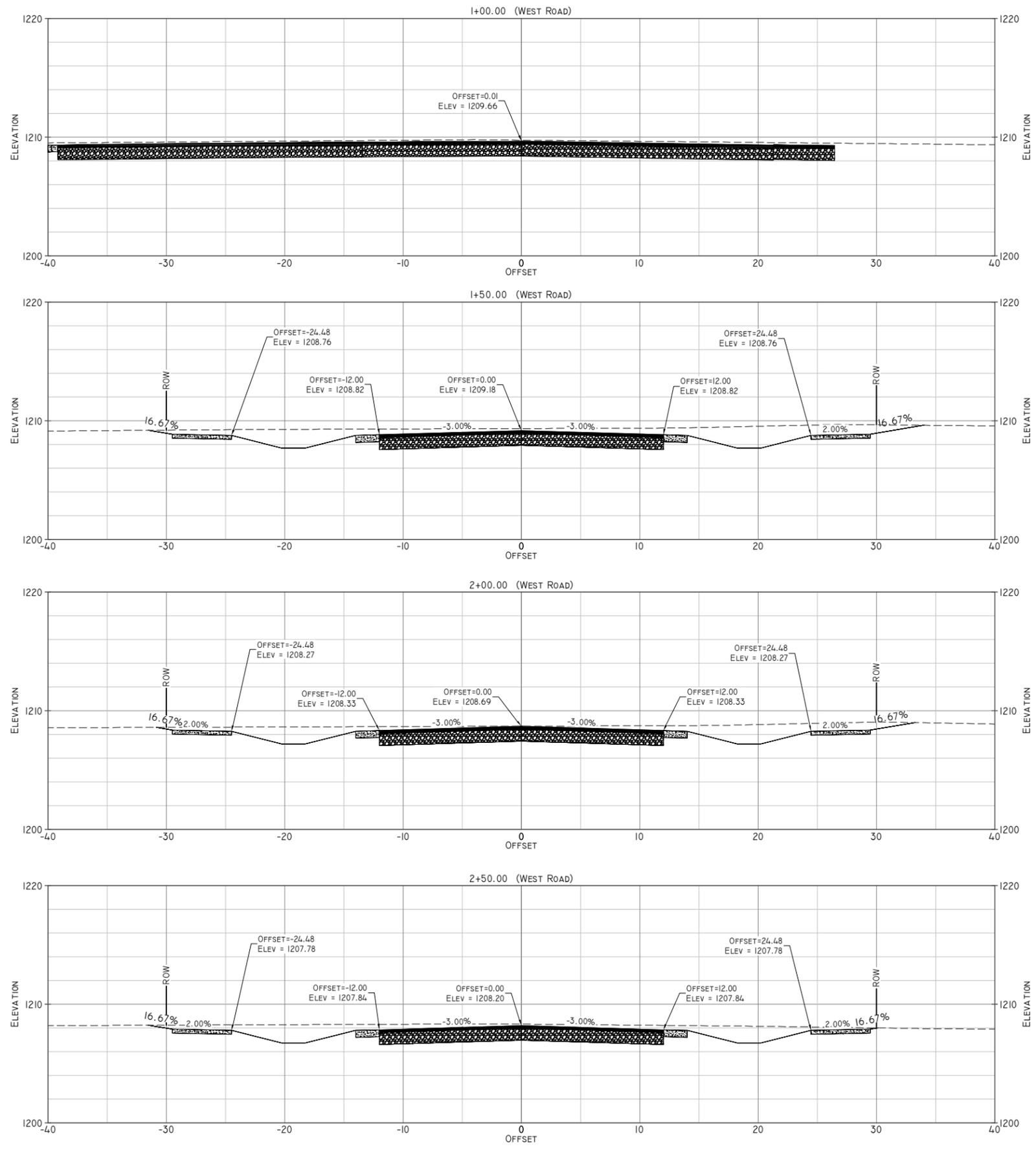
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SURVEYED BY: OTHERS	APPROVED BY: JJB
DRAWN BY: NAP	DATE: 08/18/16

PLAN & PROFILE - WEST ROAD
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

REI No. 7398
 SHEET PPI-W

Received on 08/19/2016

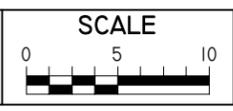


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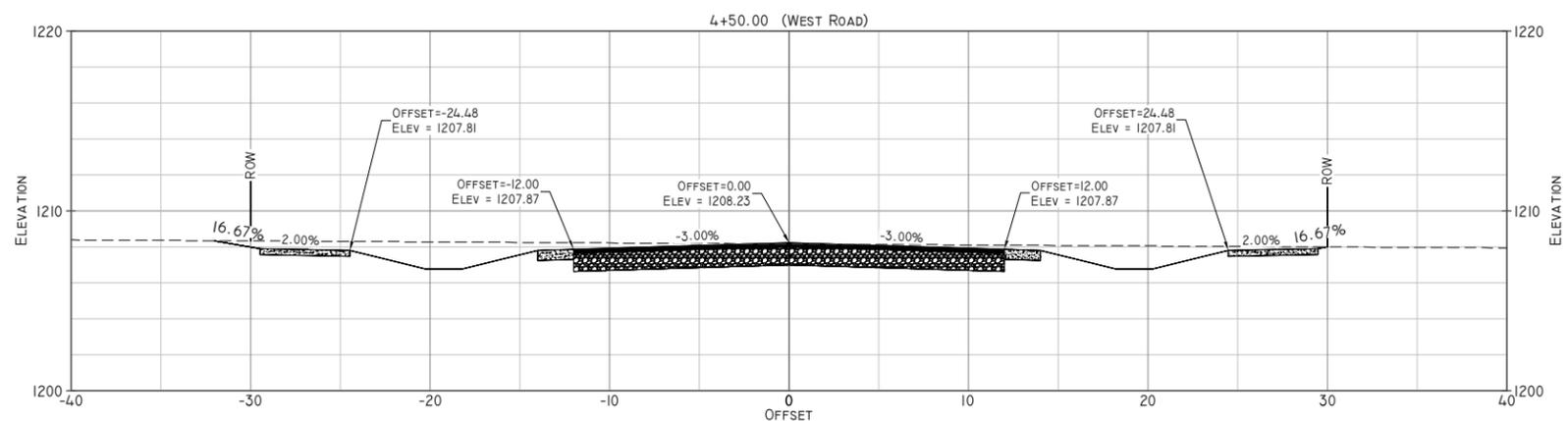
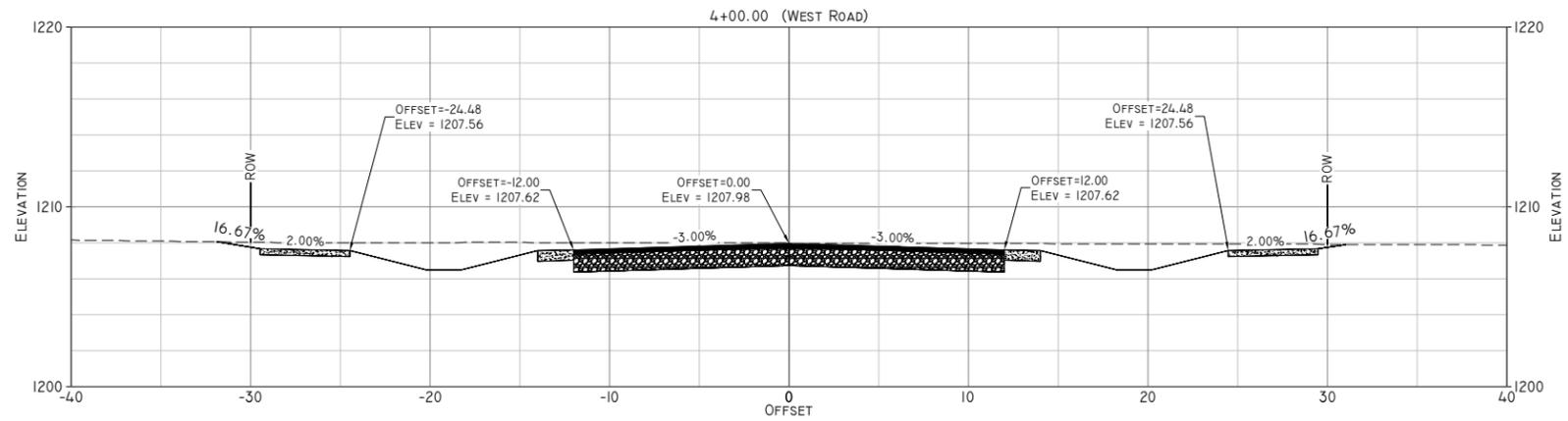
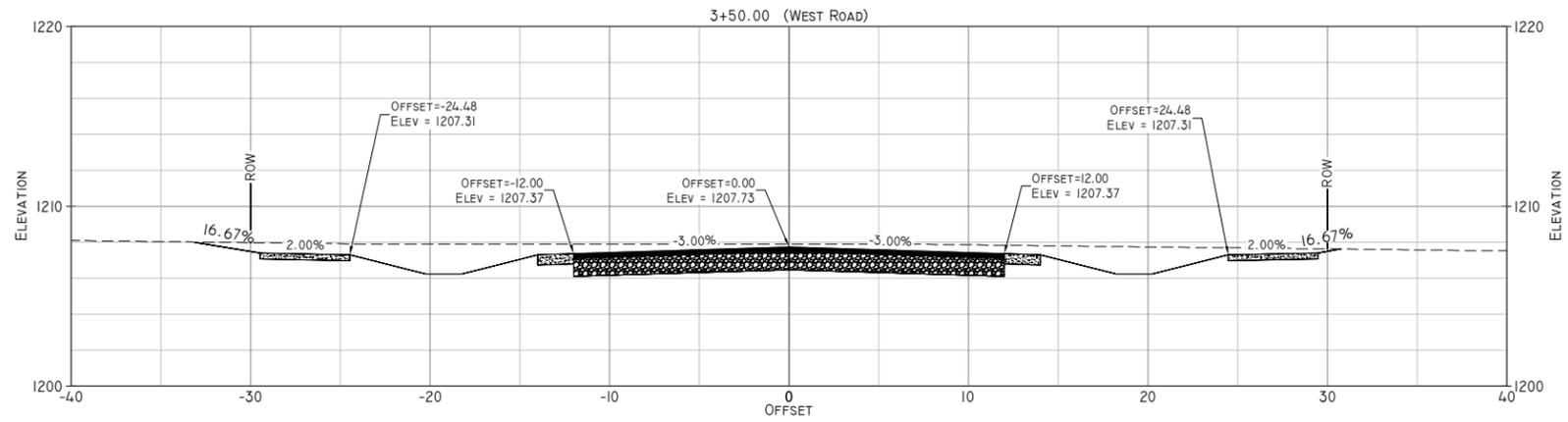
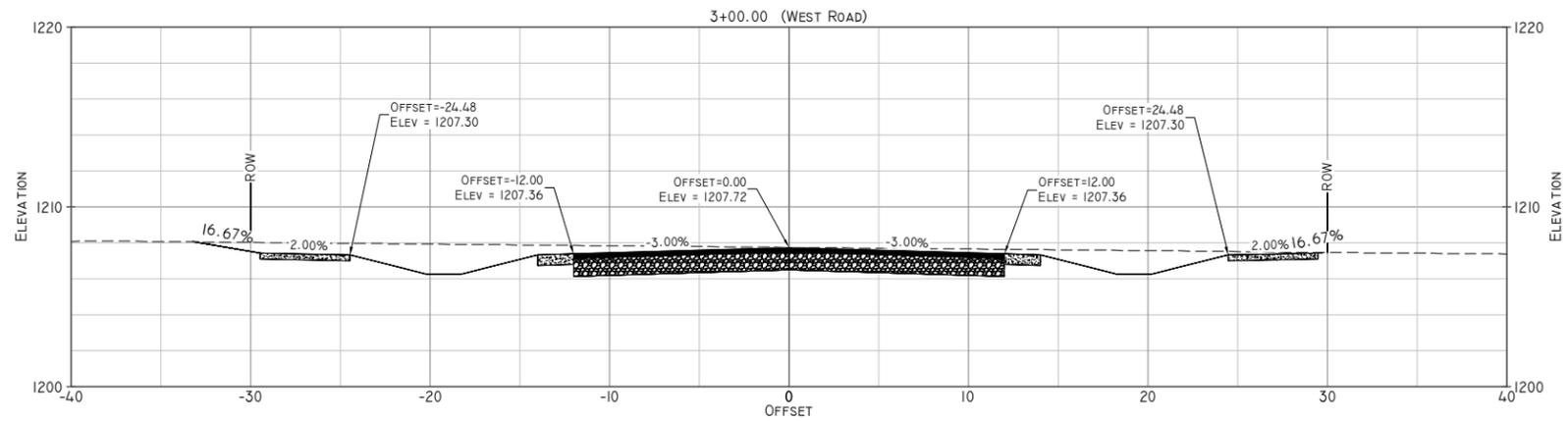
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CROSS SECTIONS - WEST
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

REI
 REI No. 7398
 SHEET XSI-W

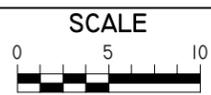
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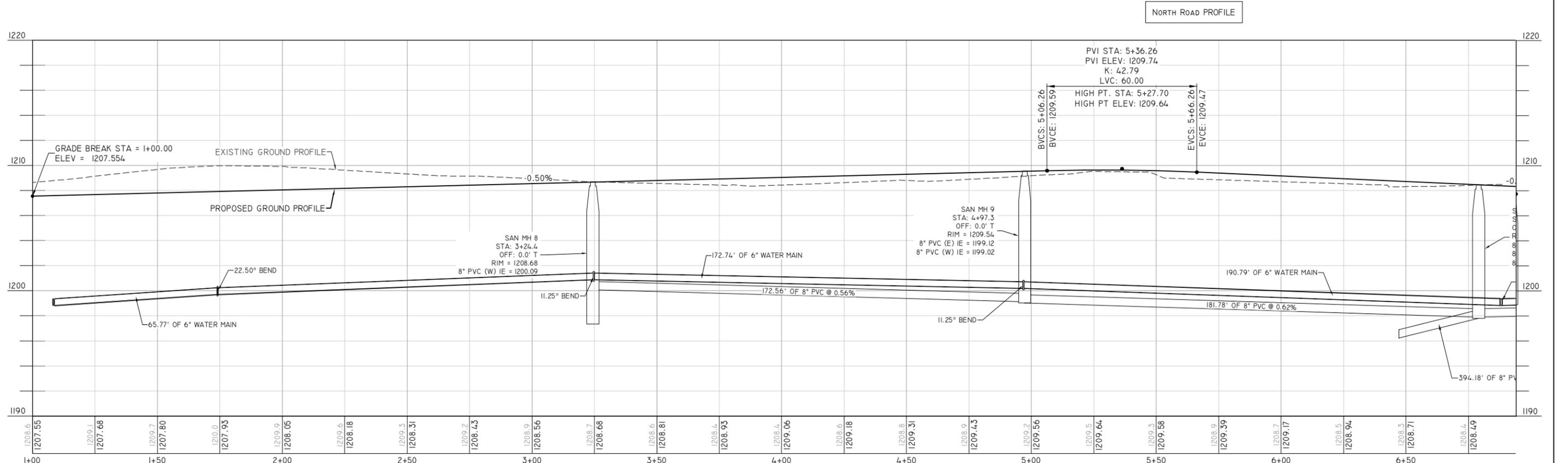
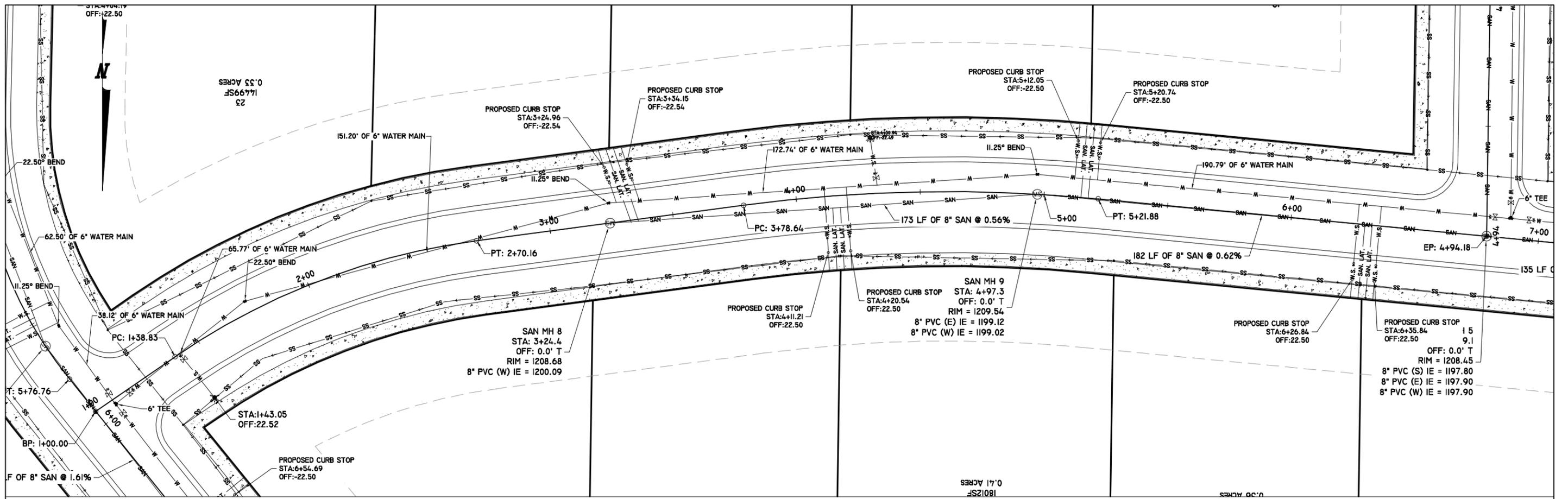


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CROSS SECTIONS - WEST
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

REI
 REI No. 7398
 SHEET XS2-W

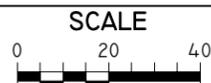


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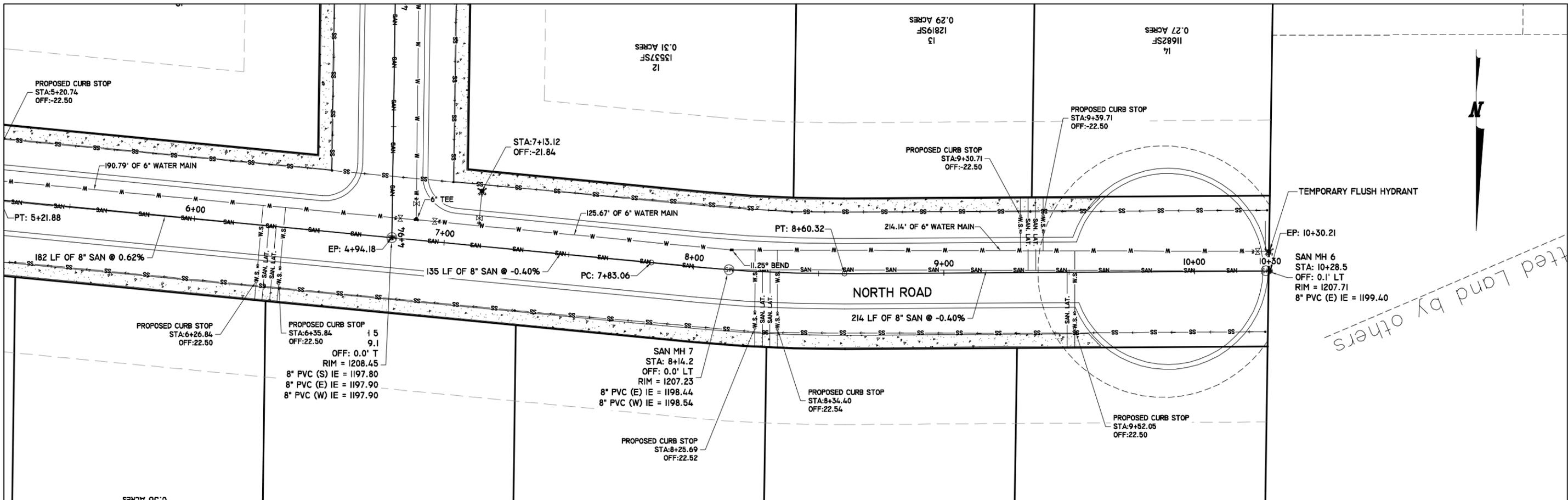


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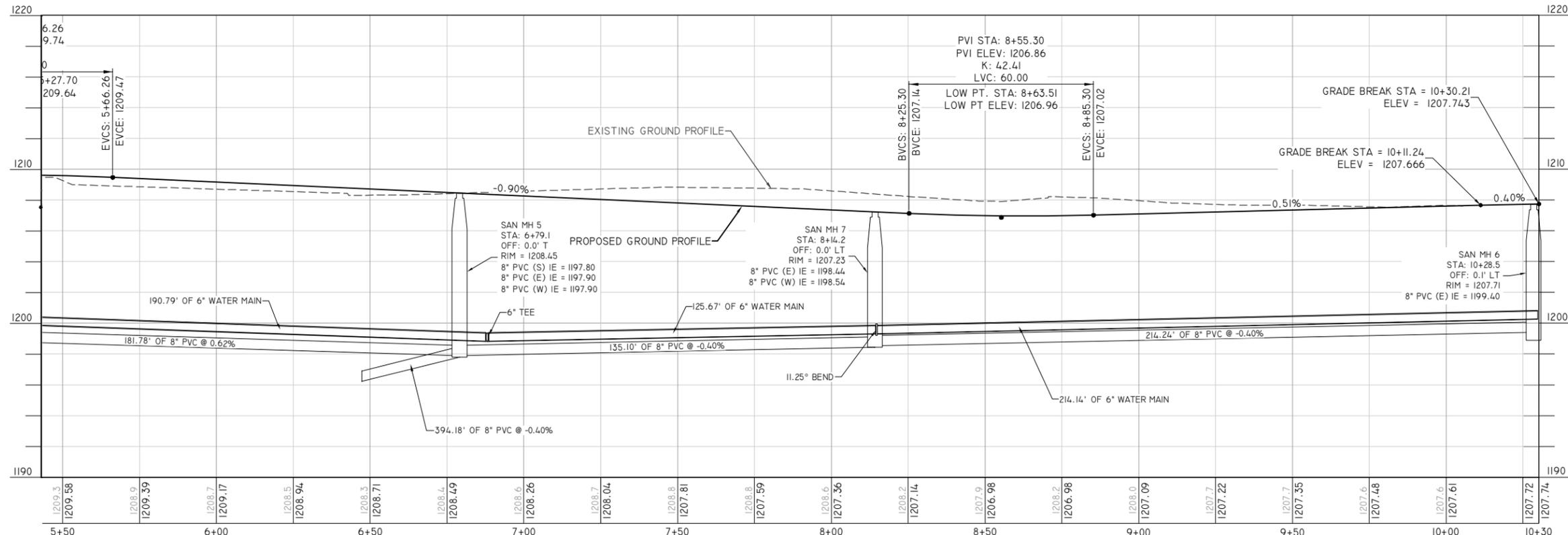
PLAN & PROFILE - NORTH ROAD
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

REI
 REI No. 7398
 SHEET PPI-N



Land by others

NORTH ROAD PROFILE

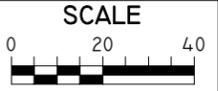


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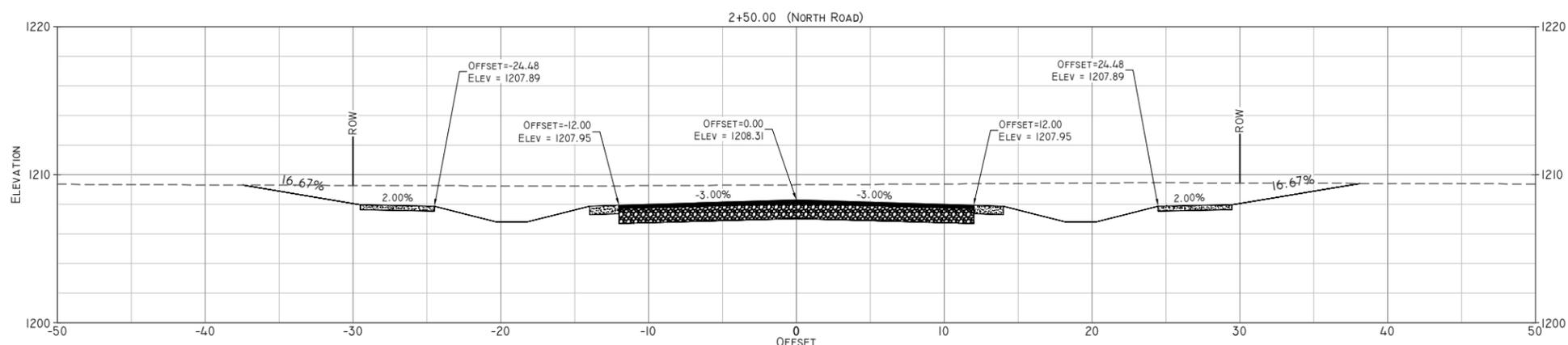
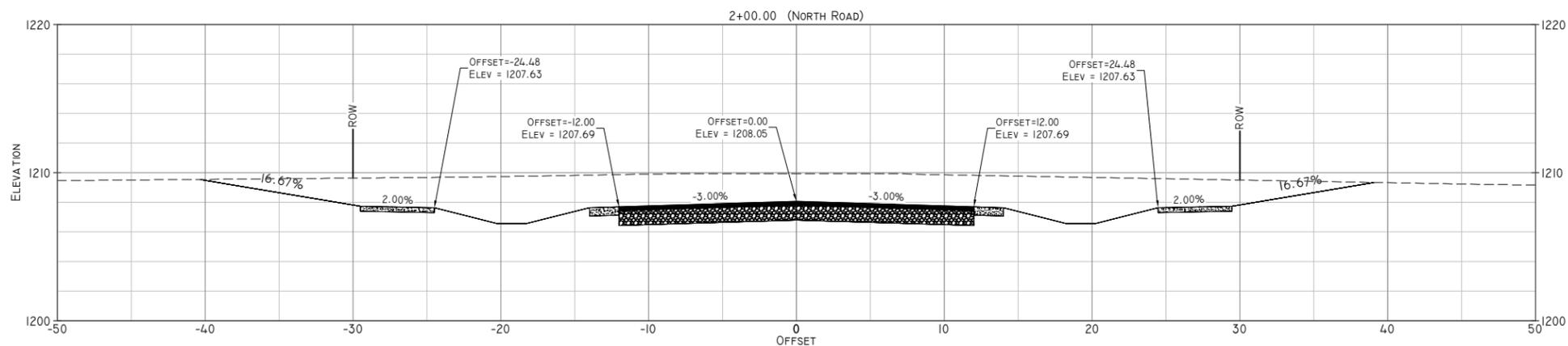
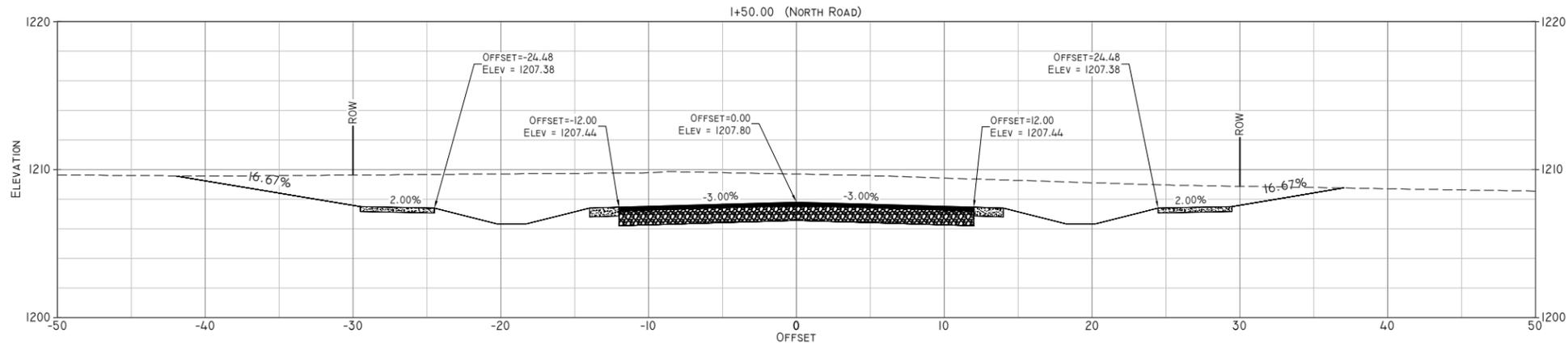
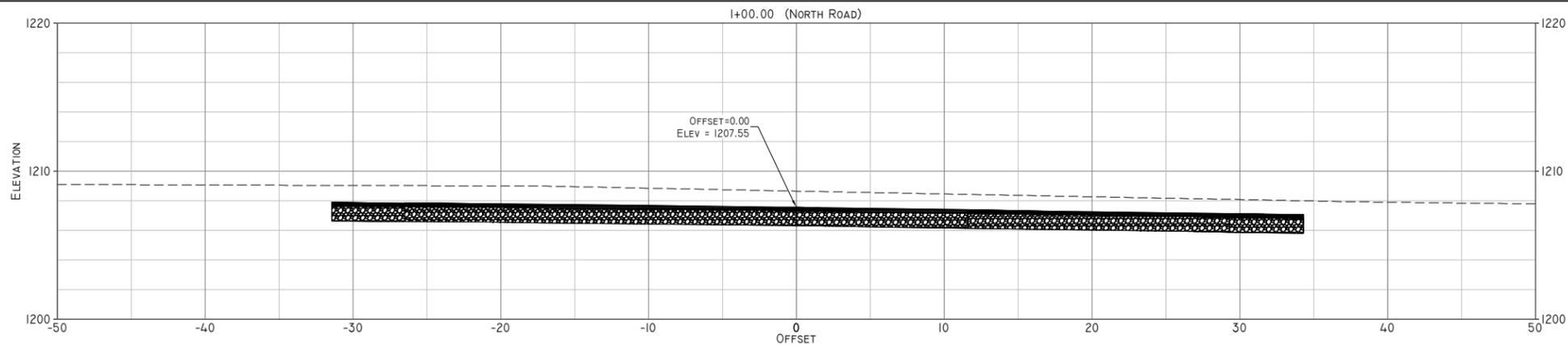
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PLAN & PROFILE - NORTH ROAD
MISTY PINES SUBDIVISION
VILLAGE OF WESTON
MARATHON COUNTY, WISCONSIN

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SHEET PP2-N

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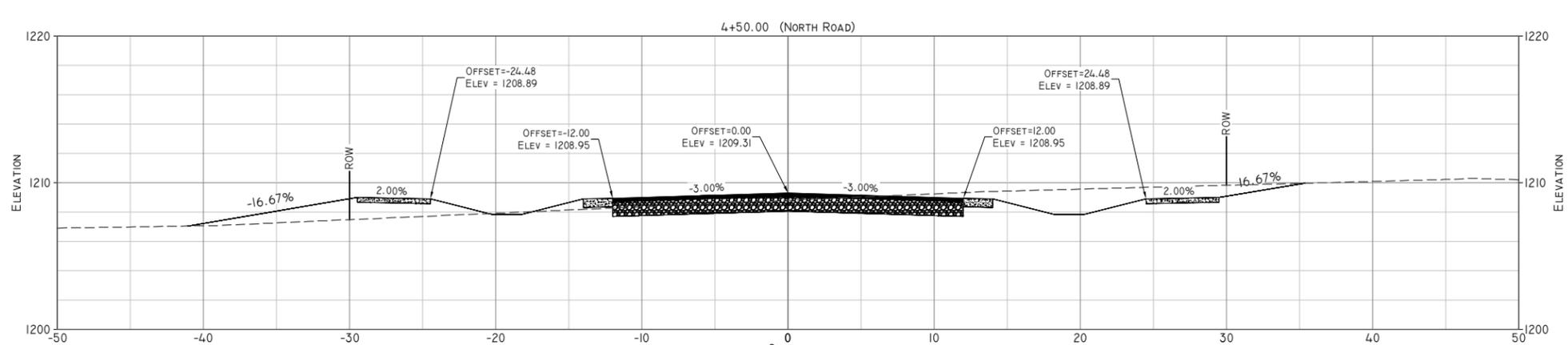
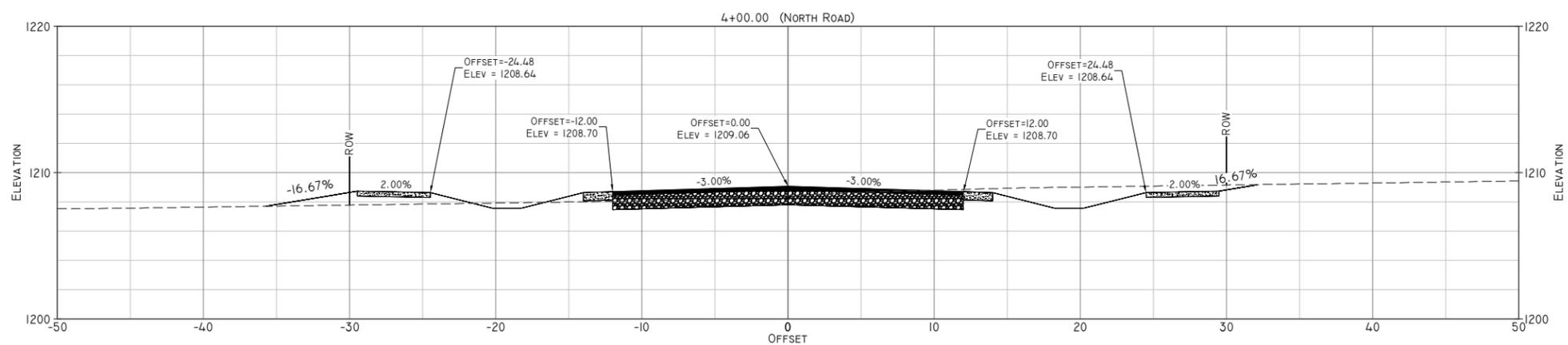
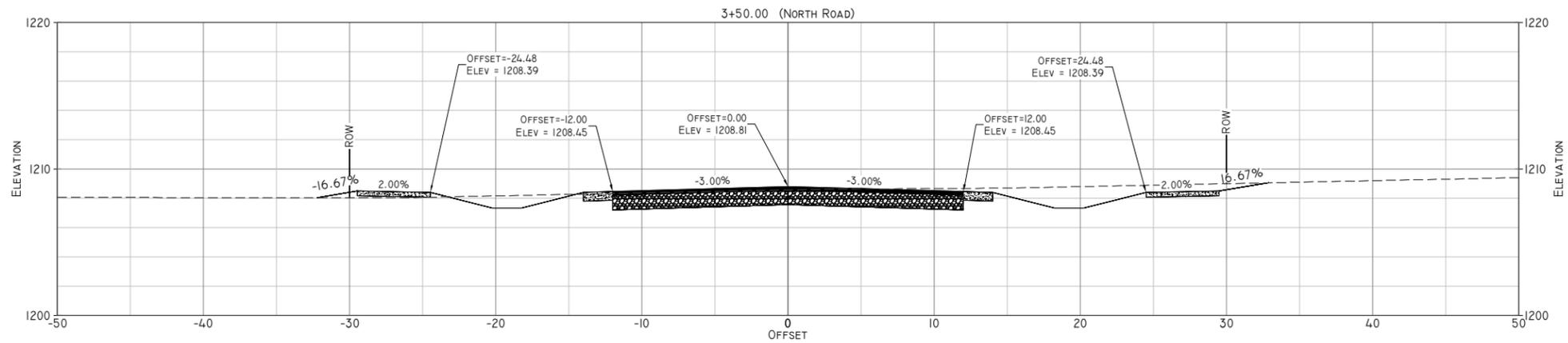
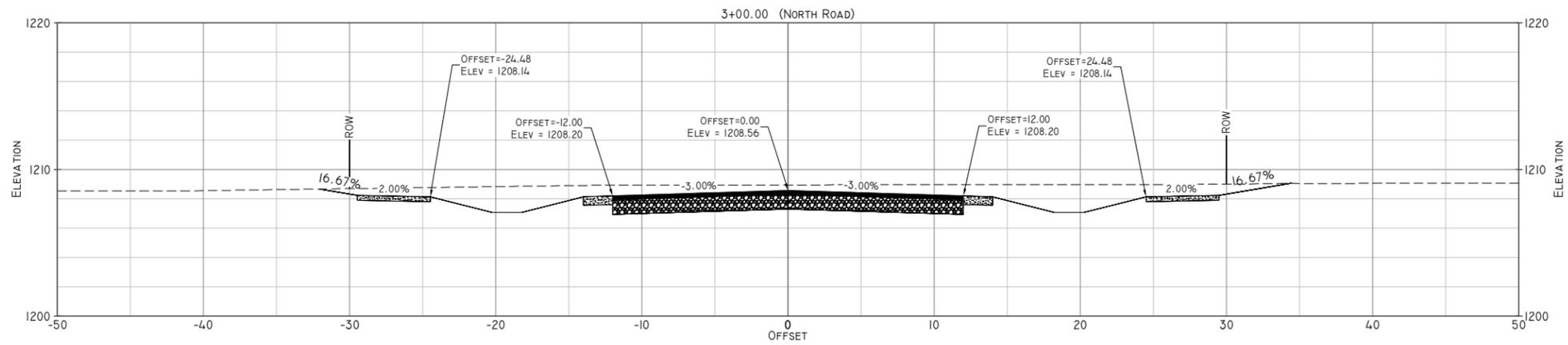
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CROSS SECTIONS - NORTH
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

REI
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 SHEET XSI-N

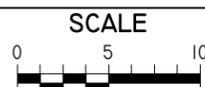
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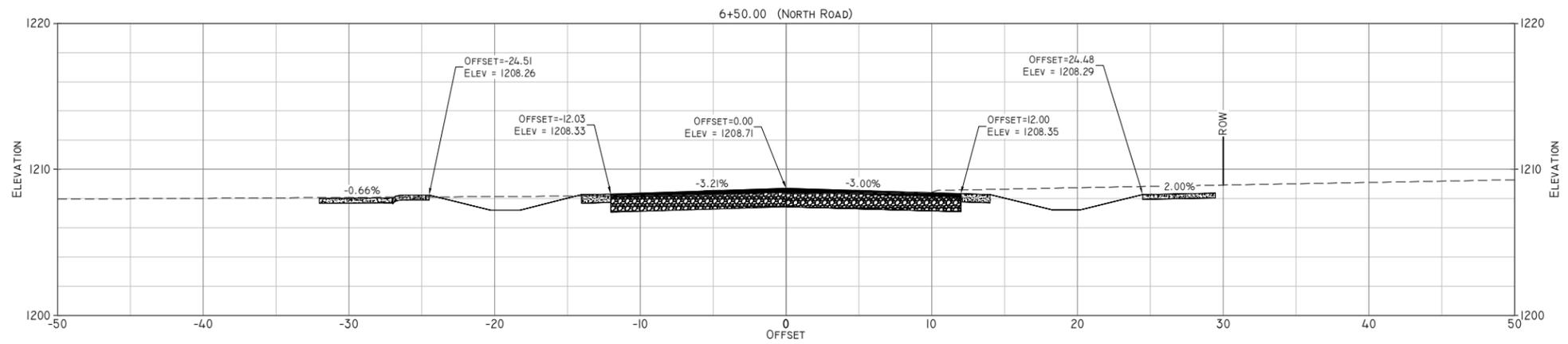
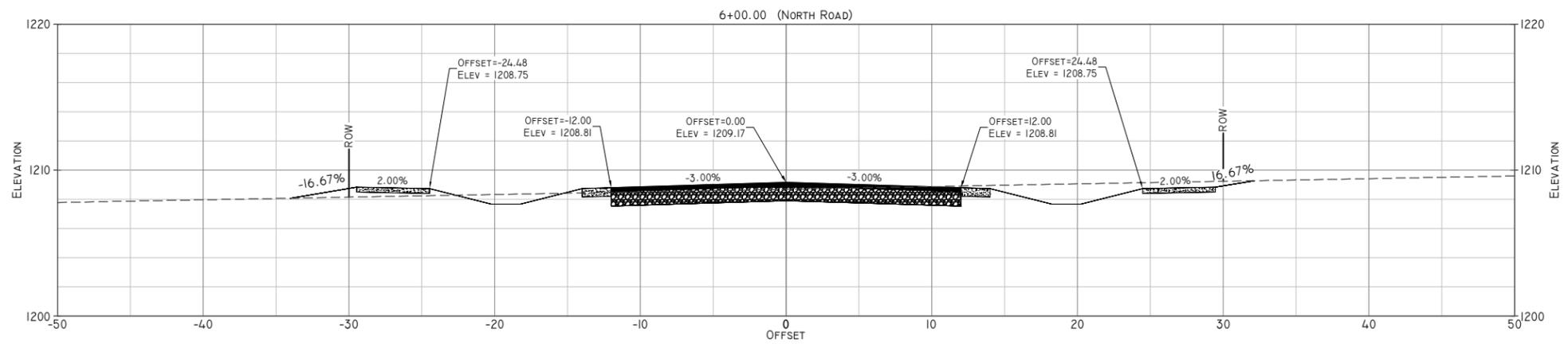
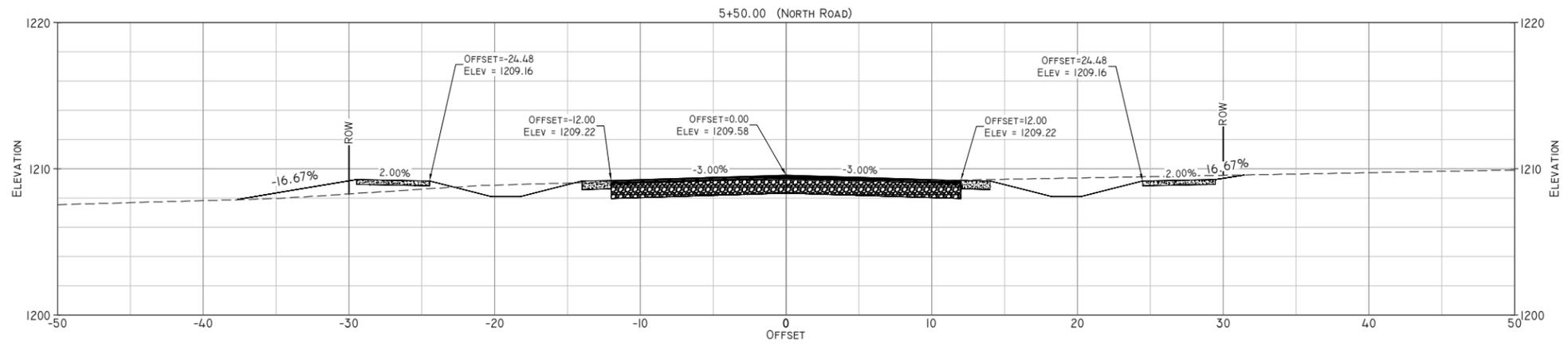
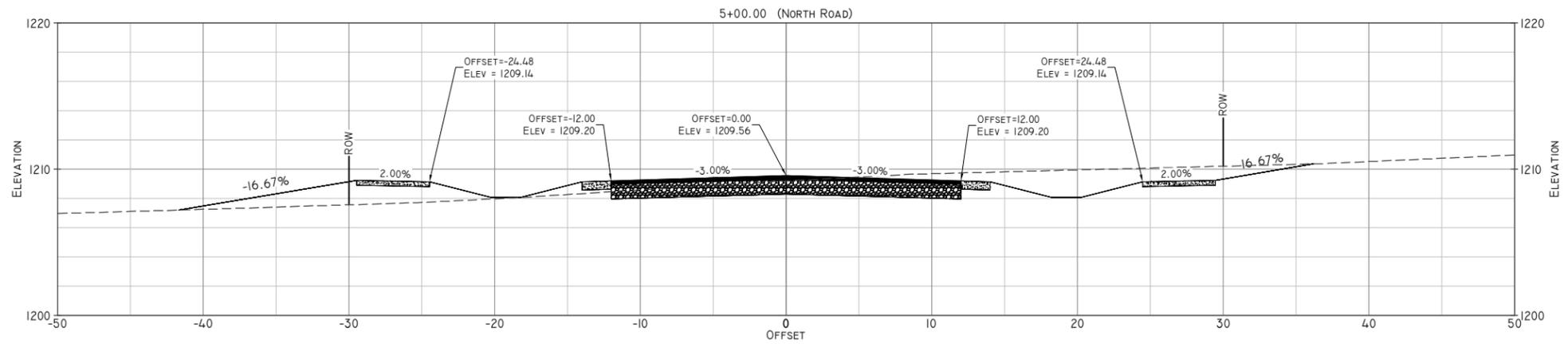
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CROSS SECTIONS - NORTH
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

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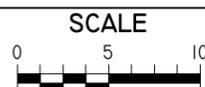
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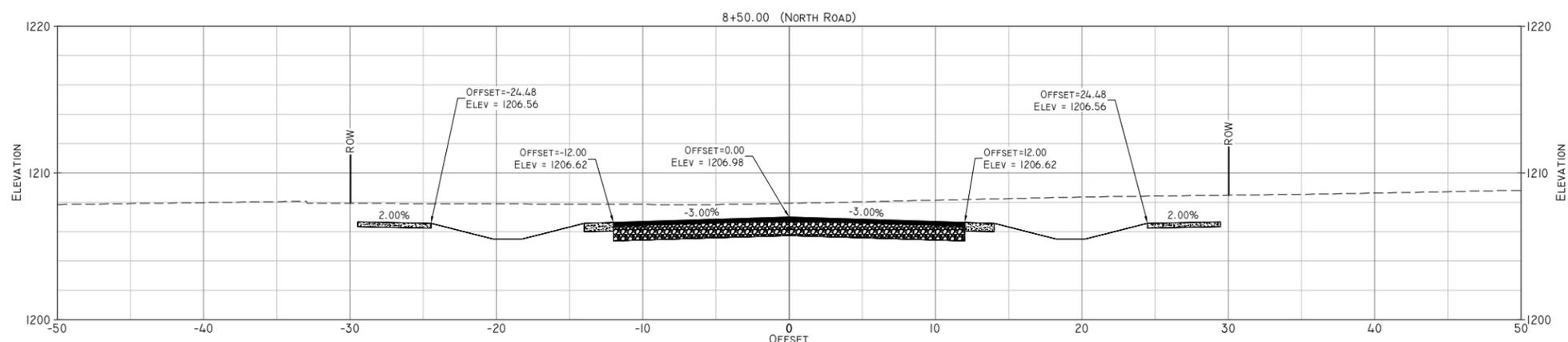
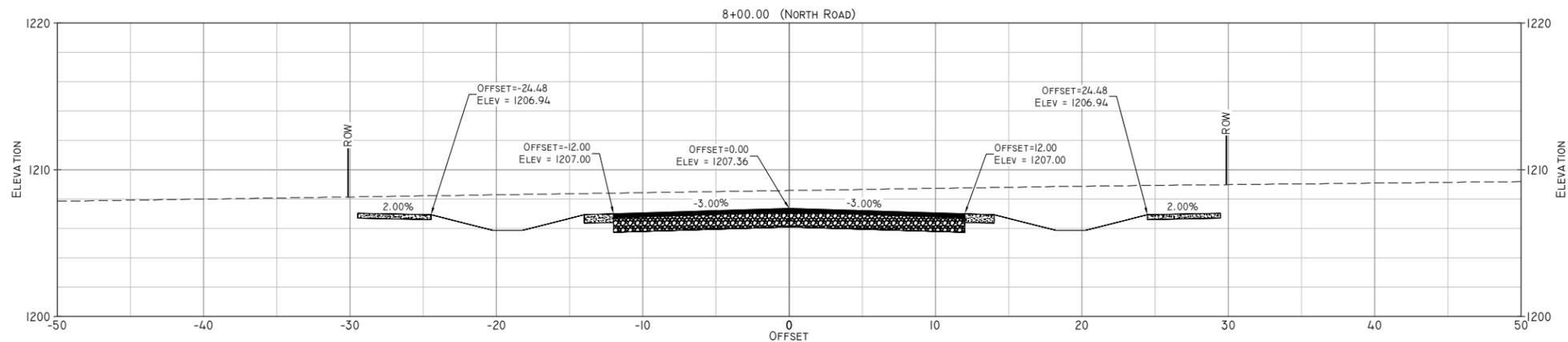
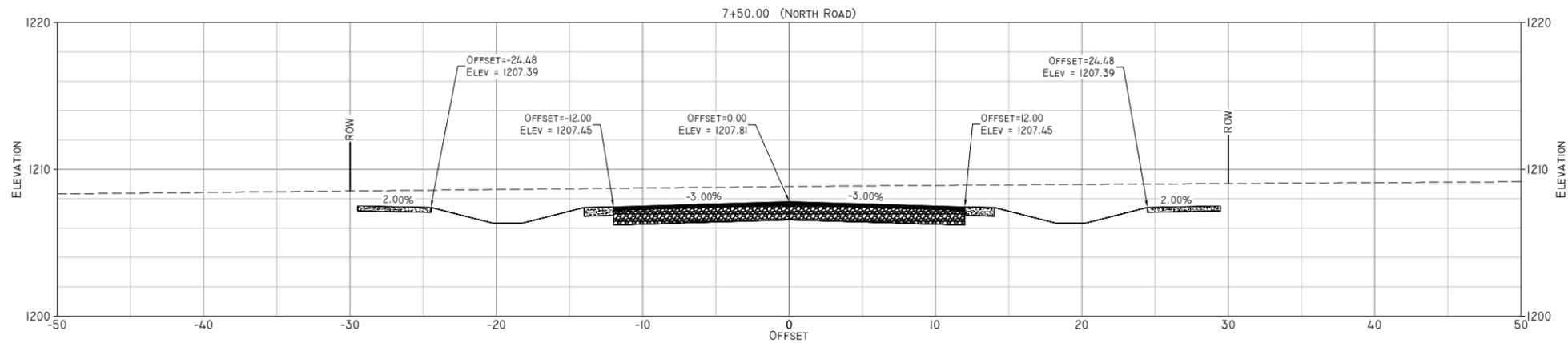
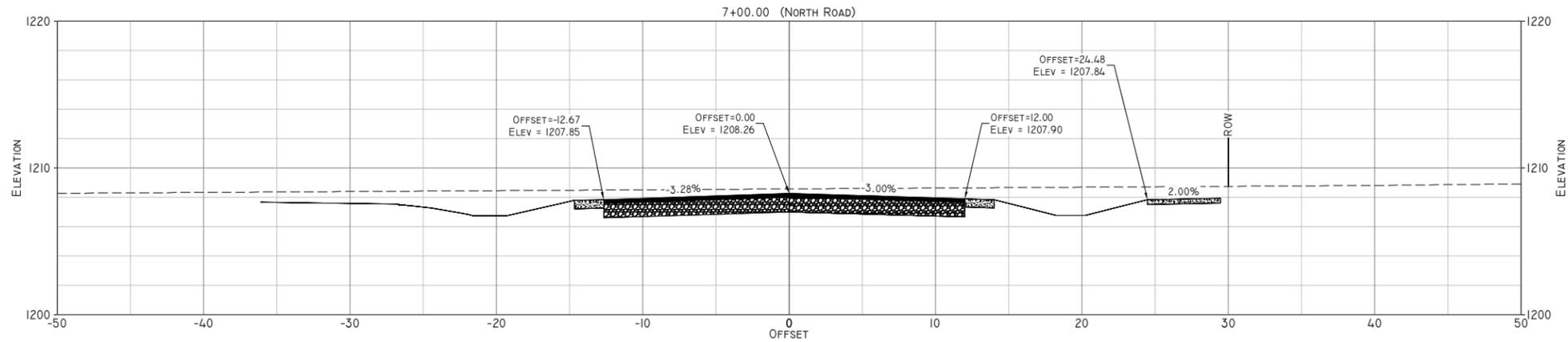
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CROSS SECTIONS - NORTH
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 VILLAGE OF WESTON
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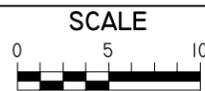
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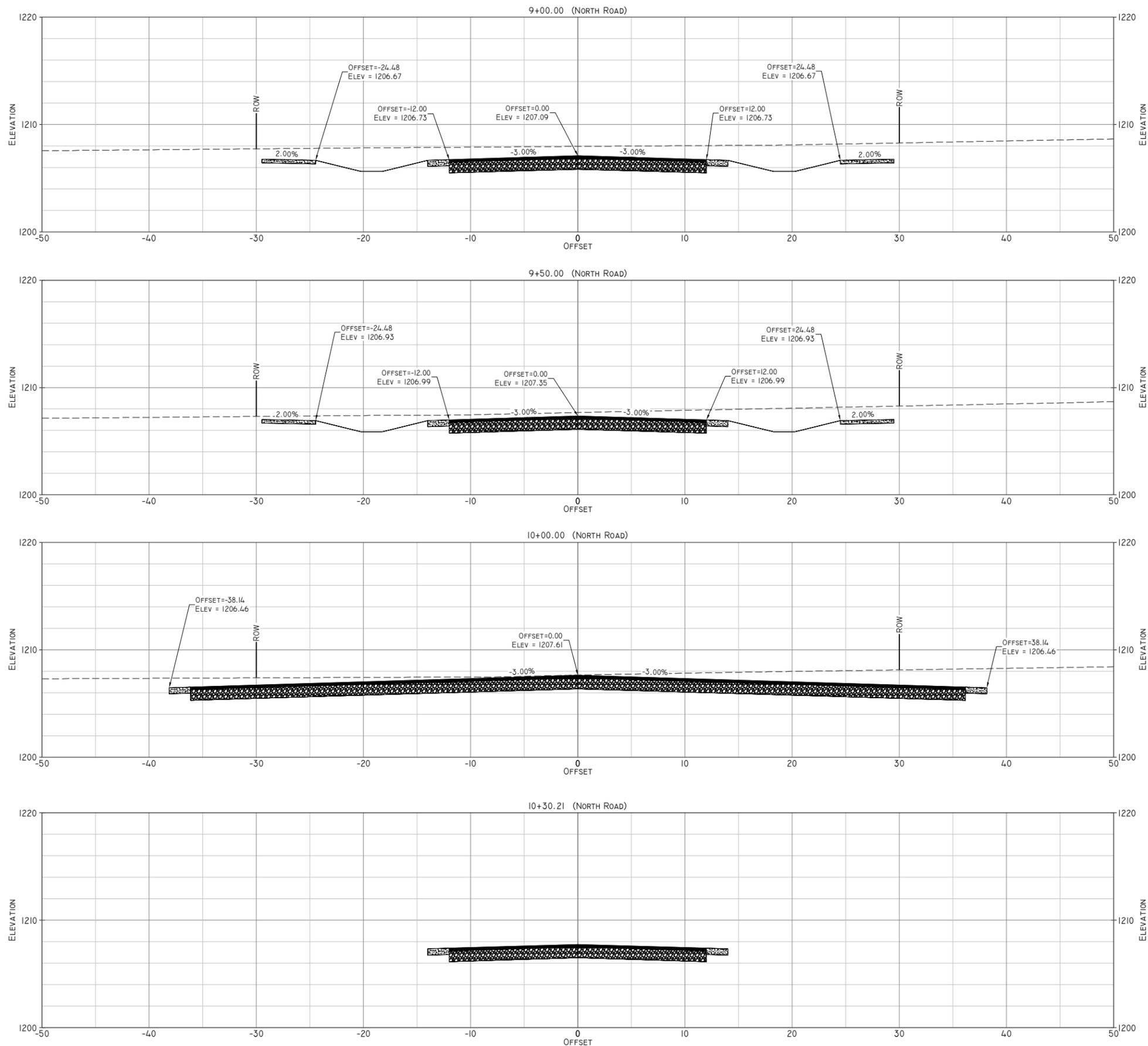
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CROSS SECTIONS - NORTH
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 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

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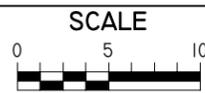
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CROSS SECTIONS - NORTH
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

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KEYED NOTES

1. TEMPORARY CONSTRUCTION ENTRANCE/EXIT. SEE DETAIL A/C2.1.
2. INSTALL SILT FENCE. SEE DETAIL B/C2.1.
3. PROVIDE INLET PROTECTION. (EXISTING LOCATIONS ARE APPROXIMATE. FIELD VERIFY) SEE DETAIL C/C2.1.

SUGGESTED SEQUENCING:

- PROVIDE CONSTRUCTION ACCESS.
- INSTALL SILT FENCE AS SHOWN AND ON THE DOWNSIDE SLOPE OF STOCKPILED MATERIAL.
- INSTALL INLET PROTECTION ON EXISTING STORM STRUCTURES.
- ROUGH GRADING.
- INSTALL EROSION BALES IN SWALES AT OUTLET POINTS.
- SITE UTILITY INSTALLATION
- INSTALL INLET PROTECTION ON NEW STORM STRUCTURES
- FINISH GRADING
- PAVING
- FINAL STABILIZATION

NOTES:

(A) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.

(B) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.

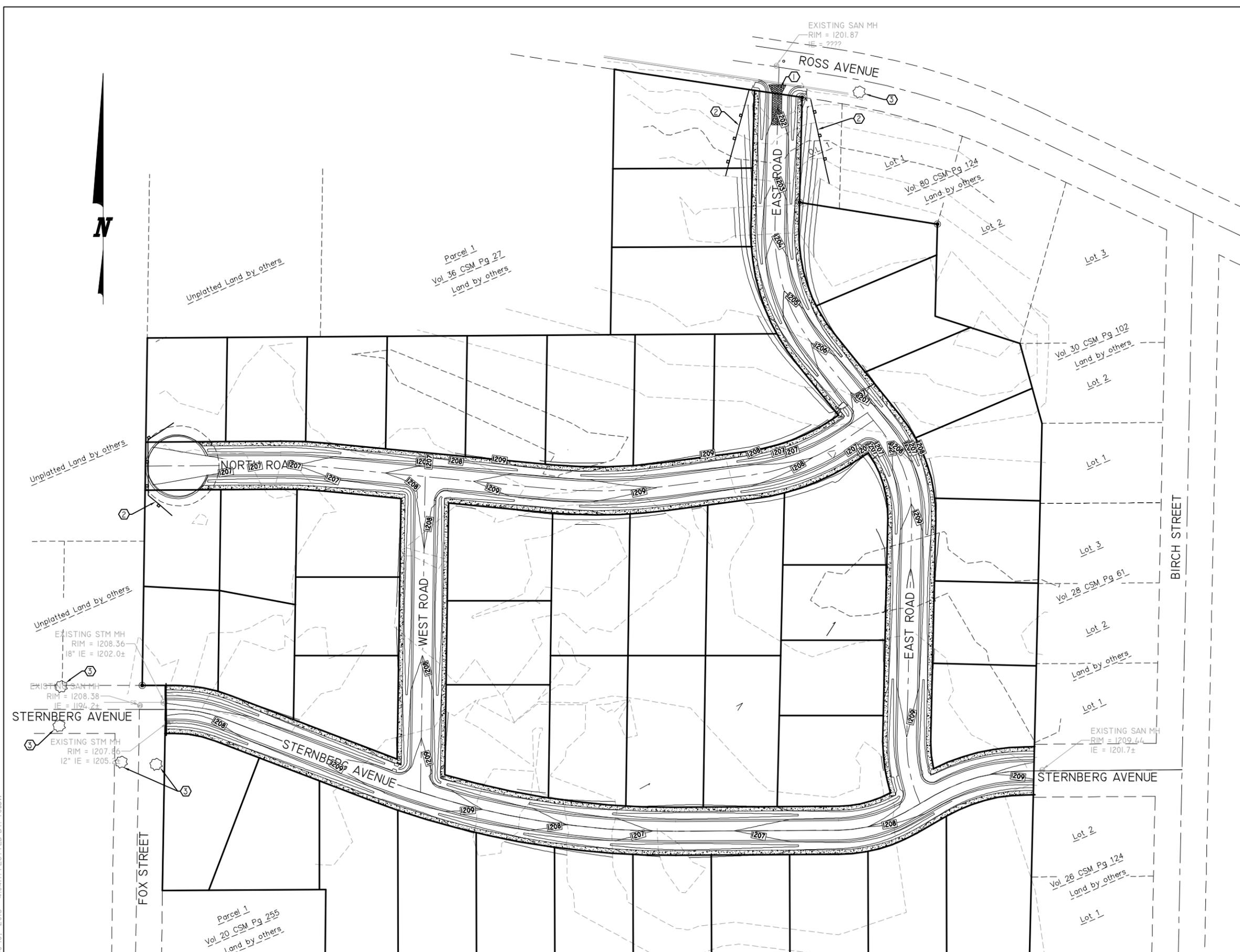
(C) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.

(D) ADJUST ALL MANHOLES, INLETS, AND VALVE BOXES TO FINISH GRADE.

(E) INSTALL EROSION MAT ON ALL REVEGETATED SLOPES 4:1 OR GREATER AND WITHIN SWALE BOTTOM.

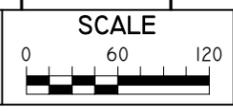
(F) CONTRACTOR SHALL ABIDE BY THE WDNR CONSERVATION PRACTICE STANDARDS FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROL.

(G) GRADING CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE BETWEEN PROPOSED IMPROVEMENTS AND EXISTING CONTOURS.



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PLOTTED: AUG 18, 2016 - 4:04PM PLOTTED BY: TODDY

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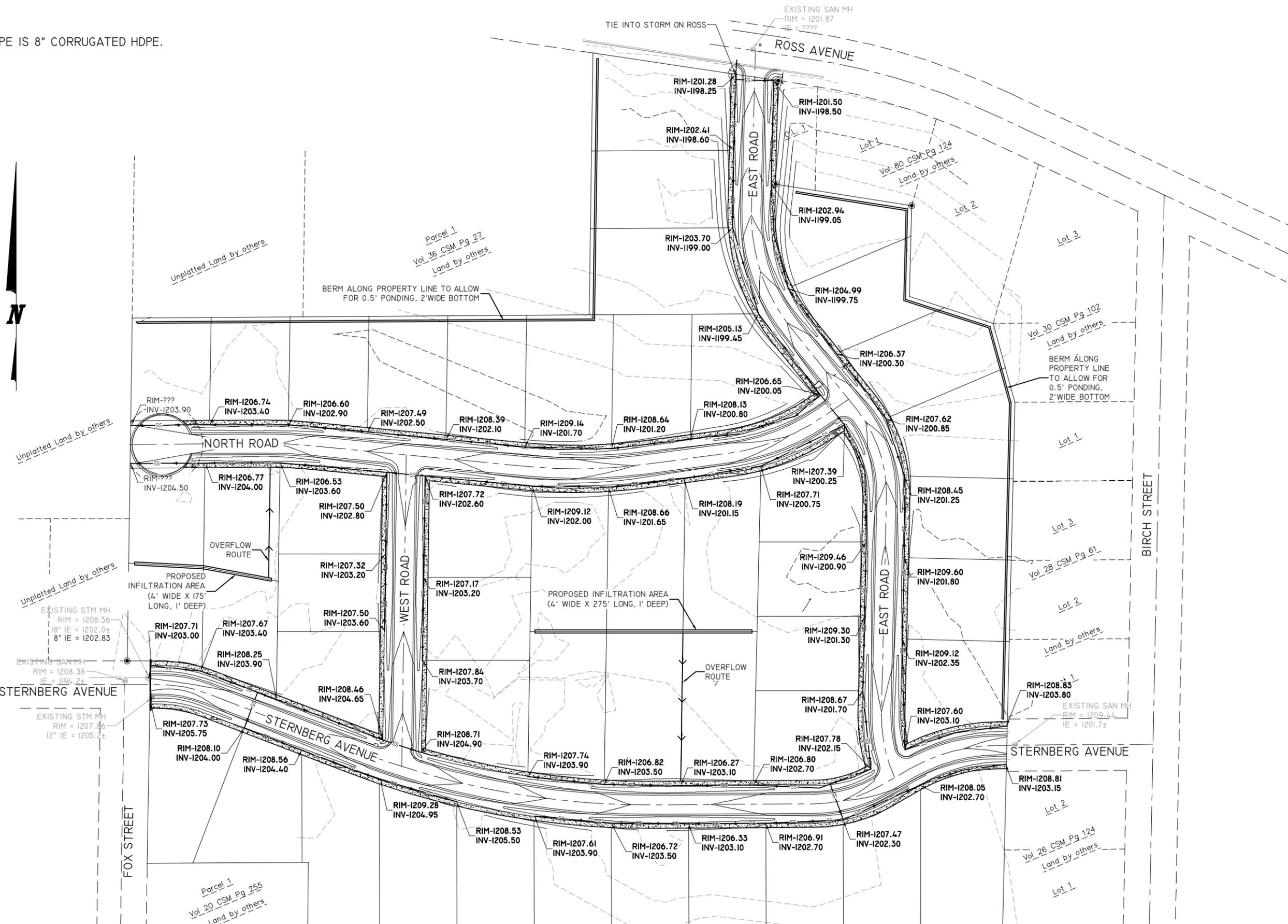
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GRADING AND EROSION CONTROL
MISTY PINES SUBDIVISION
VILLAGE OF WESTON
MARATHON COUNTY, WISCONSIN

REI
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SHEET C2

NOTES:
 1. ALL PIPE IS 8" CORRUGATED HDPE.

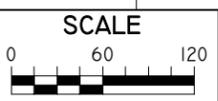


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STORMWATER MANAGEMENT
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

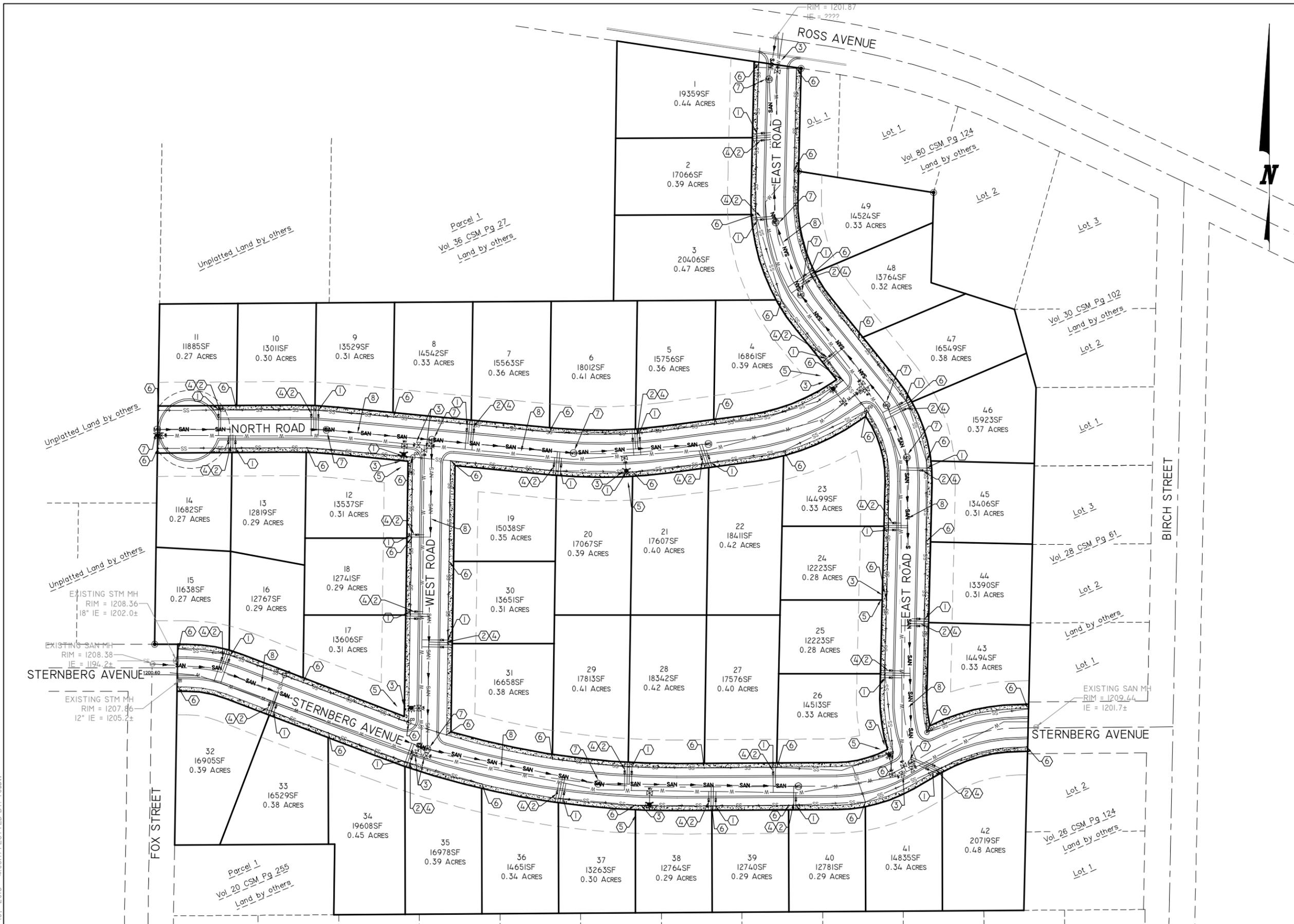
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KEYED NOTES

1. INSTALL INSULATION OVER WATER PIPE AT CROSSING. SEE DETAIL A/C3.1.
2. INSTALL WATER AND SANITARY SERVICE LATERAL. SANITARY AND WATER EXISTING SERVICE 5' INTO PROPERTIES. CAP AND MARK.
3. INSTALL WATER GATE VALVE. SEE DETAIL C/C3.1.
4. SANITARY SEWER & WATER SERVICE TRENCH. SEE DETAIL D/C3.1.
5. INSTALL PROPOSED HYDRANT. SEE DETAIL E/C3.1.
6. INSTALL PROPOSED 8" INLINE DRAIN NYLOPLAST. SEE DETAIL F/C3.1.
7. PROPOSED SANITARY MANHOLE. SEE DETAIL H/C3.2.
8. SANITARY AND WATER SERVICE TRENCH. SEE DETAIL G/C3.1.

NOTES:

- (A) CONTRACTOR RESPONSIBLE FOR MAINTAINING A MIN. COVER OF 7.5' GRADE OVER PROPOSED WATER LINE.
- (B) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (C) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.
- (D) CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A MINIMUM HORIZONTAL CLEARANCE OF 8' BETWEEN SEWER AND WATER LINES MEASURED CENTER TO CENTER. WATER CROSSING OVER SEWER SHALL HAVE 12" MINIMUM VERTICAL CLEARANCE AND WATER CROSSING BENEATH SEWER SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 18". SEE DETAIL G/C3.1. VERTICAL CLEARANCES ARE MEASURED FROM OUTSIDE PIPE DIAMETER.
- (E) SEE DETAIL I/C3.2 FOR PIPE BEDDING.
- (F) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
- (G) CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MEANS TO LOCATE NON-METALLIC WATER AND SEWER (SANITARY AND STORM) PER SPS 382.
- (H) PRIOR TO INSTALLATION OF SANITARY AND WATER SERVICES, CONFIRM SIZE AND LOCATION WITH GENERAL CONTRACTOR.
- (I) THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF SITE UTILITIES SHALL PROVIDE A TEMPORARY CAP OR PLUG AT BUILDING TERMINATION. REFER TO PLUMBING PLANS FOR CONTINUATION OF WORK INSIDE THE BUILDING.

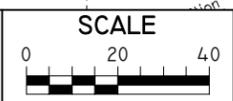


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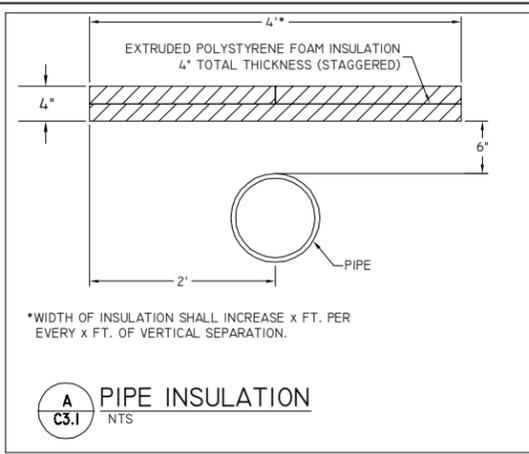
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Received on 08/19/2016

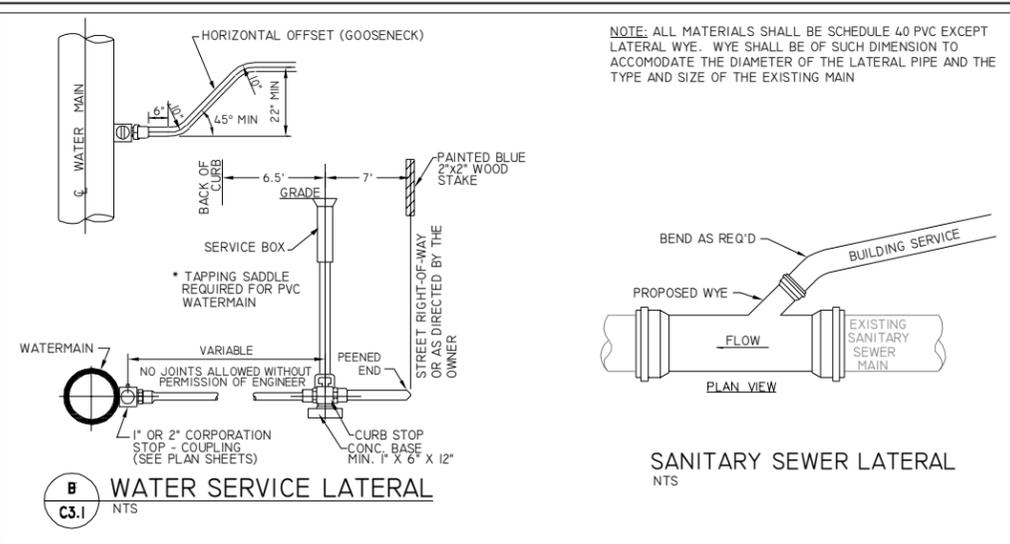
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SURVEYED BY: OTHERS	APPROVED BY: JJB
DRAWN BY:	DATE: 08/18/16

UTILITY PLAN
 MISTY PINES SUBDIVISION
 VILLAGE OF WESTON
 MARATHON COUNTY, WISCONSIN

REI
 REI No. 7398
 SHEET C3

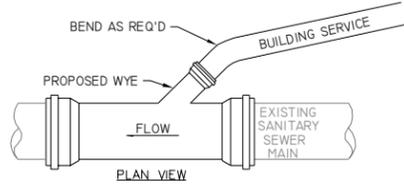


A PIPE INSULATION
C3.1 NTS

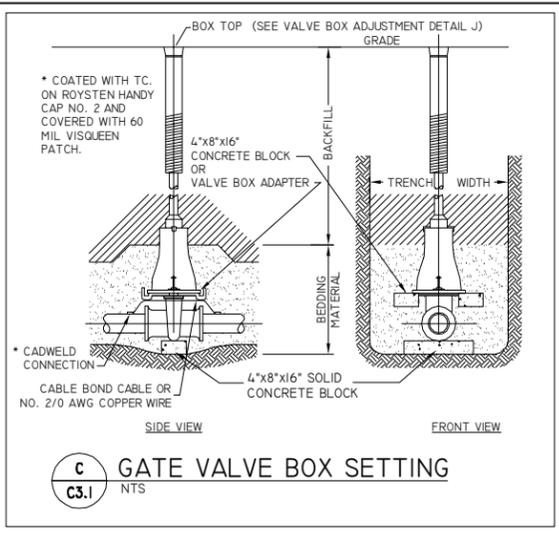


B WATER SERVICE LATERAL
C3.1 NTS

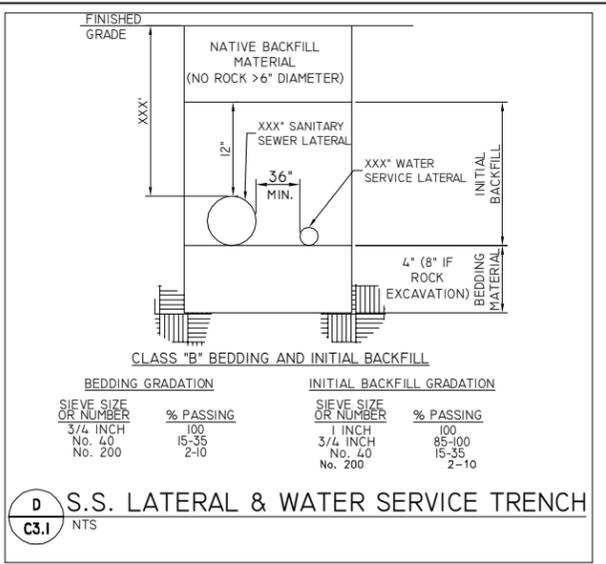
NOTE: ALL MATERIALS SHALL BE SCHEDULE 40 PVC EXCEPT LATERAL WYE. WYE SHALL BE OF SUCH DIMENSION TO ACCOMMODATE THE DIAMETER OF THE LATERAL PIPE AND THE TYPE AND SIZE OF THE EXISTING MAIN



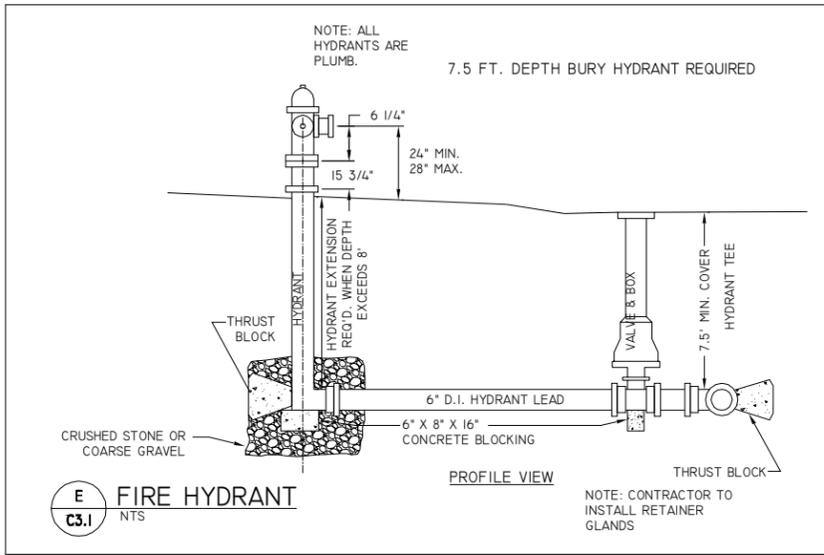
C SANITARY SEWER LATERAL
NTS



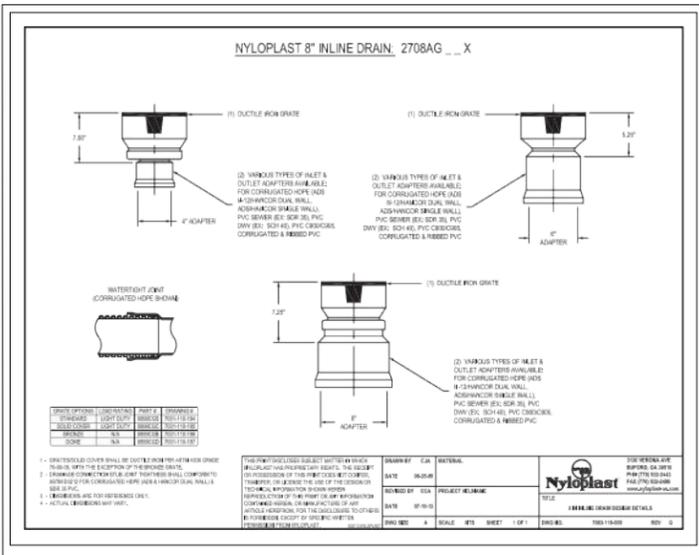
D GATE VALVE BOX SETTING
C3.1 NTS



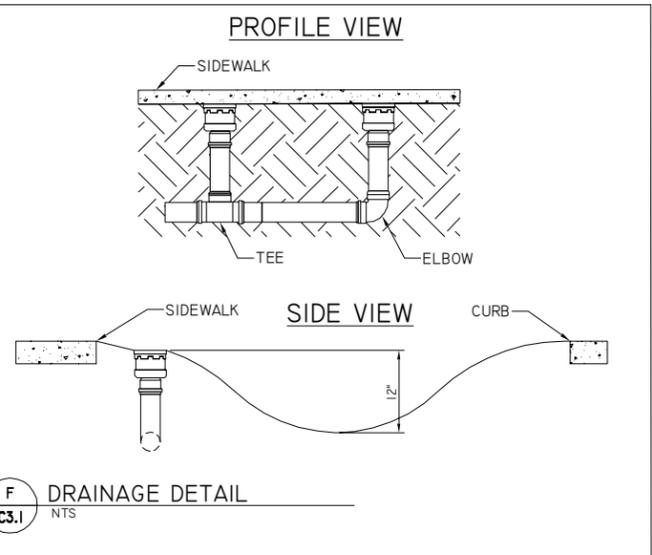
E S.S. LATERAL & WATER SERVICE TRENCH
C3.1 NTS



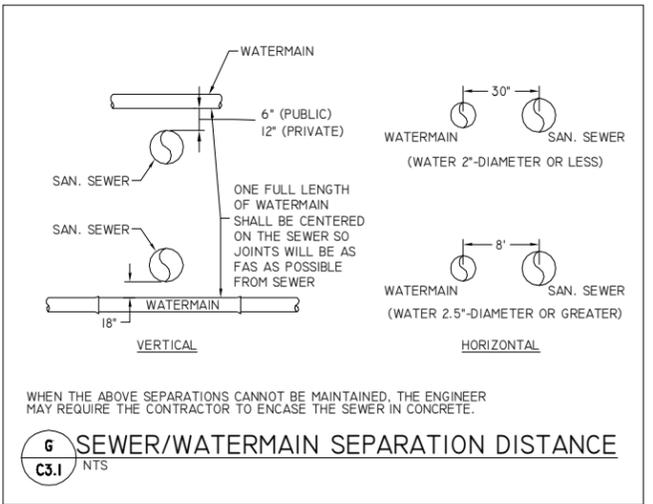
F FIRE HYDRANT
C3.1 NTS



G NYLOPLAST 8" INLINE DRAIN, 2708AG _ _ X
NTS



H DRAINAGE DETAIL
C3.1 NTS



I SEWER/WATERMAIN SEPARATION DISTANCE
C3.1 NTS

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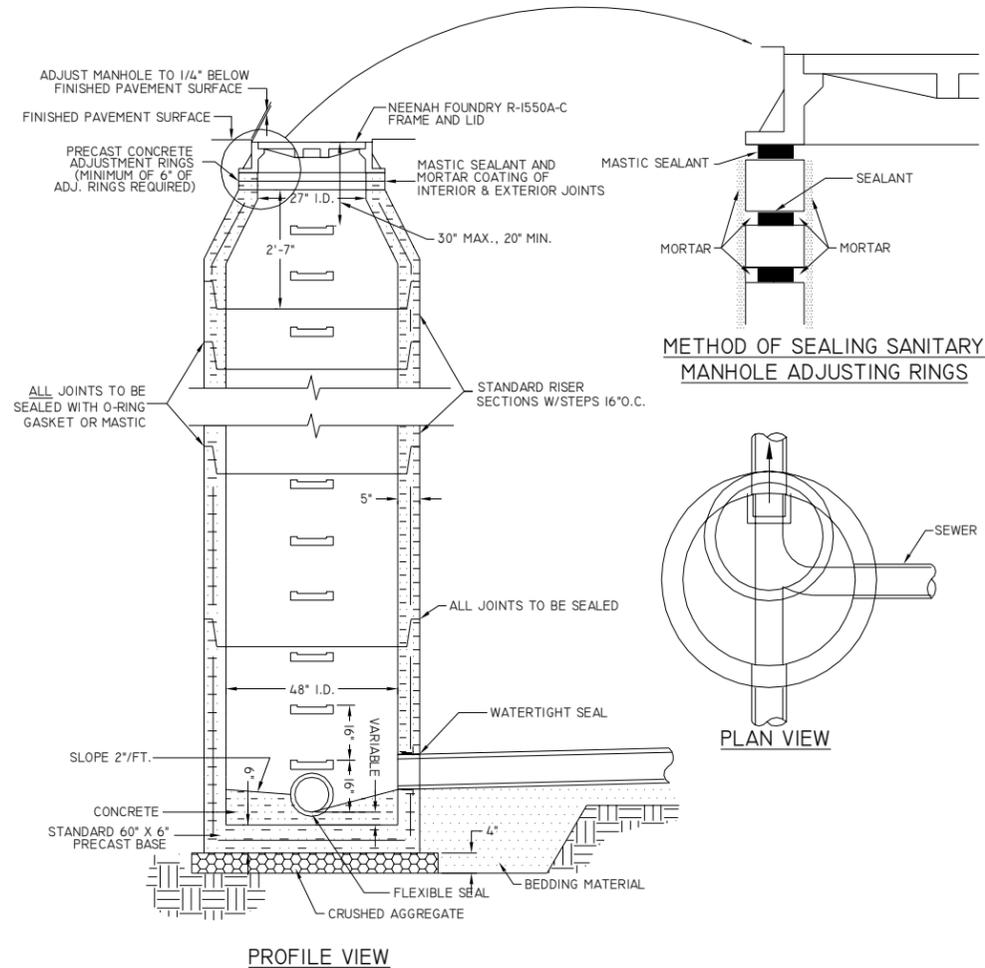
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NO SCALE

DATE	REVISION	BY	CHK'D

DESIGNED BY: TAE	CHECKED BY: JJB
SURVEYED BY: OTHERS	APPROVED BY: JJB
DRAWN BY: NAP	DATE: 08/18/16

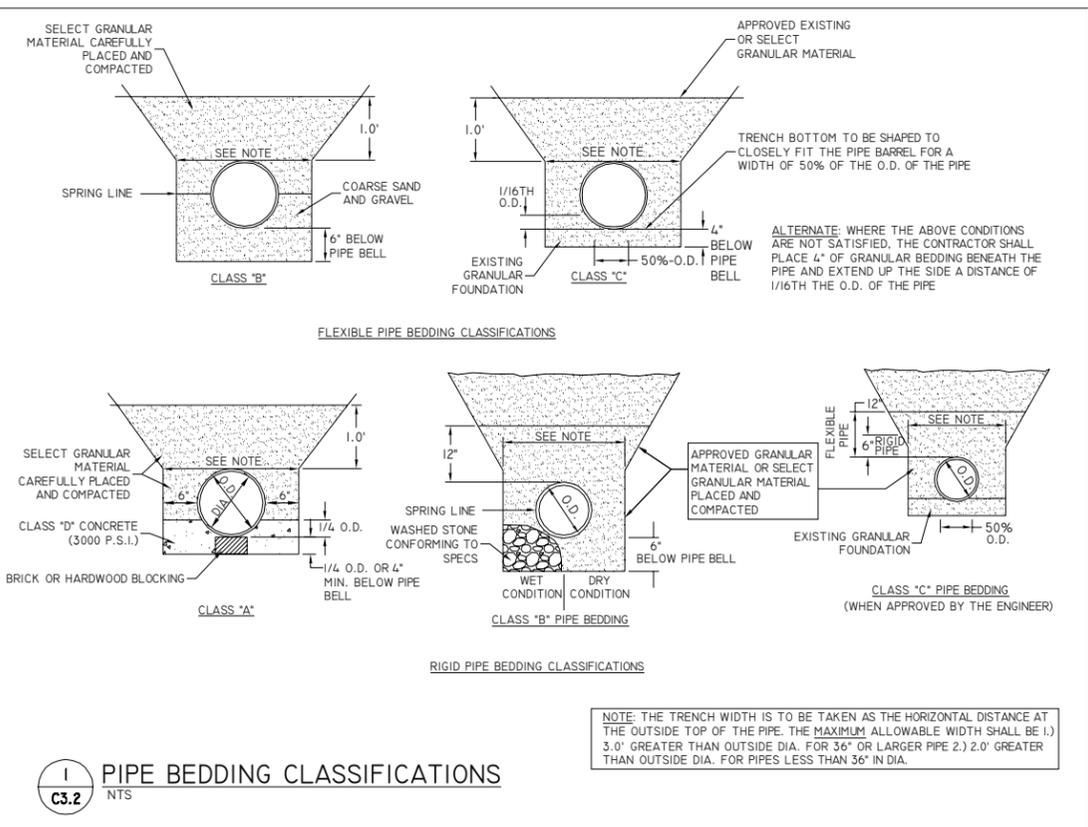


METHOD OF SEALING SANITARY MANHOLE ADJUSTING RINGS

PLAN VIEW

PROFILE VIEW

H
C3.2
NTS
SANITARY MANHOLE



C3.2
NTS
PIPE BEDDING CLASSIFICATIONS

Received on 08/19/2016

DRAWING FILE: P:\7300-7399\7398 - MISTY PINES.DWG\PLANS\7398-C3.1.DWG LAYOUT: C3.2
PLOTTED: Aug 18, 2016 - 4:06pm PLOTTED BY: TODD

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NO SCALE

DATE	REVISION	BY	CHK'D

DESIGNED BY: TAE	CHECKED BY: JJB
SURVEYED BY: OTHERS	APPROVED BY: JJB
DRAWN BY: NAP	DATE: 08/18/16

UTILITY DETAILS
MISTY PINES SUBDIVISION
VILLAGE OF WESTON
MARATHON COUNTY, WISCONSIN

REI
REI No. 7398
SHEET C3.2

GENERAL NOTES/SPECIFICATIONS

1. SITE USAGE WILL BE PERMITTED ONLY WITHIN REASONABLE LIMITS TO FACILITATE CONSTRUCTION OF PROPOSED IMPROVEMENTS AND THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER THE PREMISES WITH HIS/HER EQUIPMENT AND MATERIALS. MATERIAL STORAGE SHALL BE CONFINED TO SUCH LIMITS AS MAY BE JOINTLY AGREED UPON BY OWNER AND CONTRACTOR.
2. ALL SUB-CONTRACTORS SHALL BE UNDER THE DIRECTION OF THE GENERAL CONTRACTOR (OR OWNER'S REPRESENTATIVE) WHO WILL BE HELD RESPONSIBLE FOR THE COORDINATION OF ALL WORK ON THIS PROJECT AND THE PROPER EXECUTION OF THE SAME.
3. THE CONTRACTOR SHALL FURTHER ENFORCE THE OWNER'S INSTRUCTIONS OF SUCH NATURE, INCLUDING PARKING, USE OF ROADS, SAFE ACCESS TO FACILITIES, FIRE PREVENTION, AND PROJECT PHASING, WHICH THE OWNER MAY DEEM NECESSARY OR DESIRABLE ON THE OWNER'S PROPERTY.
4. CONTRACTOR SHALL KEEP A CLEAN SITE DURING CONSTRUCTION AND THROUGH FINAL ACCEPTANCE.
5. ALWAYS FOLLOW WRITTEN DIMENSIONS. DO NOT SCALE. IF DISCREPANCY EXISTS, CONTACT THE ENGINEER.
6. REMOVE ALL TREES WITHIN THE GRADING LIMITS, INCLUDING ROOT STRUCTURES, EXCEPT THOSE SPECIFICALLY NOTED TO REMAIN AND THOSE ON PROPERTY LINES. DO NOT CLEAR SITE PRIOR TO COORDINATING WITH THE OWNER TO LOCATE ALL TREES TO REMAIN.
7. PROTECT TREES, UTILITY POLES, ABOVE AND BELOW GRADE UTILITIES, AND OTHER FEATURES THAT ARE TO REMAIN. THE REPAIR OF ANY DAMAGE TO FEATURES TO REMAIN IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR WITH NO PAYMENT DUE FOR SUCH REPAIRS.
8. PROTECT ABOVE AND BELOW GRADE UTILITIES THAT ARE TO REMAIN.
9. ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN OUT MANHOLES, CATCH BASINS, INLETS, WATER VALVES, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT. REFER TO THE SITE GRADING PLAN SHEET.
10. PROTECT BENCHMARKS, REFERENCE SURVEY POINTS AND OTHER PROVIDED CONSTRUCTION STAKES.
11. CALL DIGGER'S HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
12. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
13. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS, AND RELOCATIONS.
14. NOTIFY ELECTRIC UTILITY AT LEAST ONE WEEK PRIOR TO WORKING IN AREAS WHERE UTILITY POLES EXIST. UTILITY COMPANY WILL PROTECT POLES AS NECESSARY.
15. DURING CONSTRUCTION THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR INSPECTION AND DOCUMENTATION OF THE EROSION CONTROL DEVICES AS REQUIRED BY THE WPDES PERMIT. IF CHANGES TO THE EROSION CONTROL PLAN ARE REQUIRED, THE CONTRACTOR SHALL RECORD THOSE CHANGES ON THE PLAN. UPON COMPLETION OF WORK AND PRIOR TO LEAVING THE SITE, THE CONTRACTOR AND OWNER'S DESIGNEE SHALL COORDINATE ONGOING RESPONSIBILITY UNTIL THE SITE'S WPDES PERMIT IS TERMINATED BY THE WDNR.
16. EROSION CONTROL DEVICES SHALL ABIDE BY THE WDNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL STANDARDS. [HTTP://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML](http://DNR.WI.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML)
17. CONFIRM THAT ALL TOPSOIL HAS BEEN STRIPPED FROM AREAS TO RECEIVE EMBANKMENT BEFORE PLACING EMBANKMENT MATERIAL.
18. EMBANKMENT MATERIAL SHALL BE EXCAVATED SITE MATERIAL AND/OR IMPORTED MATERIAL DEEMED SUITABLE BY THE OWNER AND/OR HIS/HER REPRESENTATIVE, AND CONFORM TO THE REQUIREMENTS OF SUB-SECTION 207.2 OF THE WISDOT STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL MODIFY WATER CONTENT OF THE MATERIAL AS NECESSARY TO OBTAIN SPECIFIED COMPACTION FOR ALL EMBANKMENT MATERIAL.
19. CONSTRUCT ALL EMBANKMENT THAT WILL SUPPORT ROADWAYS OR ASPHALT PARKING IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SUB-SECTION 207.3.6.3 (SPECIAL COMPACTION) OF THE WISDOT STANDARD SPECIFICATIONS EXCEPT: THE MAXIMUM DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D1557, WITH METHOD B OR C; AND MAXIMUM LIFT THICKNESS SHALL BE 8 INCHES FOR ALL SOILS, GRANULAR, OR COHESIVE.
20. CONSTRUCT UTILITY TRENCHES IN EMBANKMENT AREAS AFTER CONSTRUCTION OF EMBANKMENT.
21. BORROW MATERIAL SHALL BE IMPORTED MATERIAL MEETING THE ABOVE REQUIREMENTS FOR EMBANKMENT. THE CONTRACTOR SHALL IDENTIFY ITS BORROW SOURCES TO THE OWNER'S CONSTRUCTION REPRESENTATIVE AT LEAST TWO WEEKS IN ADVANCE OF HAULING MATERIAL TO THE PROJECT SITE SO THE OWNER'S CONSTRUCTION REPRESENTATIVE CAN OBTAIN SAMPLES AND PERFORM THE DESIRED TESTING.
22. STRUCTURAL FILL IS REQUIRED IN ALL AREAS THAT WILL SUPPORT PRESENT OR FUTURE BUILDING STRUCTURES, AND WITHIN AREAS EXTENDING DOWNWARD AND OUTWARD FROM THE BUILDING LIMITS AT FINISHED GRADE ON A I-TO-I (HORIZONTAL TO VERTICAL) SLOPE TO THE BOTTOM OF THE FILL. CONFIRM THAT ALL UNSUITABLE MATERIAL HAS BEEN REMOVED FROM AREAS TO RECEIVE STRUCTURAL FILL BEFORE PLACING MATERIAL. SUB GRADES MAY NOT RECEIVE STRUCTURAL FILL IF FROZEN, AND FROZEN STRUCTURAL FILL IS NOT ACCEPTABLE FOR USE. PROVIDE ADEQUATE ADVANCED NOTIFICATION, ACCESS, EQUIPMENT, AND OPERATOR TO PERMIT TESTING AGENCY TO OBSERVE COMPACTING OF SUB GRADE PRIOR TO PLACEMENT OF STRUCTURAL FILL MATERIAL. PROVIDE ADEQUATE ADVANCE NOTIFICATION, ACCESS AND COOPERATION TO TESTING AGENCY TO PERFORM DENSITY TESTING ON EACH LIFT OF FILL PLACED, PRIOR TO PLACING FILL ABOVE THE LIFT. THE TESTING FREQUENCY WILL BE DETERMINED BY THE OWNER OR HIS/HER DESIGNATED REPRESENTATIVE. CONSTRUCT ALL STRUCTURAL FILL IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SUB-SECTION 207.3.6.3 (SPECIAL COMPACTION) OF THE WISDOT STANDARD SPECIFICATIONS EXCEPT: THE MAXIMUM DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D1557, WITH METHOD B OR C; ALL LIFTS SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D1557; MAXIMUM LIFT THICKNESS SHALL BE 8 INCHES FOR ALL SOILS, GRANULAR, OR COHESIVE; THE LIMIT OF STRUCTURAL FILL FOR PURPOSES OF COMPACTION REQUIREMENTS IS DEFINED AS THE AREA ENCOMPASSED BY PLANS EXTENDING DOWNWARD AND OUTWARD FROM THE EDGES OF THE STRUCTURE OR CONCRETE SLAB AT 45-DEGREE ANGLES RELATIVE TO HORIZONTAL (I.E. 1:1 SLOPES).
23. THE CONTRACTOR SHALL PREPARE THE SITE TO SUPPORT THE PROPOSED SURFACE PER SEC. 211 OF THE WISDOT STANDARD SPECS.
24. DENSE GRADED BASE SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 305 OF THE WISDOT STANDARD SPECIFICATIONS FOR DENSE GRADED BASE, CONSISTENT WITH THE DESIGNATIONS SPECIFIED ON THE PLANS.
25. OPEN GRADED BASE SHALL BE CRUSHED MATERIAL MEETING THE REQUIREMENTS AS DESCRIBED IN SECTION 310 OF THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
26. HOT MIX ASPHALT PAVEMENT SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 460 OF THE WISDOT STANDARD SPECIFICATIONS FOR PAVEMENT, CONSISTENT WITH THE DESIGNATIONS SPECIFIED ON THE PLANS.
27. CONCRETE PAVEMENT AND CURBING SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 501 OF THE WISDOT STANDARD SPECS, TYPE A OR A-FA.
28. REINFORCED CONCRETE PIPE SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SUB-SECTION 608.2 OF THE WISDOT STANDARD SPECIFICATIONS. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL REINFORCED CONCRETE STORM SEWER PIPE SHALL BE CLASS III OR STRONGER.
29. STORMWATER PIPE SHALL BE CORRUGATED HDPE NYLOPLEX PIPE.
30. NON-PRESSURE POLYVINYL CHLORIDE PIPE SHALL BE SCHEDULE 40 PVC PIPE. ALL BENDS OR OTHER FITTINGS SHALL BE SCHEDULE 40.
31. WATER TUBING SHALL BE OF MATERIALS SPECIFIED IN 8.24.1 OF THE LATEST EDITION OF THE WISCONSIN SEWER & WATER SPECIFICATIONS AND ALL CURRENT SUPPLEMENTAL SPECIFICATIONS AND ADENDA.
32. DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST REVISION OF ANSI A21.51 (AWWA C151). DUCTILE IRON PIPE SHALL BE CEMENT-MORTAR LINED AND COATED IN ACCORDANCE WITH THE LATEST REVISION OF ANSI A21.4 (AWWA C104). ALL DUCTILE IRON PIPE SHALL BE PRESSURE CLASS 350 UNLESS OTHERWISE SPECIFIED.
33. PIPE INSTALLATION SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE LATEST EDITION OF THE WISCONSIN SEWER & WATER SPECIFICATIONS AND ALL CURRENT SUPPLEMENTAL SPECIFICATIONS AND ADDENDA.
34. PAVEMENT MARKING PAINT SHALL BE PRE-MIXED WATERBORNE EMULSION APPLIED TO A CLEAN SURFACE AT MANUFACTURER'S RATES TO PROVIDE A MINIMUM WET FILM THICKNESS OF 15 MILLIMETERS. CONFIRM COLOR WITH OWNER PRIOR TO APPLICATION.
35. AFTER FINAL STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED SUCH THAT THE BOTTOM OF ANY STORM WATER FACILITY IS AT PLAN ELEVATION. SEDIMENT SHALL BE DISPOSED OF LEGALLY OFFSITE.
36. AT A MINIMUM RESTORE SITE BY SEEDING & MULCHING ALL DISTURBED AREAS TO BE VEGETATED AND ENSURE ESTABLISHMENT OF ADEQUATE VEGETATION. SEED IS TO BE OF A SINGLE URBAN LAWN MIX TYPE INTENDED FOR THE EXISTING SITE SOILS AND CONFORMING WITH SECTION 630 OF THE WISDOT STANDARD SPECIFICATION.
37. SITE AND IMPORTED TOPSOIL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF SECTION 625 OF THE WISDOT STANDARD SPECIFICATIONS, GRADED FREE OF STONES AND LUMPS LARGER THAN 1 INCH AND FREE OF ROOTS, VEGETATION, AND OTHER UN-DECOMPOSED ORGANIC MATERIAL.
38. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL EXCESS AND UNUSED MATERIALS FROM THE SITE FOLLOWING COMPLETION OF THEIR WORK.

Received on 08/19/2016

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PLOTTED: Aug 18, 2016 - 4:07 PM PLOTTED BY: ToddW

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NO SCALE

DATE	REVISION	BY	CHK'D

DESIGNED BY: TAE	CHECKED BY: JJB
SURVEYED BY: OTHERS	APPROVED BY: JJB
DRAWN BY: NAP	DATE: 08/18/16

SITE SPECIFICATIONS
MISTY PINES SUBDIVISION
VILLAGE OF WESTON
MARATHON COUNTY, WISCONSIN

REI
REI No. 7398
SHEET SP







MEMORANDUM

TO: Plan Commission
CC: Village Board of Trustees
FROM: Jared Wehner, Assistant Planner, Department of Planning and Development
DATE: September 12, 2016
SUBJECT: Discussion and Direction on allowing the keeping of animals (chickens) on residential lots (non-ag)

Summary

Currently, under the Village Zoning Ordinance, Chapter 94, the keeping of chickens is not permitted within any residential zoning districts¹. The reasoning behind this policy is, at the time of adoption, the Village is becoming an urban community and there were more complaints regarding the keeping of chickens than there were people in favor due to exceeding the number of allowable chickens and rooster; the odor generated from the coop; open-air slaughtering; loose chickens trespassing into neighboring lots; and depending on the breed, some can be loud. Presently, from staff's understanding, the majority of residents in the community are against the idea of having chickens in residential neighborhoods. This is based on the complaints received by staff; albeit a low number, but residents typically complain as soon as they find out their neighbor has chickens, or other similar farm animals.

The zoning code defines two ways to raise farm animals, which are defined under "Agricultural Use," as a principal use² and "Keeping of Farm Animals on Residential Lots," as an accessory use³. The later definition, which is attached, would be the policy that would need to be altered to allow this use within residentially zoned lots, if the Community Life and Public Safety and Plan Commission endorse such a policy change and the Village Board approves and adopts said policy.

If this policy were to change, then it would need to address several concerns. Since the current code defines the allowable areas by zoning district, it should be determined as to which districts the "Keeping of Farm Animals on a Residential Lot" be allowed within and whether it should be allowed as a permitted use-by-right or by conditional use permit. Staff would recommend that the use be permitted by a conditional use only within the SF-L Single Family Residential-Large Lot and SF-S Single Family Residential-Small Lot with an annual license renewal process. The conditional use process⁴ requires a public hearing, which gives neighbors and concerned citizens the opportunity to express their support or opposition. By State law, staff is required to send the hearing notice to Daily Herald Media 3.5 weeks prior to the hearing and send notices to neighbors that are within 400 feet of the applicant's property where the proposed activity will be taking place. This takes up a lot of staff time, plus the time it takes to review and write a recommendation to the Plan Commission, who hears the case. This process ensures that the applicant will not impose any undue burden on neighbors. The annual license renewal, in addition to the conditional use permit, should be required to insure the applicant is maintaining the requirements set forth in the conditional use and not a nuisance to neighbors. The limit of number of chickens, hens only, would be 4. Coops would have to adhere to all accessory structures (for residential use) requirements.

Staff does not support such a change within the zoning code at this time. It should be noted that if there is a change in the code staff will spend more time taking complaints from residents and investigating whether a violation exists on site. On average, staff currently spends 2 to 4 hours per complaint with the investigation, documentation and writing notice of violation letters, then there is follow up to ensure the violation is resolved. If the violation is not resolved, staff must take further action, resulting in more time being spent.

In conclusion, the decision ultimately comes from the Village Board of Trustees with a recommendation coming from the Community Life and Public Safety Committee and policy recommendations from the Plan Commission, as it is a matter concerning the zoning ordinance. It will not be an overnight process, as staff would have to do more comprehensive research on policy and community impact, write the amendments to the code, have Plan Commission's recommendation, which requires a public hearing, and finally, Village Board of Trustee's approval. There will also be an adjustment process with residents throughout the community.

Questions to be answered:

- Should the village allow the keeping of farm animals in residential lots that are less than 2 acres in size? If so, how many?
- Should this be a permitted use or conditional use?
- Should these be licensed?
- What other policies should be in place regarding this topic that have not already been covered?

¹ Residential zoning districts are defined as SF-L Single Family Residential-Large Lot, SF-S Single Family Residential-Small Lot, 2F Two Family Residential, MF Multiple Family Residential and MH Manufactured Home per Section 94.2.02(2).

² Any and all of the primary uses of a property, treated as a use permitted by right or as a conditional use (rather than as an accessory use or a temporary use).

³ A use subordinate to, and serving, the principal use on the same lot and customarily incidental thereto.

⁴ The Conditional Use process is described in its entirety in Section 94.16.06

MEMORANDUM

TO: Plan Commission
CC: Village Board of Trustees
FROM: Jared Wehner, Assistant Planner, Department of Planning and Development
DATE: September 12, 2016
SUBJECT: Discussion and Direction on the Policy Regarding Parking Lot Reconstruction

Summary:

Village staff have been confronted with a problem with non-residential property owners reconstructing their parking lots without first obtaining the proper approvals. Per the zoning code, in Section 94.3.03(10), "All development activities or uses of land that result in construction, reconstruction, exterior remodeling or expansion of structures, parking lots, loading areas or outdoor storage areas are subject to site plan approval under Section 94.16.09..." As staff currently interprets this section, whenever the entire surface of a parking lot is removed or replaced, with the exception of patching or seal coat, constitutes as reconstruction meaning site plan approval is required. When site plans are submitted they are subject to all the standards in Chapter 94, more specifically driveway standards, material standards, curb and gutter, and landscaping. They are subject to the same standards that apply to new construction.

Regarding parking lots that have been constructed prior to the adoption of the current zoning code, many of them are substandard. This means they may lack curb and gutter, landscaping, appropriate material, do not meet setbacks or the driveways exceed maximum widths. It is the staffs' understanding that when a site plan is submitted these issues are to be addressed and the parking lot brought into compliance with the current code. Property owners balk at these standards mainly due to the increase in costs of the proposed project. Staff is under the understanding that all new or updated parking lots are to have curb, gutter, landscaping and be constructed out of the approved materials listed in the code, regardless of when they were initially constructed or what "handshake" agreements were in place at the time of construction.

The current process is that the site plans are approved by staff if they meet the standards of the current code, but if the applicant wished to peruse a waiver from the current standards, then approval shall come from this body, the Plan Commission. When considering these waivers only unique situations should be taken into consideration, cost of a project should not be considered a hardship. If that is the case, then the ordinance should be revisited and if the ordinance is revisited, then it needs to be the same for everything.

There are further changes that would have to be made to the comprehensive plan if such a change were to occur, which would me further delay in the adoption of the comprehensive plan. The ordinances and policies need to align to be consistent with state law.

Staff is coming to you, the Plan Commission, as the body that holds the zoning code and the comprehensive plan, to receive direction. This direction is important so that staff is conveying the appropriate message to residents and business owners when these type of projects are submitted. This is also important because staff needs to know what the Plan Commission finds acceptable moving forward.

Questions to be answered from the discussion:

- Should the Village of Weston continue to pursue its goal and objective expressed in the current version of the comprehensive plan to make the village a more attractive place to live work and play? What does that look like?
- What is the definition of reconstruction?
- Should multiple family, commercial and industrial land uses be treated differently?
- How should staff enforce this?

NOTICE OF PUBLIC HEARING
Village of Weston, Wisconsin

BY: Village Board, Village Plan Commission
Village of Weston

DATE: September 21, 2016

TIME: 6 p.m.

PLACE: Weston Municipal Center
5500 Schofield Ave.
Weston, WI 54476

The Village of Weston Board of Trustees and Plan Commission will be holding a joint public hearing on September 21, 2016 to consider a complete update to the Village's 2006 Comprehensive Plan. The Comprehensive Plan is a guide to the physical development of the Village, including land use, transportation, economic development, and other policies and programs.

The proposed update is available for review at the Municipal Building, 5500 Schofield Ave. Weston, WI, and on the Village's Web page at <http://www.westonwi.gov/compplanupdate>. Written comments on the proposed update should be submitted to the Municipal Center (attention Jennifer Higgins) before September 14, 2016. All written comments will be forwarded to the Village Board and Plan Commission for their consideration. All interested persons will be given an opportunity to be heard. Any person planning to attend needing special accommodations in order to participate should call the Village at (715) 359-6114.

Dated this 18th day of August, 2016

Sherry Weinkauff, Village Clerk



5500 Schofield Avenue
Weston, WI 54476

715-359-6114
www.westonwi.gov

Published as a legal ad in the Wausau Daily Herald on Sunday, August 21, 2016.

Figure 11-1: Priority Initiatives from Volume 2 of Village of Weston Comprehensive Plan

Priority Initiative (click on link to learn more)	Chapter Reference	Priority Rating
Use the Future Land Use Map and Zoning Ordinance to Guide Land Use Decisions	Chapter 3: Land Use	Top
Promote Redevelopment and Infill in Smart Growth Areas	Chapter 3: Land Use	High
Attract Retailers in Targeted Sectors	Chapter 4: Economic Development	High
Adopt a Business Retention and Expansion Program	Chapter 4: Economic Development	High
Implement “It’s Right Here” Marketing Effort	Chapter 4: Economic Development	Moderate
Emphasize Weston as a Place to Build and Buy Single-Family Homes	Chapter 5: Housing and Neighborhoods	Moderate
Prepare or Require Neighborhood Development Plans	Chapter 5: Housing and Neighborhoods	High
Encourage Higher Quality Manufactured Home, Multiple Family, and Rental Housing	Chapter 5: Housing and Neighborhoods	High
Increase the Visibility, Quality, and Use of the Eau Claire River	Chapter 6: Natural, Agricultural, and Cultural Resources	High
Create Memorable Places and Experiences	Chapter 6: Natural, Agricultural, and Cultural Resources	Moderate
Improve the Appearance and Function of Weston’s Commercial Corridors	Chapter 6: Natural, Agricultural, and Cultural Resources	High
Improve Yellowbanks Park as a Nature-based Gathering Spot	Chapter 7: Parks and Recreation	High
Advance a Recreational Center on Weston’s South Side	Chapter 7: Parks and Recreation	High
Improve Accessible Facilities in Village Parks	Chapter 7: Parks and Recreation	High
Develop and Maintain an All-season Multi-use Trail Network	Chapter 7: Parks and Recreation	High
Prioritize Improvements via a Capital Improvement Program	Chapter 8: Community Facilities and Utilities	Top
Maintain a Clean and Plentiful Water Supply	Chapter 8: Community Facilities and Utilities	High
Implement Master Plans for Municipal Facility Sites	Chapter 8: Community Facilities and Utilities	Top
Maintain the Function and Condition of the Village’s Roadways	Chapter 9: Transportation	High
Strategically Prioritize Transportation Expansion Projects	Chapter 9: Transportation	Top
Design Village’s Transportation Network for Different Users & Purposes	Chapter 9: Transportation	Moderate
Expand the Intergovernmental Relationship with the Town of Weston	Chapter 10: Intergovernmental Cooperation	Moderate
Collaborate on Economic Growth, Tourism, and Recreation	Chapter 10: Intergovernmental Cooperation	Moderate



STAFF REPORT ON STAFF-APPROVED CSM'S, SITE PLANS, SIGN PERMITS, COMMERCIAL ZONING PERMITS, AND CERTIFICATE OF OCCUPANCIES ISSUED SINCE LAST REPORT OF 08/01/2016:

[CSIT-7-16-1598](#) CoVantage Credit Union, 4903 Schofield Avenue, New Construction

[SIGN-8-16-6984](#) Becca's Cafe, 4002 #3 Schofield Avenue – Temporary Banner

[SIGN-8-16-6985](#) Cutting Edge, 2809 Schofield Avenue – Temporary Banner

[ZONE-8-16-6933](#) Habitat for Humanity, 1819 Schofield Avenue

[ZONE-8-15-6960](#) Hodge Material Handling, 5907 Hilgemann Street

[ZONE-8-16-6983](#) Becca's Cafe, 4002 #3 Schofield Avenue

August 26, 2016

FOR EMAIL TRANSMISSION ONLY

Brian Prunty
CoVantage Credit Union
723 6th Avenue
Antigo, WI 54409
bprunty@covantagecu.org

RE: Site Plan Review Approval for New Construction – CoVantage CU, 4903 Schofield Avenue, Weston (CSIT-7-16-1598/ZONE-5-16-6687)

Dear Mr. Prunty,

On behalf of the Village of Weston, I am pleased to inform you the Site Plan for this project is approved, subject to the following conditions:

1. The site shall be developed, operated and maintained according to the following plans, except where plan amendments are necessary to meet any subsequent approval condition, or as otherwise approved by the Village Planning and Development Department Staff or Village Plan Commission:

- a. C1.0 Demolition Plan, revised on August 11, 2016
- b. C2.0 Layout Plan, revised on August 11, 2016
- c. C3.0 Grading Plan, revised on August 11, 2016
- d. C4.0 Erosion Control Plan, revised on August 11, 2016
- e. C5.0 Utility Plan, revised on August 19, 2016
- f. C6.0 Landscape Plan, revised on August 11, 2016
- g. C7.0 Irrigation Plan, revised on August 11, 2016
- h. A0.1 Trash Enclosure, revised on August 11, 2016
- i. A3.0 Building Elevations, dated July 7, 2016
- j. A4.0 Building Elevation, dated July 7, 2016
- k. EP0.1 Site Photometric Plan, revised on August 19, 2016

2. Per Section 94.16.09(9) **Construction Management**. Construction of all projects obtaining site plan approval shall be overseen by a professional construction manager or project manager, whose name and contact information shall be provided by the project owner to the Zoning Administrator upon request.

3. Per Section 94.16.09(11) **Sunset Clause**. All buildings on an approved site plan not fully developed within two years of final site plan approval shall expire, and no additional site development shall be permitted on undeveloped portions of the subject property. The appropriate site plan approval authority (Village Staff) may extend this period, if requested by the applicant, based on reasons beyond the reasonable control of the applicant.

4. Per Section 94.16.04(4) **Expiration of Zoning Permit**. The zoning permit shall become void unless visible on-site construction is commenced within six months from the date of issuance of the permit or if the building or work authorized by such permit is suspended at any time after work is commenced for a period of 60 days. The period of time may be extended by the Zoning Administrator if the delay was due to conditions beyond the control of the



Jennifer Higgins, Director
Planning & Development
Direct: 715-241-2638
jhiggins@westonwi.gov

5500 Schofield Avenue
Weston, WI 54476
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applicant. All permits granted under the terms of this section shall be valid for only 24 months, unless otherwise so regulated by the Wisconsin Administrative Code.

I have attached a copy of the approved Zoning Permit (ZONE-5-16-6687) along with this letter for your files and information. Please contact Village Building Inspector, Scott Tatro, at (715) 359-6114 or statro@westonwi.gov to schedule a time to obtain the building permits for this project. His office hours are from 8am to 9am and 3:30pm to 4:30pm, Monday through Thursday, or by appointment only.

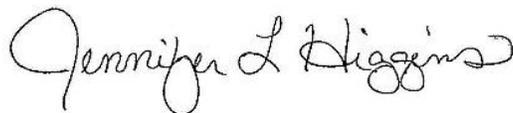
I have also attached a copy of the [Commercial Building Permit Application Packet](#) for your information and use in obtaining the building permit for this project. Please complete the applications within this packet which are relevant for your project. If you have questions or are uncertain which forms may be necessary, please feel free to contact myself or a member of my staff. The Department can be reached via the email address PlanDev@westonwi.gov. Please make sure you have a copy of your State-Approved Interior Building Plans with you at the time you meet with Mr. Tatro to obtain the building permits. These plans and the State approval letter can also be directly emailed to Mr. Tatro at statro@westonwi.gov prior to this meeting.

Please note, this approval letter does not extend to the freestanding sign that is proposed on the sign permit. A separate sign permit shall be filed and issued by the village prior to installation.

Please be sure to contact the Property Inspector, Roman Maguire at the time you wish to receive final inspection for the project. He will issue the final project Completion Certificate following the final inspection. Mr. Maguire may be contacted directly at rmaguire@westonwi.gov or at (715) 241-2619. Again, you can reach a member of the Department via the email address of PlanDev@westonwi.gov or by calling the main Village phone line at (715) 359-6114.

If you have any questions or concerns, please feel free to contact myself or a member of my staff. Continued best wishes with your business operations here in Weston.

Sincerely,



Jennifer Higgins
Director of Planning and Development/Zoning Administrator

Cc: Planning and Development Staff
Plan Commission
Jim Lundburg, Point of Beginning (jiml@pobinc.com)
Mudrovich Architects (larry@mudarch.com)



Jennifer Higgins, Director
Planning & Development
Direct: 715-241-2638
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COMMERCIAL SITE PLAN STAFF REVIEW

CSIT-7-16-1598

Planning and Development Department

Submitted on: July 24, 2016

Reviewed on: August 8, 2016

Revised on: August 8, 2016

PROJECT ADDRESS: 4903 SCHOFIELD AVENUE, WESTON, WI 54476

STAFF DETERMINATION: The following items shall be addressed prior to staff approval of site plan:

- Actual setbacks of the principal building and refuse enclosure should be shown;
- Vehicle stacking shall be shown in the principal drive-thru lane. This only needs to be completed in the principal lane;
- Crosswalks need to be painted or alternative material (i.e. dyed concrete) used;
- A letter from the contracted hauler shall be provided, stating that the size proposed will be large enough to contain the required containers for refuse and recycling;
- Refuse and recycling enclosure shall be 8' tall;
- "Do Not Enter" signage should be installed at the exit of the drive-thru lanes, coming into the east parking lot;
- Bicycle parking shall be provided;
- Exceeds 1.0-foot candle at property line at the entrance on Schofield Avenue and exceeds 5.0-foot candles within the drive-thru (25.0+). If this is to stay, then a written explanation shall be provided to make a determination;
- Driveway widths needs to be shown at the property line and street;
- The maintenance plan states City of Shell Lake, Washburn County, should be changed to Village of Weston, Marathon County. This description is there for both short-term and long-term plans.
- Maintenance Agreement needs to be recordable document that stays with the site, right now is just a checklist.
- Soil Loss calculations should be included with the Erosion Control Plan. Please use the DNR Soil Loss & Sediment Discharge Calculation Tool to complete this.
- **Plan sheet C5.0, Utility Plan, must note that the water service line from main to curb stop shall be 2" type K copper. Water service lateral from curb stop to building may be HDPE or copper and must be buried 8 feet deep. Non-metallic sewer and water laterals must have tracer wire. If non-metallic material used on customer portion of water lateral on exterior of building, non-metallic material shall continue as the material for the service entrance through the floor (should be noted on plumbing isometric). 4" insulation to be installed over both water and sewer laterals - water lateral from main to building; sewer lateral from R.O.W. line to building. Sewer lateral detail to be revised to show minimum depth at building to be 6.5 feet – not at property line as currently shown. (KED 8/16/16) Plans include requested changes as do specifications. Specifications also indicate HDPE Water Service conforming to DSPS 384.30(4)(e). Add note that HDPE tubing must conform to copper tubing outside diameter. Table in DSPS 384 references ASTM standard which I am unfamiliar with. (KED 8/25/16)**

APPROVAL EXPIRATION DATE:

RELATED CASES:

GENERAL			
Applicant/Company:	Brian Prunty / CoVantage Credit Union		
Address:	723 6 th Avenue, Antigo WI 54409		
Phone:	(715) 627-4336	Email:	bprunty@covantagecu.org
Site Owner:	Brian Prunty / CoVantage Credit Union		
Address:	723 6 th Avenue, Antigo WI 54409		
Phone:	(715) 6 th Avenue, Antigo, WI 54409	Email:	bprunty@covantagecu.org
Engineer/Company:	Jim Lundberg / Point of Beginning		
Address:	5709 Windy Drive, Suite D, Stevens Point, WI 54481		
Phone:	(715) 344-9999	Email:	jiml@pobinc.com
General Contractor:			
Address:			

Phone:		Email:	
Architect:	Thomas Mudrovich		
Address:	300 3 rd Street, Suite 304, Wausau, WI 54403		
Phone:	(715)848-4880	Email:	larry@mudarch.com
Existing Zoning:	B-3 – General Business		
Adjacent Zoning:	NORTH:	2F – Two-Family Residential	
	SOUTH:	B-3 – General Commercial	
	EAST:	B-3 – General Commercial	
	WEST:	B-3 – General Commercial	
Existing Land Use:	Vacant		
Adjacent Land Use:	NORTH:	Two-Family Detached Residential	
	SOUTH:	Vacant	
	EAST:	Indoor Sales and Service/Personal Storage Facility	
	WEST:	Vacant	
Future Land Use:	Future Commercial		

LEGAL DESCRIPTION OF SUBJECT PROPERTY:

Commencing at northwest corner south to the south line of State Highway 29 (now Schofield Avenue), east 33 feet to point of beginning, east 390 feet, south 260 feet, west 396 feet to east line of Von Kanel Street, north 260 feet to point of beginning and excluding Document number 1186830 filed with the Register of Deeds of Marathon County, Wisconsin; part of the southwest quarter of the southeast quarter of Section 16 T28N R8E, Village of Weston , Marathon County, Wisconsin; more commonly known as 4903 Schofield Avenue.

GENERAL DESCRIPTION OF PROJECT:

New construction of a 6834 square foot banking institution branch with a 5-lane drive through and walk-in service. This new use is considered to be a Personal or Professional Service and a Drive-up/Drive-Thru Sales or Service under the current zoning code for the Village.

CONSISTENCY WITH THE COMPREHENSIVE PLAN:

Future Commercial: Retail, commercial service, restaurant, and office uses, all served by public sanitary sewer and water services. Where along major highway corridors or outside of the Village’s neighborhood areas, the scale and range of uses may expand, including lodging, large-scale retail, wholesaling, and outdoor display land uses.

Zoning District Implementation: Where adjacent to residential development and/or away from major highways, B-1 Neighborhood Business or parts of N - Neighborhood district. Where along major highways or outside of the Village’s neighborhood areas, B-2 Highway Business and B-3 General Business.

Density: Minimum new lot size of 20,000 square feet (B-1) or 30,000 square feet (B-2, B-3), though larger scale business uses may require considerably more area. Promote lot sizes that enable future on-site expansion.

Development Policies:

- 1) Meet associated non-residential building and site design standards per zoning ordinance, including any overlay district requirements.
- 2) Time rezoning to when public utilities are available and a development proposal is made.
- 3) Assure that development provides access and an attractive rear yard appearance to development behind it.
- 4) Require developments to address traffic, environmental, and neighborhood impacts.

STAFF ANALYSIS PROVIDED BY:

S.A.F.E.R. DISTRICT (Inspector Christiansen), **EVEREST METRO POLICE DEPARTMENT** (Chief Sparks), **DEPARTMENT OF PUBLIC WORKS** (Keith Donner, Director of Public Works and Michael Wodalski, Deputy Director of Public Works), **DEPARTMENT OF PARKS, RECREATION AND URBAN FORESTRY** (Shawn Osterbrink), **DEPARTMENT OF PLANNING AND DEVELOPMENT** (Jennifer Higgins, Director of Planning & Development; Scott Tatro, Building Inspector; and Jared Wehner, Assistant Planner).

STAFF MEETING HELD ON <<INSERT DATE>> TO DISCUSS THE SITE PLAN PROPOSAL. COMMENTS HAVE BEEN INCORPERATED BELOW.

SITE PLAN SPECIFICATIONS	REQUIRED	PROPOSED
Minimum Lot Size:	30,000 sq. ft.	2.23 Acres / 96,758.00
Minimum Lot Width:	80 ft.	366.73 ft.
Minimum Street Frontage:	40 ft.	366.73 ft.
Minimum Landscape Surface Ratio:	20%	51.32%

Maximum Floor Area Ratio:	0.5	0.07
SETBACKS	REQUIRED	PROPOSED
Front yard:	30 ft.	NOT SHOWN 104.4 ft.
Street Side yard:	30 ft.	NOT SHOWN 141.1 ft.
Interior yard:	12 ft.	NOT SHOWN 136 ft.
Rear yard:	20 ft.	NOT SHOWN 82.2 ft.
Hard Surface Front yard:	15 ft.	NOT SHOWN 20 ft.
Hard Surface Interior yard:	10 ft.	NOT SHOWN 39 ft.
Principal Structure Height:	3 Stories / 45 ft.	TOTAL HEIGHT NOT SHOWN 25 ft.

LAND USE STANDARDS: Section 94.4.05	PROPOSED
<p>(2) Personal or Professional Service. Exclusively indoor land uses whose primary function is the provision of services directly to an individual on a walk-in or on-appointment basis. Examples include professional services, banks, insurance or financial services, realty offices, medical offices and clinics, veterinary clinics, barber shops, and beauty shops. Service uses that are accessory to a principal residential use of a property are not considered "Personal or Professional Service" uses, but are instead regulated as "Home Occupations" or "Residential Businesses" under this chapter.</p> <p><u>Performance Standards:</u> 1. Minimum Required Off-Street Parking: one space per 300 square feet of Gross Floor Area.</p> <p>(9) Drive-Through and Drive-In Sales or Service. Includes all land uses that perform sales and/or services to persons in vehicles, or to vehicles that may or may not be occupied at the time of such activity (except "Outdoor and Vehicle Repair and Maintenance" land uses, which are separately listed and regulated). Such uses often have traffic volumes that exhibit their highest levels concurrent with peak traffic flows on adjacent roads. Examples include drive-in, drive-up, and drive-through facilities in conjunction with another principal use (like a bank or restaurant), vehicular fuel stations, and car washes.</p> <p><u>Performance Standards:</u> 1. There shall be stacking space for at least five vehicles behind each drive-through order station, at least two vehicles between each order station and the first pass-through window, and at least two spaces beyond the last pass-through window for post-order pick-up. 2. The drive-through facility shall be designed so as to not impede or impair loading, vehicular movement, and pedestrian movement, or exacerbate the potential for conflicts with such activities. 3. Clearly marked pedestrian crosswalks shall be provided for each walk-in customer access to the facility adjacent to drive-through lane(s). 4. All vehicular areas shall have a hard surface that is designed to meet the requirements of a minimum four-ton axle load. 5. A bufferyard meeting the requirements of Section 94.11.02(3)(d) shall be provided along all property borders abutting residentially zoned property.</p>	<p>(2)1. Parking: 6834 sq. ft. / 300 sq. ft. = 22.78 required parking spaces. 34 Parking spaces proposed (MAX).</p> <p>----- (9)1. NO VEHICLE STACKING SHOWN. Rev. Meets requirements – 5-vehicle stacking shown.</p> <p>(9)2. The overall design appears to have minimum impact on the remaining traffic on site.</p> <p>(9)3. CROSSWALK NOT SHOWN. Rev. crosswalk now shown on plan.</p> <p>(9)4. 3 in. asphalt with 9 in. road base shown and 4 in. concrete with 6 in. road base shown – appears to meet standards.</p> <p>(9)5. Not applicable.</p> <p>(9)6. Meets requirements.</p> <p>(9)7. Not applicable.</p> <p>(9)8. Meets requirements.</p>

<p>6. Vertical concrete curbs shall be used to separate driving areas from exterior fixtures such as fuel pumps, vacuums, menu boards, canopy supports, and landscaped islands.</p> <p>7. Any land use that conducts sales from a vehicle such as a food truck or trailer, or from any other structure for an outdoor food or beverage vendor, that is in one place for more than 7 consecutive days is not classified as a "Drive Through and Drive-In Sales or Service" use and is prohibited within the Village.</p> <p>8. Minimum Require Off-Street Parking: Refer to the parking requirements of the other land uses on the site, such as "Indoor Sales and Service" land uses for a gas station/convenience store.</p>	
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DESIGN STANDARDS: Section 94.10.03	PROPOSED
<p>(1) Applicability. All new multi-family (3+ unit) residential principal buildings and non-residential principal buildings shall meet the design requirements in this Section, with the exception of farm structures such as barns, silos, and grain elevators. Expansion and exterior remodeling (exceeding 50 percent of the equalized assessed value of the structure at the time of the proposed project) of existing multi-family (3+ unit) residential principal buildings and non-residential principal buildings shall meet the design requirements in this Section to the extent determined practical by the applicable site plan approval authority. All Detached Accessory Structures serving multi-family residential principal buildings shall meet applicable design requirements in Section 94.4.09(2). All Detached Accessory Structures serving non-residential principal buildings shall meet applicable design requirements in Section 94.4.09(1).</p>	<p>(1) Article X applies.</p>
<p>(2) No Conversion of Residential Buildings for Commercial Use. No building designed and constructed for residential use shall be remodeled, converted, or used for a nonresidential use or activity, except for any of the permitted or conditional uses in the associated residential zoning district listed in Figure 3.04.</p>	<p>(2) Meets Requirements – New Construction.</p>
<p>(3) Licensed Architect Required. All proposed new construction and building additions shall require building elevations stamped by an architect licensed in the State of Wisconsin, unless otherwise approved by the Plan Commission. All such elevations shall demonstrate compliance with Section 94 by showing the calculated percentages of all proposed exterior materials.</p>	<p>(3) Meets Requirements.</p>
<p>(4) Building Size and Mass. The size and mass of buildings and structures shall be designed with consideration of the buildings, public ways, and places to which they are visually related (see Figure 10.03(1) for examples). The relative proportion of a building to its neighboring existing buildings, to pedestrians, or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are altered.</p>	<p>(4) Meets Requirements.</p>
<p>(5) Building Facade Continuity. Changes in building material, color, and texture shall occur at points related to the massing and overall design concept for the building. Each building shall be visually compatible with the buildings, public ways, and places to which it is visually related in its directional character, whether this is vertical character, horizontal character, or non-directional character. Building facades and appurtenances such as walls, fences, and landscape masses shall, when it is a characteristic of the area, form cohesive walls of enclosures along a street to ensure a favorable relationship with the buildings, public ways, and places to which such elements are</p>	<p>(5) Meets Requirements.</p>

visually related (see Figure 10.03(2) for examples in an urban setting).	
<p>(6) Building Design Proportions.</p> <p>(a) The relationship of the width to the height of the front elevation shall be visually compatible with buildings, public ways, and places to which it is visually related.</p> <p>(b) The relationship of the width to height of windows shall be visually compatible with buildings, public ways, and places to which the building is visually related.</p> <p>(c) The relationship of solids to voids in the front façade of a building shall be visually compatible with buildings, public ways, and places to which it is visually related.</p> <p>(d) The relationship of the building to the open space between it and adjoining buildings shall be visually compatible with the buildings, public ways, and places to which it is visually related.</p> <p>(e) The relationship of entrances and other projections to sidewalks shall be visually compatible with the buildings, public ways, and places to which it is visually related.</p>	<p>(a) Meets Requirements – Improves Area.</p> <p>(b) Meets Requirements.</p> <p>(c) Meets Requirements.</p> <p>(d) Meets Requirements.</p> <p>(e) Meets Requirements.</p>
<p>(7) Approved Materials. Material selection shall relate to the prevailing material already used on recently constructed buildings in the area, or to a different character if identified in the Village’s Comprehensive Plan, the examples in Figures 10.03(3) and (4), or unique requirements associated with any D Design overlay district applicable to the site. In addition:</p> <p>(a) All new construction shall have a façade that consists of 60 percent of brick, native stone, tinted and/or textured concrete masonry units, glass, copper panels, stainless steel, brushed nickel, stained natural woods (as provided in subsection (c)) or other comparable material as approved by the site plan approval authority, except as provided below:</p> <ol style="list-style-type: none"> 1. On all new commercial construction, for non-public facing façades, the requirement in subsection (a) shall remain, but at 40 percent. 2. On all new industrial construction, 60 percent of all non-expansion facades abutting a public right-of-way and the extension of 20 feet or 10 percent of the length of the side, whichever is greater, on either side shall meet the requirements of subsection (a). The remaining sides shall be matching masonry brick, stone or concrete panel for the first 4 feet from the finished floor elevation where abutting an all-weather surface and/or not screened by landscaping. 3. On all new industrial construction, the site plan approval authority may reduce the requirement in subsection (a) to 40 percent so long as the property is not (i) abutting Schofield Avenue, Camp Phillips Road, Weston Avenue, Ross Avenue and/or State Highway 29 or (ii) within the Weston Business and Technology Park or any additions thereto. <p>(b) Vinyl, Dryvit, Exterior Insulation Finishing Systems (EIFS), plaster products, and metal panels shall not be counted towards the 60 percent requirement in subsection (a), except</p>	<p>(a) Meets Requirements.</p> <p>(b) Meets Requirements.</p> <p>(c) Not applicable – specified material not in use.</p> <p>(d) Meets Requirements.</p>

<p>for architecturally finished and decorative versions of such materials if approved by the site plan approval authority.</p> <p>(c) Natural wood, including treated wood, shall be painted or stained. The site plan approval authority may authorize the use of cedar, redwood, or other naturally weather resistant wood species to be untreated.</p>	(e) N/A
<p>(d) Facades with an uninterrupted length of 200 feet or more shall include the use of two or more colors or employ the use of protruding or intruding exterior walls in a way that breaks and reduces the monotony.</p> <p>(e) Multifamily dwellings are required to have architectural and trim details such as frieze board, vertical corner trim, drip caps, gable vents, shingles and shakes.</p>	(f) Meets Requirements.
<p>(f) Commercial buildings are required to be designed to provide human scale, interest, and variety, which shall be accomplished by incorporating at least two of the following techniques:</p> <ol style="list-style-type: none"> 1. Variation in building form, such as recessed or projecting bays, shifts in massing or distinct roof shapes. 2. Emphasis on building entries through projecting or recessing forms (e.g., cover entries or columns), details or material differences. 3. Variation in materials, material modules, express joints and details, surface relief, and/or texture to break up building forms and walls. <p>(g) Where concrete block or masonry is used on industrial buildings, such material shall be painted with no less than two coats of paint, stain, or shall be a decorative pattern or treatment as approved by the site plan approval authority.</p>	(g) Meets Requirements.
<p>(8) Materials—Use of Metal and Other Non-decorative Materials. No exposed façade shall be faced with a material that presents an unfinished appearance to the public and surrounding properties. The following exterior construction materials shall not be exposed along front or street side yard facing building facades: non-decorative concrete block, cinder block, or concrete foundation walls (except for the first two feet above grade), non-decorative plywood, chipboard, T1-11, asphaltic siding, vinyl siding less than 0.044 inches of thickness, any material using exposed fastener systems, metal sheets, panels or other similarly inferior materials as determined by the site plan approval authority. No façade of any principal building intended for a residential, institutional, or commercial use as listed in Figure 3.04 shall be sided with metal sheets or panels. Any accessory non-residential building sided with metal sheets or panels shall be fully screened from the public rights-of-way. Pole buildings shall be prohibited in any residential, commercial, and industrial zoning district.</p>	(8) Meets Requirements.
<p>(9) Colors. Building colors shall be selected to enhance or maintain general harmony with the existing area or neighborhood buildings, without creating a monotonous street appearance. See examples of appropriate color combinations in Figures 10.03(3) and 10.03(4).</p>	(9) Meets Requirements.
<p>(10) Design. Building design features, materials and articulations shall be continued in all sides.</p>	(10) Meets Requirements.
<p>(11) Roofing. Exposed roofing materials shall be variegated in color and texture in a manner that is complimentary to the color and texture of the façade.</p>	(11) Meets Requirements.

(12) Corner Lot Buildings. Buildings on corner lots shall continue the major front elevation design elements around the corner elevation.	(12) Meets Requirements.
(13) Vents and Mechanical Units. All chimney and fireplace vents shall be enclosed in a case constructed of materials similar to those materials used on the building elevations. Metal housings designed by the vent manufacturer to enclose the chimney vents are acceptable. All heating, ventilating, and air-conditioning equipment shall be designed to be integral with the building architecture and site design and screened from view from public rights-of-way.	(13) Meets Requirements.
(14) Building Orientation. All buildings shall be sited to present their most desirable façade(s) to adjacent public rights-of-way. Garages and loading docks shall be designed as integral elements to the building and site, and shall not be the dominant visual element from public rights-of-way unless pre-existing site or building conditions would not allow this. All new loading docks shall be screened from public view to the extent practical. No truck canopies with visible wall hangers are permitted.	(14) Meets Requirements.
(15) Outdoor Waste/Recycling Containers. Solid waste/recycling containers (dumpsters) stored outdoors shall be subject to applicable standards in Section 94.12.06(2) and Chapter 66 of the Municipal Code.	(15) Meets Requirements.

LANDSCAPING: Section 94.11.02	Proposed	Required Points	Proposed Points
(a) Street Frontages. Street trees shall be planted in accordance with the following standards (see also example in Figure 11.02(1)): 1. The total number of street trees shall be equal to or exceed the ratio of one for each 50 feet of street frontage. 2. Trees shall be planted in the right-of-way along all streets no closer than ten feet from driveways, street signs, fire hydrants, and other above-ground utilities, and 50 feet from the corner of an intersection, as measured from the right-of-way lines extended. 3. When conditions are such that the required spacing cannot be satisfied in the right-of-way or, if in the opinion of the Zoning Administrator the right-of-way is not wide enough to support tree growth, street trees under this subsection shall be planted within the first ten feet inside the sidewalk line. 4. The unpaved portion of a public right-of-way abutting a parcel shall be sodded with a salt tolerant grass equivalent to a mixture containing 30 percent alkali grass. 5. Tree or shrub planting in any public right-of-way or on any public land in the Village shall be governed by Chapter 70 of the Code.	1. Meets Requirements. See Landscape Calculation Worksheet.	12 trees	13 trees
	2.		
	3.		
	4.		
	5.		
(b) Hard and Gravel Surfaced Areas. Within industrial zoning districts, 100 points of landscaping shall be planted for each 2,500 square feet of hard and gravel surfaced area, not including rooftops. Within all other zoning districts, 100 points of landscaping shall be planted for each 1,500 square feet of hard or gravel surfaced area, not including rooftops. Plants required under this subsection shall be installed within landscaped islands within the hard or gravel surfaced area or within 15 feet of its edges, and shall include large deciduous trees unless	(b) Meets Requirements. See Landscape Calculation Worksheet.	3740 pts	3750 pts

otherwise approved by the appropriate site plan approval authority. See example in Figure 11.02(2).			
(c) Building Foundations. Within industrial zoning districts, 100 points of landscaping shall be planted for each 50 lineal feet of exterior building wall that is visible from a public right-of-way or residentially zoned property. Within all other zoning districts, 100 points of landscaping shall be planted for each 75 lineal feet of exterior building wall. Plants required under this subsection must be installed within 20 feet of the building foundation, and shall not include large deciduous shade trees. See example in Figure 11.02(3).	(c) Meets Requirements. See Landscape Calculation Worksheet.	450 pts	460 pts
(e) General Yard Areas. Within industrial zoning districts, 100 points of landscaping shall be planted for each 4,000 square feet of total lot area, excluding those areas under a rooftop, hard or gravel surfaced area, required bufferyard, or being reserved for a future phase of development. Within all other zoning districts, 100 points of landscaping shall be planted for each 2,500 square feet of total lot area, excluding those areas under a rooftop, hard or gravel surfaced area, required bufferyard, or being reserved for a future phase of development. Landscaping required by this standard shall be placed where appropriate on the site to maximize visual impact of landscaping, such as in a front or street side yard or adjacent to other uses.	(e) Meets Requirements. See Landscape Calculation Worksheet.	1360pts	1510 pts

GENERAL PERFORMANCE STANDARDS: Section 94.12	PROPOSED
94.12.03: Fences, Landscape Walls and Hedges.	
(a) Traffic Visibility. All fences, walls, and hedges must comply with the vision clearance requirements of Section 94.12.08(12).	(a) No fence proposed, not applicable.
(b) Access. No fence shall be considered a hardship to access a rear yard, for purposes of storage of vehicles or other purposes in this Chapter.	
(d) Fences within all Non-residential Zoning Districts, Except for Residential Fences Located There <ul style="list-style-type: none"> 1. Fences, walls, and continuous hedges not exceeding ten feet in height are permitted. Such fence, wall, or continuous hedge shall be set back a minimum of two feet from any front or street side property line. 2. Fences, walls, or continuous hedges may be required for screening particular land uses per Article 4 and Section 94.11.02(3)(d). 	(b)
(g) Permanent Fence Appearance. For each permanent fence with a more finished or a more decorative (non-structural) side, such side shall face toward the adjoining property or right-of-way. Residential fences in a front or street side yard shall be of semi-open designs, such as vertical picket, weaved lattice, or wrought iron bars. Each permanent fence shall be of consistent design and color, and color shall be compatible with the predominant color of the principal building on the same lot.	(d)
(h) Construction and Maintenance. All fences, landscape walls, or decorative posts shall be constructed and maintained in a structurally sound and attractive manner per manufacturer's instructions. Living hedges must be trimmed so that all limbs remain entirely within the property. Each fence shall be built and maintained with a single material and a single color for its full length.	(g)
	(h)

94.12.06(2): Exterior Storage Standards.

(a) All exterior (outside) storage of recyclable and non-recyclable containers, within multi—family dwellings and non-residential facilities and properties (all land uses other than “Single-Family Detached Residence”, “Two-Family Residence”, and “Agricultural Use”), shall be placed and maintained within a three-sided enclosure and enclosed on the fourth side with a gate to contain garbage, refuse, waste, recycling, and other debris. The enclosure shall further meet all of the following requirements:

1. Subject to accessory structure setback requirements included in Figures 5.01(2) and 5.02(2).
2. Must be at least 10 feet from any combustible walls, openings, or combustible roof eave lines, as per NFPA 1 (most recent addition).
3. Not placed in any minimum required front or street side yard.
4. Must be placed to the interior side or rear of the principal structure, unless such a location is not possible in the determination of the Zoning Administrator.
5. Must be a minimum of 30-feet long by 10-feet wide.
6. Must be 8-feet tall.
7. Placed on a permanent hard surface.
8. The recyclable and non-recyclable containers shall be fully screened and not visible from public rights-of-way and adjacent properties from the ground level; the screening shall consist of a solid fence constructed of masonry, commercial grade wood fencing, or other commercial grade material approved by the Zoning Administrator. Chain link fences and gates with slats are not permitted for this purpose.
9. This fence shall be constructed in such a manner so as to prevent paper, debris, and other refuse material from being blown through the fence.
10. The Village’s Refuse and Recycling Site Application must be submitted and approved by the Village prior to installation. The owner shall provide proof to the Zoning Administrator, from the owner’s contracted solid waste/recycling hauler, that the design provides safe and reasonable access to the hauler to provide the contracted service.

- (a)
1. Meets requirements – actual setbacks not shown.
Rev. Meets requirements.
 2. Meets requirements.
 3. Meets requirements.
 4. Meets requirements.
 5. **12’ x 8’ Rev. Meets requirements, per letter from hauler.**
 6. **6’ Rev. 8 ft.**
 7. Meets requirements.
 8. Meets requirements.
 9. Meets requirements.
 10. **Not provided: a letter from the contracted hauler shall be provided, stating that the size proposed will be large enough to contain the required containers for refuse and recycling. Rev. Letter from hauler received, stated smaller size will meet recycling/refuse requirements of the building/use.**

(b) There is not any unnecessary hardship on this site.

<p>(b) The owner or designated agent may apply for a special exception from the Zoning Administrator regarding the minimum size, location, shape, and style of enclosure specified in subsection (a). The Zoning Administrator may grant a special exception if the applicant clearly shows that the ordinance requirement creates an unnecessary hardship and granting the special exception will not harm the public interest or undermine the purpose of this Chapter.</p> <p>(c) The exterior storage of non-recyclable and recyclable material, and associated containers and enclosures, which are not in compliance with this subsection as of March 18, 2015, shall have one year from such date to comply.</p>	(c)
<p>(5) Construction Materials and Equipment Related to On-site Construction. Except within agricultural zoning districts, all temporary storage of construction materials and equipment related to on-site construction shall be set back a minimum of three feet from any interior side or rear property line, and outside of any front or street side yard unless provided site plan approval under Section 94.16.09.</p>	(5)
<p>94.12.08: Access and Driveway Standards.</p>	
<p>(10) Provision for Sidewalk. Where there is existing curb and gutter street sidewalks shall be installed for all new construction and substantial remodels, which exceed 50% of the assessed value, of a structure, regardless if a sidewalk is present on either side of said project, in accordance with the Village's Complete Streets Policy. Where the construction project or remodel does not exceed 50% of the assessed value then all driveways, new or existing, shall accommodate a 5-foot wide concrete sidewalk section within the public right-of-way, built to Village sidewalk standards, to maintain connection with existing sidewalks or to allow for the connection of future sidewalks on either side of the driveway. Plan Commission may waive the above stated provisions under the following circumstances:</p> <p>(a) The Village Capital Improvement Plan and/or sidewalk and trail planning maps, or similar planning documents do not include sidewalks within the project neighborhood; or</p> <p>(b) The Director of Public Works has determined that future sidewalk grades cannot be determined or;</p> <p>(c) The Director of Public Works has determined that substantial grading of the area between the curb and the right-of-way line is required for both the subject parcel and both neighboring parcels.</p>	(10) Meets requirements.
<p>(11) Maintenance. All driveways shall be maintained so as to prevent the transport of gravel, dirt, or other material from the property into the public right-of-way.</p>	(11) Meets requirements.
<p>(12) Vision Clearance Triangles. Within vision clearance triangles, no signs, structures, earthwork, vegetation, or other obstructions between 18 inches and ten feet in height shall be permitted, except for tree trunks and sign poles. The vision clearance triangle shall apply where public streets intersect, and where private driveways and alleys intersect with public streets, per the following standards (as also represented in Figure 12.08).</p>	(12) Meets requirements.

94.12.09: Off-Street Parking and Traffic Circulation Standards.

<p>(3) Use of Off-Street Parking Areas; Snow Storage. Except as otherwise allowed below, the use of all off-street parking areas shall be limited to the parking of licensed and operable vehicles not for lease, rent, or sale. Within residentially zoned property, only licensed and operable cars and trucks with a rated gross vehicle weight of 26,000 pounds or less shall be parked or kept in parking areas or any other exterior location. The use of parking spaces and their circulation areas for purposes such as seasonal sales and snow storage shall be permitted only if sufficient parking spaces remain available to meet the parking requirements of this chapter and normal traffic and pedestrian movement and safety is not impeded.</p>	(3) Meets requirements.
<p>(4) Traffic Circulation and Traffic Control. Site circulation shall be designed to provide for the safe and efficient movement of all traffic entering, exiting, and on the site. Circulation shall be provided to meet the individual needs of the site with specific mixing of access and through movements, and where required, shall be depicted on the required site plan. Circulation patterns and traffic control measures shall conform to the general rules of the road and the requirements of the Manual of Uniform Traffic Control Devices.</p>	(4) Meets requirements.
<p>(5) Installation and Maintenance of Off-Street Parking and Traffic Circulation Areas. All off-street parking and traffic circulation areas shall be completed prior to building occupancy and shall be maintained in a dust-free condition at all times. No off-street parking or traffic circulation area may be used as a storage area, for materials or for snow.</p>	(5) Meets requirements.
<p>(6) Off-Street Parking and Traffic Circulation Design Standards.</p> <p>(a) Surfacing. All off-street parking, driveway, and traffic circulation areas constructed after March 18, 2015, including residential driveways, shall be surfaced and continuously maintained with a hard surface as defined in Section 94.17.04 tracking pad adjacent to the public street right-of-way, or other remedial action, if he or she determines that gravel or stone is being tracked into the public street.</p> <p>(b) Marking. All hard-surfaced areas intended for six or more parking stalls shall be striped in a manner that clearly indicates the boundaries of required parking spaces.</p> <p>(c) Curbing. For developments that require site plan approval under this Chapter, construction of curb and gutter shall be required around all parking, driveway, and other vehicular access areas and landscaped islands and peninsulas. The site plan approval authority may modify this standard to facilitate a unique stormwater management approach or condition, for lightly traveled service drives, at the edges of a phase of development of a parking area, for material or snow storage areas, or for approved gravel surfaced areas.</p> <p>(d) Lighting. All off-street parking and traffic circulation areas serving six or more cars shall be lit so as to ensure the safe and efficient use of said areas during the hours of use, with said illumination level shall not exceed the standards of Section 94.12.11.</p>	<p>(a) Meets requirements.</p> <p>(b) Meets requirements.</p> <p>(c) Meets requirements.</p>

<p>(e) Access. Each required off-street parking space shall open directly upon an aisle or driveway that is wide enough and designed to provide a safe and efficient means of vehicular access to the parking space without directly backing or maneuvering a vehicle into a public right-of-way. All off-street parking and traffic circulation facilities shall be designed with an appropriate means of vehicular access to a street or alley, in a manner that least interferes with traffic movements. Off-street parking spaces for residential uses may be stacked or in front of one-another for the same dwelling unit. Parking spaces located behind an enclosed garage and located directly off a through aisle shall be a minimum of 30 feet deep.</p> <p>(f) Signage. All signage located within, or related to, required off-street parking or traffic circulation areas shall comply with the requirements of Article 13.</p> <p>(g) Handicapped Parking Spaces. Parking for the handicapped shall be provided at a size, number, location, and with signage as specified by State and Federal regulations.</p> <p>(h) Parking Space Design Standards. Other than parking required to serve the handicapped, the minimum required length of parking spaces shall be 18 feet and the minimum required width is 10 feet (8½ feet for end spaces). All parking spaces shall have a minimum vertical clearance of 8 feet.</p> <p>(i) Parking Lot Design Standards. Horizontal widths for driveways serving parking spaces shall be no less than 24 feet for two-way driveways and 12 feet for one-way driveways, except that wider driveways may be required for loading and service routes. Parking lot landscaping shall comply with the requirements of the hard and gravel surface area landscaping requirements in Section 94.11.02(3)(b).</p>	<p>(d) Meets requirements.</p>
	<p>(e) Meets requirements.</p>
	<p>(f) No signage shown, just arrows painted on pavement. Install sign at end of drive-thru portion of parking lot. Rev. Signage shown.</p>
	<p>(g) Meets requirements.</p>
	<p>(h) Meets requirements.</p>
<p>(7) Calculation of Minimum Required Parking Spaces. The minimum number of required parking spaces is stated for each land use in Article 4.</p>	<p>(i) Meets requirements.</p>
<p>(10) Limit on the Maximum Number of Required Parking Spaces. No site plan may be approved for a multi-family residential or non-residential use that contains more than 150</p>	<p>(7) Meets requirements.</p> <p>(10) 34 Parking Space Maximum, meets requirements.</p>

percent of the use's minimum number of required parking spaces under Article 4, except by conditional use permit.	
(12) Locational Prohibitions for Off-Street Parking Areas. Off-street parking shall not be located between the principal structure on a residential lot and a street right-of-way, except within residential driveways and parking lots designated on any approved site plan. No private parking shall occur on street terraces, driveways, or any other areas located within a public right-of-way, except by conditional use permit. See also Section 94.12.07(9) and Figures 5.01(2) and 5.02(2).	(12) Meets requirements.
(13) Minimum Permitted Throat Length. All uses requiring site plan approval shall have a minimum permitted throat length of access drives serving parking lots of 20 feet from the nearest street right-of-way, except as modified by the site plan approval authority based on unique site conditions or suitable assurance that traffic will not back up into public rights-of-way.	(13) Meets requirements.
(14) Bicycle Parking. A number of off-street bicycle parking spaces shall be provided equal to five percent of the automobile parking space requirement, with no fewer than two bicycle parking spaces provided for all uses requiring 20 or more vehicular parking spaces. Each "Inverted-U" or similar type rack counts as two bicycle parking spaces. All bicycle parking shall be on a hard-surfaced area in a location accessible to building entrances.	(14) No bicycle parking is provided. Rev. Space provided, no specifications on rack.
(15) Pedestrian Facilities. (a) The site shall provide for safe pedestrian and bicycle access to all uses, and connections to existing and planned public pedestrian and bicycle facilities and adjacent properties. (b) Pedestrian walkways shall be provided from all building entrances to existing or planned public sidewalks and/or pedestrian/bike facilities. The minimum width for sidewalks adjacent to buildings shall be five feet. (c) Sidewalks other than street sidewalks or building aprons shall have adjoining landscaping along at least 50 percent of their length if said sidewalk is over 50 feet in length. (d) Crosswalks shall be distinguished from driving surfaces to enhance pedestrian safety by using different materials, or colors, or textures, and signage.	(a) Meets requirements.
	(b) Meets requirements.
	(c) Meets requirements.
	(d) Crosswalk not shown.
Section 94.12.11: Exterior Lighting Standards	
(2) Applicability. The requirements of this Section apply to all exterior lighting and all interior light visible from the exterior on private property within the jurisdiction of this Chapter, except for lighting within public rights-of-way; on communications towers or airports, heliports, helipads, or other similar facilities where required to meet federal and state safety regulations; and as excepted in subsection (10).	(2) Applicable
(4) Orientation of Fixture. In no instance shall an exterior lighting fixture be oriented so that the lighting element (or a clear shield) is visible from a residentially zoned property or allowed to direct light skyward. Shielded luminaries and careful fixture placement shall be used to ensure that exterior lighting prevents direct lighting above a horizontal plane, except that architectural lighting that focuses all light below the roof line may exceed the horizontal plane. Search lights are prohibited except for any search light deemed necessary by the FAA.	(4) Meets requirements.
(5) Intensity of Illumination. The amount of illumination attributable to exterior lighting, as measured at the property line, shall not exceed 1.0 footcandle above ambient lighting	(5) Exceeds 1.0-foot candle at property line at the entrance on Schofield Avenue. Exceeds 5.0-foot candles within the drive-thru (25.0+).

conditions on a cloudless night. The maximum average lighting within any lit area shall not exceed 5.0 footcandles, except where the Zoning Administrator determines that greater illumination is necessary for public safety.	
(6) Fixture Heights. The maximum height from the base of the pole or its support to the fixture shall be 20 feet in residential, rural, and open space zoning districts, and 35 feet in all other districts.	(6) Meets requirements.
(7) Location. Light fixtures shall not be located within any required bufferyard under this Chapter, or closer than three feet from a property line.	(7) Meets requirements.
(8) Flashing, Flickering and other Distracting Lighting. Flashing, flickering, moving (such as search spot or search lights), and/or other lighting that may distract motorists is prohibited.	(8) Meets requirements.
(9) Qualitative Requirements. Design and color of light fixtures and poles shall be compatible with building design and color on the same lot. Street intersections, driveway intersections, and pedestrian access routes shall be illuminated with lights of appropriate scale to the function, without providing an obviously uneven illumination pattern across the site.	(9) Meets requirements.

STREET ACCESS CONTROL: Chapter 71	PROPOSED
Section 71.5.01: Access Design Standards	
Width at Property Line: 24 – 40 feet	Widths of driveways at property line are not shown. Rev. Both driveways are shown at 30 ft.
Width at Street: Based on vehicle used to access.	Widths of driveways at street are not shown. Widths shown. Note, at the time of reconstruction of Von Kanel, a concrete apron will be installed and may not be at that same width.
(2) Grade. The maximum acceptable grade shall not exceed 10%. Under certain circumstances, which must be defined and presented to the Village Board by the Director of Public Works or Zoning Administrator prior to the meeting/hearing on the proposal, the Village may require that the access point grade shall not exceed 6%.	Meets requirements.
(3) Clearance. All driveways shall provide a driveway corridor at least 12 feet wide with no tree branches or brush extending into the driveway corridor to a height of 15 feet.	Proposed street trees are within the 12 width of the driveway.
(5) Driveway approach construction standards. (b) Standards for asphalt. Minimum of two-and-one-half-inch compacted depth of surface mix over six-inch compacted three-quarter-inch crushed aggregate base course; no pea gravel allowed. (c) Standards for concrete. 1. Forms in the approach are to be a minimum of six inches in depth. 2. Concrete to be a minimum six-bag mix. 3. Expansion joints six inches by 1/2 inch required between curb and driveway approach, or as directed. 4. Concrete approaches are required where there is existing curb and gutter and sidewalk or where sidewalk is proposed in the future. 5. Driveway approaches require a minimum concrete thickness of six inches and four-inch compacted three-quarter-inch crushed aggregate base course (no pea gravel allowed). 6. In the absence of curb and gutter, concrete approaches are prohibited.	

<p>(7) Alignment. All driveways shall be constructed within 10° of perpendicular to the accessed street center line for the first 20 feet of the access.</p> <p>(a) Where possible, driveways should align on opposite sides of the street.</p> <p>(b) A variance is required for unique or site-specific limitations that may exist which restrict the applicant from complying with these dimensional requirements. A variance may not be granted for any driveway that intersects the street at less than 60° under any circumstances.</p>	<p>Meets requirements.</p>
<p>(8) Vision triangle. No visual obstruction shall be located within a vision triangle, or the space formed by two existing or proposed right-of-way lines and/or a right-of-way to a private driveway. No structure or sign may be placed in the clear area of a vision triangle. The clear area extends from 18 inches to 10 feet above from the average height of the right-of-way elevation of the adjoining streets and/or an existing or proposed access/driveway. These constraints are depicted by Figure 71.5.01A.</p>	
<p>(9) Sight distance. Permits shall not be issued for access that allows any turning movement where the sight distance is not sufficient to provide for the safe and efficient traffic flow entering or exiting a street, or encountering the access while upon the street.</p>	<p>Meets requirements.</p>
<p>(10) Corner clearance.</p> <p>(a) Functional area. The intersection of two streets contains a functional area beyond the physical intersection that contains decision and maneuvering distance. To reduce conflict and promote safety, driveways must be located outside of this functional intersection area. Locate all driveways and access points as far as practical from the intersection of two intersecting rights-of-way. Driveway access is restricted in turning lanes, which are also located in the functional area of an intersection.</p> <p>Signalized, Local: 75' Signalized, Collector: 150' Signalized, Arterial: 200' Non-signalized, Local: 90' Non-signalized, Collector: 200' Non-signalized, Arterial: 300'</p> <p>(b) Sight distance. Intersection sight distance, as determined by the Director of Public Works, using the vision triangle shall be required in conjunction with intersection setbacks to ensure safety and functionality on streets. The intersection sight distance figures are defined for both uncontrolled intersections along with those where vehicles approach the intersection from a stop or yield.</p>	<p>(a) Meets requirements.</p> <p>(b) Meets requirements.</p>

UTILITIES: Chapter 86

PROPOSED

Section 86.117: Cross Connections

<p>(c) Control and maintenance of connections. No person shall establish or permit to be established or maintain or permit to be maintained any cross connection. No interconnection shall be established whereby potable water from a private, auxiliary or emergency water supply other than the regular public water supply of the water utility may enter the supply or distribution</p>	
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<p>system of the village unless such private, auxiliary or emergency water supply and the method of connection and use of such supply shall have been approved by the water utility and by the department of natural resources in accordance with Wisconsin Administrative Code NR § 811.09(2).</p>	
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Section 86.136: Meter Installation

Meters will be furnished and placed by the water utility and are not to be disconnected or interfered with by the consumer. All meters shall be so located that they shall be preserved from obstructions and allow easy access for reading and inspection, such location to be designated by the utility. All piping within the building must be supplied by the consumer. If additional meters are desired by the consumer, he shall pay for all piping in an amount sufficient to cover the cost of maintenance and depreciation as set by the board.

Section 86.307 Post Construction Storm water Management Performance Standards

(3) The plan required under sub. (2) shall include the following:

- (a) BMPs shall be designed, installed and maintained to control total suspended solids carried in runoff from the post-construction site as follows:
 New Development → 80% TSS Reduction
 In-fill development → 80% TSS Reduction
 Redevelopment → 40% TSS Reduction of load from parking areas and roads.
- (b) By design, BMPs shall be employed to maintain or reduce the 1-year, 2-year, 10-year and 100-year 24-hour, post construction peak runoff discharge rates to pre-development rates for the respective storms, or to the maximum extent practicable.
- (c) BMPs shall be designed, installed and maintained to infiltrate runoff in accordance with 86.307(3)(c) or to the maximum extent practicable.
- (d) Protective areas shall be included on site plans (see this section of the ordinance for the respective distances for protective areas)
- (e) Fueling and vehicle maintenance areas shall have BMPs designed, installed and maintained to reduce petroleum runoff so that the runoff that enters waters of the state contains no visible petroleum sheen, or to the maximum extent practicable.

- (a) Meets requirements (design is at 87.73% TSS)
- (b) Post Development is reduced for all storm scenarios.
- (c) In redevelopment infiltration is exempt.
- (d) No protective areas on site
- (e) Not Applicable

Section 86.309 Storm water Management Plan

(1) PLAN REQUIREMENTS. The storm water management plan required under Sec. 86.308 (2) shall contain at a minimum the following information:

- (a) Name, address, and telephone number for the following or their designees: landowner; developer; project engineer for practice design and certification; person(s) responsible for installation of storm water management practices; and person(s) responsible for maintenance of storm water management practices prior to the transfer, if any, of maintenance responsibility to another party.
- (b) A proper legal description of the property proposed to be developed, referenced to the U.S. Public Land Survey system or to block and lot numbers within a recorded land subdivision plat.
- (c) Pre-development site conditions, including:

1. One or more site maps at a scale of not less than 1 inch equals 20 feet. The site maps shall show the following: site location and legal property description; predominant soil types and hydrologic soil groups; existing cover type and condition; topographic contours of the site at a scale not to exceed 10 feet; topography and drainage network including enough of the contiguous properties to show runoff patterns onto, through, and from the site; watercourses that may affect or be affected by runoff from the site; flow path and direction for all storm water conveyance sections; watershed boundaries used in hydrology determinations to show compliance with performance standards; lakes, streams, wetlands, channels, ditches, and other watercourses on and immediately adjacent to the site; limits of the 100 year floodplain; location of wells and wellhead protection areas covering the project area and delineated pursuant to Wisconsin Department of Natural Resources, Wisconsin Administrative Code § NR § 811.16.

2. Hydrology and pollutant loading computations as needed to show compliance with performance standards. All major assumptions used in developing input parameters shall be clearly stated. The geographic areas used in making the calculations shall be clearly cross-referenced to the required map(s).

(d) Post-development site conditions, including:

1. Explanation of the provisions to preserve and use natural topography and land cover features to minimize changes in peak flow runoff rates and volumes to surface waters and wetlands.

2. Explanation of any restrictions on storm water management measures in the development area imposed by wellhead protection plans and ordinances.

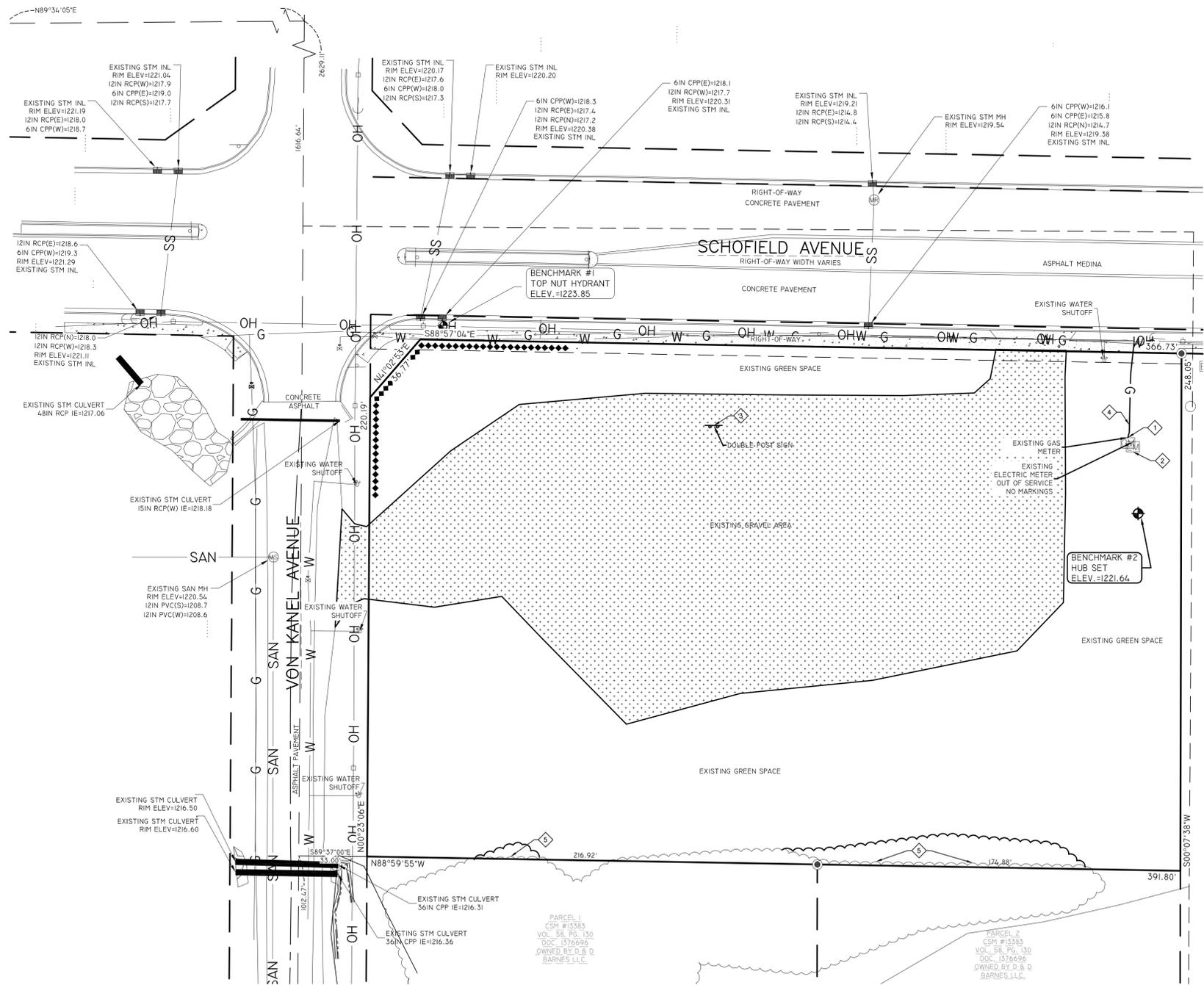
3. One or more site maps at a scale of not less than 1 inch equals 20 feet showing the following: post-construction pervious areas including vegetative cover type and condition; impervious surfaces including all buildings, structures, and pavement; post-construction topographic contours of the site at a scale not to exceed 10 feet; post-construction drainage network including enough of the contiguous properties to show runoff patterns onto, through, and from the site; locations and dimensions of drainage easements; locations of maintenance easements specified in the maintenance agreement; flow path and direction for all storm water conveyance sections; location and type of all storm water management conveyance and treatment practices, including the on-site and off-site tributary drainage area; location and type of conveyance system that will carry runoff from the drainage and treatment practices to the nearest adequate outlet such as a curbed street, storm drain, or natural drainage way; watershed boundaries used in hydrology and pollutant loading calculations and any changes to lakes, streams, wetlands, channels, ditches, and other watercourses on and immediately adjacent to the site.

<p>4. Hydrology and pollutant loading computations as needed to show compliance with performance standards. The computations shall be made for each discharge point in the development, and the geographic areas used in making the calculations shall be clearly cross-referenced to the required map(s).</p> <p>5. Results of investigations of soils and groundwater required for the placement and design of storm water management measures. Detailed drawings including cross-sections and profiles of all permanent storm water conveyance and treatment practices.</p> <p>(e) A description and installation schedule for the storm water management practices needed to meet the performance standards in Sec. 86.307.</p> <p>(f) A maintenance plan developed for the life of each storm water management practice including the required maintenance activities and maintenance activity schedule.</p> <p>(g) Cost estimates for the construction, operation, and maintenance of each storm water management practice.</p> <p>(h) Other information requested in writing by the Director of Public Works, or the designee, to determine compliance of the proposed storm water management measures with the provisions of this ordinance.</p> <p>(i) All site investigations, plans, designs, computations, and drawings shall be certified by a licensed professional engineer to be prepared in accordance with accepted engineering practice and requirements of this ordinance.</p>	<p>The maintenance plan states City of Shell Lake, Washburn County, should be changed to Village of Weston, Marathon County. This description is there for both short-term and long-term plans. This has been corrected.</p>
<p>(2) ALTERNATE REQUIREMENTS. The Director of Public Works, or the designee, may prescribe alternative submittal requirements for applicants seeking an exemption to on-site storm water management performance standards under Sec. 86.307 (5).</p>	
<p>Section 86.310 Maintenance Agreement</p>	
<p>(1) The maintenance agreement for storm water management practices shall be an agreement between the Village of Weston and the responsible party to provide for maintenance of storm water practices beyond the duration period of the permit. Maintenance agreements shall be filed with the County Register of Deeds as a property deed restriction that is binding upon all subsequent owners served by the storm water management practices.</p>	<p>Maintenance Agreement needs to be recordable document that stays with the site, right now is just a checklist. Looks to be completed, when project is completed though, this document needs to be recorded with the County.</p>
<p>(2) AGREEMENT PROVISIONS. The maintenance agreement shall contain the following information and provisions and be consistent with the maintenance plan required by Sec. 86.309(1)(f):</p> <p>(a) Identification of the storm water facilities and designation of the drainage area served by the facilities.</p> <p>(b) A schedule for regular maintenance of each aspect of the storm water management system consistent with the storm water management plan required under Sec. 86.308 (2).</p> <p>(c) Identification of the responsible party(s), organization or city, county, town or village responsible for long term maintenance of the storm water management practices identified in the storm water management plan required under Sec. 86.308 (2).</p> <p>(d) Requirement that the responsible party(s), organization, or city, county, town or village shall maintain storm water</p>	<p>(a)</p> <p>(b)</p> <p>(c)</p>

<p>management practices in accordance with the schedule included in par. (b).</p> <p>(e) Authorization for the Director of Public Works, or the designee, to access the property to conduct inspections of storm water management practices as necessary to ascertain that the practices are being maintained and operated in accordance with the agreement.</p> <p>(f) A requirement on the Director of Public Works, or the designee, to maintain public records of the results of the site inspections, to inform the responsible party responsible for maintenance of the inspection results, and to specifically indicate any corrective actions required to bring the storm water management practice into proper working condition.</p> <p>(g) Agreement that the party designated under par. (c), as responsible for long term maintenance of the storm water management practices, shall be notified by the Director of Public Works, or the designee, of maintenance problems which require correction. The specified corrective actions shall be undertaken within a reasonable time frame as set by the Director of Public Works, or the designee.</p> <p>(h) Authorization of the Director of Public Works, or the designee, to perform the corrected actions identified in the inspection report if the responsible party designated under par. (c) does not make the required corrections in the specified time period. The Director of Public Works, or the designee, shall enter the amount due on the tax rolls and collect the money as a special charge against the property pursuant to Wis. Stats. Chapter 66 Subchapter VII.</p>	<p>(d)</p> <p>(e)</p> <p>(f)</p> <p>(g)</p> <p>(h)</p>
<p>Section 86.404 Construction Site Erosion</p>	
<p>Applicability:</p> <ol style="list-style-type: none"> 1. Construction sites for which the Wisconsin Department of Natural Resources received a notice of intent in accordance with Wisconsin Administrative Code NR 216 Subchapter III on or after January 20, 2014; or 2. Construction sites for which a bid has been advertised or construction contract signed for which no bid was advertised, on or after January 20, 2014. 	<p>See note below about soil loss and sediment calculations.</p>
<p>Section 86.407 Performance Standards < 1 Acres</p>	
<p>(1) RESPONSIBLE PARTY. The landowner of the construction site or other person contracted or obligated by other agreement with the landowner to implement and maintain construction site BMPs is the responsible party and shall comply with this section.</p>	
<p>(2) EROSION AND SEDIMENT CONTROL PRACTICES. Erosion and sediment control practices at each site where land disturbing construction activity is to occur shall be used to prevent or reduce all of the following:</p> <ol style="list-style-type: none"> 1. The deposition of soil from being tracked onto streets by vehicles. 2. The discharge of sediment from disturbed areas into on-site storm water inlets. 3. The discharge of sediment from disturbed areas into adjacent waters of the state. 4. The discharge of sediment from drainage ways that flow off the site. 5. The discharge of sediment by dewatering activities. 6. The discharge of sediment eroding from soil stockpiles existing for more than 7 days. 	

<p>7. The discharge of sediment from erosive flows at outlets and in downstream channels.</p> <p>8. The transport by runoff into waters of the state of chemicals, cement, and other building compounds and materials on the construction site during the construction period. However, projects that require the placement of these materials in waters of the state, such as constructing bridge footings or BMP installations, are not prohibited by this subdivision.</p>	
<p>Section 86.408 Performance Standards > 1 Acre</p>	
<p>(1) RESPONSIBLE PARTY. The responsible party shall implement an erosion and sediment control plan, developed in accordance with Sec. 86.410 that incorporates the requirements of this section.</p>	
<p>(2) PLAN. A written plan shall be developed in accordance with Sec. 86.410 and implemented for each construction site.</p>	
<p>(3) EROSION AND SEDIMENT CONTROL PRACTICES. Erosion and sediment control practices at each site where land disturbing construction activity is to occur shall be used to prevent or reduce all of the following:</p> <ol style="list-style-type: none"> 1. The deposition of soil from being tracked onto streets by vehicles. 2. The discharge of sediment from disturbed areas into on-site storm water inlets. 3. The discharge of sediment from disturbed areas into adjacent waters of the state. 4. The discharge of sediment from drainage ways that flow off the site. 5. The discharge of sediment by dewatering activities. 6. The discharge of sediment eroding from soil stockpiles existing for more than 7 days. 7. The discharge of sediment from erosive flows at outlets and in downstream channels. 8. The transport by runoff into waters of the state of chemicals, cement, and other building compounds and materials on the construction site during the construction period. However, projects that require the placement of these materials in waters of the state, such as constructing bridge footings or BMP installations, are not prohibited by this subdivision. 9. The transport by runoff into waters of the state of untreated wash water from vehicle and wheel washing. 	
<p>(b) SEDIMENT PERFORMANCE STANDARDS. In addition to the erosion and sediment control practices under par. (a), the following erosion and sediment control practices shall be employed:</p> <ol style="list-style-type: none"> 1. BMPs that, by design, discharge no more than 5 tons per acre per year, or to the maximum extent practicable, of the sediment load carried in runoff from initial grading to final stabilization. 2. No person shall be required to employ more BMPs than are needed to meet a performance standard in order to comply with maximum extent practicable. Erosion and sediment control BMPs may be combined to meet the requirements of this paragraph. Credit may be given toward meeting the sediment performance standard of this paragraph for limiting the duration or area, or both, of land disturbing construction activity, or for other appropriate mechanisms. 	<p>Soil Loss calculations should be included with the Erosion Control Plan. Please use the DNR Soil Loss & Sediment Discharge Calculation Tool to complete this. Has been submitted and meets DNR requirements of 5 tons per acre per year.</p>

<p>3. Notwithstanding subd. 1., if BMPs cannot be designed and implemented to meet the sediment performance standard, the plan shall include a written, site-specific explanation of why the sediment performance standard cannot be met and how the sediment load will be reduced to the maximum extent practicable.</p>	
<p>(c) PREVENTIVE MEASURES. The plan shall incorporate all of the following:</p> <ol style="list-style-type: none">1. Maintenance of existing vegetation, especially adjacent to surface waters whenever possible.2. Minimization of soil compaction and preservation of topsoil.3. Minimization of land disturbing construction activity on slopes of 20% or more.4. Development of spill prevention and response procedures.	
<p>(5) ALTERNATE REQUIREMENTS. The Director of Public Works, or the designee, may establish storm water management requirements more stringent than those set forth in this section if the Director of Public Works, or the designee, determines that an added level of protection is needed for sensitive resources.</p>	



GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
3. INSTALL ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
4. ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE.
5. COORDINATE WITH THE OWNER AND LOCAL UTILITY COMPANIES TO LOCATE ANY EXISTING PRIVATE UTILITIES ON SITE PRIOR TO THE START OF WORK.
6. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
7. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF WORK.
8. ALL EROSION CONTROL MEASURES INSTALLED SHALL BE MAINTAINED IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
9. STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
10. STOCKPILE STRIPPED TOPSOIL ON SITE. PLACE SILT FENCE AROUND THE BASE OF THE STOCKPILE TO PREVENT EROSION.
11. PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WORK WITH THE LOCAL MUNICIPALITY.
12. MAINTAIN TRAFFIC CIRCULATION TO ALL RETAIL AND COMMERCIAL BUILDINGS SHOWN ON THIS DOCUMENT. COORDINATE ALL WORK WITH SAID BUSINESSES.

KEYNOTES:

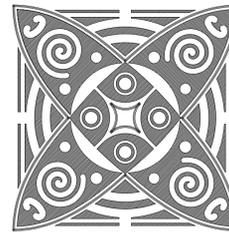
- 1 REMOVE EXISTING GAS METER
- 2 REMOVE EXISTING ELECTRICAL METER
- 3 REMOVE/SALVAGE EXISTING SIGN
- 4 REMOVE/RELOCATE EXISTING GAS LINE
ABANDON EXISTING UNDERGROUND ELECTRIC
- 5 PROPOSED TREE LINE

DEMOLITION HATCH PATTERNS:



CIVIL SHEET INDEX:

- C1.0 DEMOLITION PLAN
- C2.0 LAYOUT PLAN
- C3.0 GRADING PLAN
- C4.0 EROSION CONTROL PLAN
- C5.0 UTILITY PLAN
- C6.0 LANDSCAPE PLAN
- C7.0 IRRIGATION PLAN



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Project Number: 21520

Project:
COVANTAGE
CREDIT UNION
WESTON, WI

Owner:
COVANTAGE CREDIT UNION
723 SIXTH AVENUE
ANTIGO, WI 54409

Owner Approval

Phase:
Date:
By:

Date: August 11, 2016

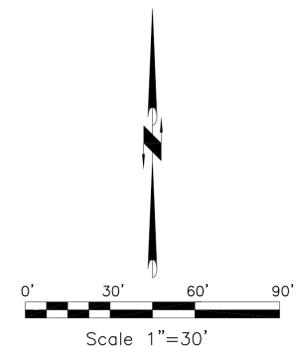
Revisions:

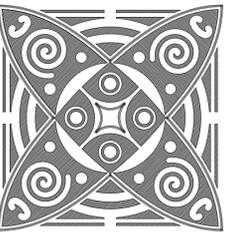
Item	No.	Date

Drawn By: Jesse Becker
Checked By: Jim Lundberg
Peer Review:

Drawing Title:
DEMOLITION PLAN

Drawing Number:
C1.0





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Point of Beginning

Project Number: 21520
Project:
COVANTAGE
CREDIT UNION
WESTON, WI

Owner:
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723 SIXTH AVENUE
ANTIGO, WI 54409

Owner Approval
Phase:
Date:
By:

Date: August 11, 2016

Revisions:

Item	No.	Date

Drawn By: Jesse Becker
Checked By: Jim Lundberg
Peer Review:

Drawing Title:
LAYOUT PLAN
Drawing Number:
C2.0

GENERAL NOTES:

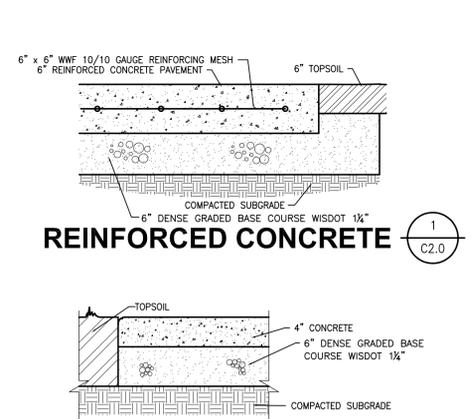
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE GENERAL CONTRACTOR.
- ALL REQUIRED EROSION CONTROL MEASURES ARE TO BE INSTALLED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN ACCORDANCE WITH THE DEPARTMENT OF NATURAL RESOURCES AND LOCAL AUTHORITIES.
- SEE SHEET C4.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE.
- PRIOR TO THE START OF WORK VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
- COORDINATE CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
- PROVIDE PROPER BARRICADES, SIGNS AND TRAFFIC CONTROL TO MAINTAIN THRU TRAFFIC ALONG ADJACENT STREETS IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS.
- SIDEWALK JOINTS TO BE AS INDICATED OR AS APPROVED BY OWNER.
- ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED/FERTILIZED/ CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- CONTRACTOR SHALL HAVE BUILDING LOCATION STAKED BY A SURVEYOR.
- CONTRACTOR SHALL CENTER HANDICAP ACCESS AISLE WITH FRONT ENTRANCE.
- CONSTRUCTION DETAILS ON THIS SHEET ARE NOT TO SCALE.

KEYNOTES:

- ① THICKENED EDGE WALK
- ② 18" CONCRETE CURB AND GUTTER
- ③ PARKING LOT STRIPING
- ④ DIRECTIONAL ARROW
- ⑤ HANDICAP PARKING STALL
- ⑥ HANDICAP PARKING SIGN
- ⑦ DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS)
- ⑧ HANDICAP RAMP
- ⑨ CURB CUT & LIGHT RIP RAP
- ⑩ PROPOSED SNOW STORAGE AREA
- ⑪ PROPOSED SCH 40 4" PVC SLEEVE
- ⑫ PROPOSED SCH 40 6" PVC SLEEVE
- ⑬ MONUMENT SIGN (SEE ARCHITECTURAL PLANS)
- ⑭ ELECTRICAL TRANSFORMER AND PAD (SEE ELECTRICAL PLANS)
- ⑮ FLAG POLE (SEE ARCHITECTURAL PLANS)
- ⑯ ONE WAY - DO NOT ENTER SIGN
- ⑰ BICYCLE PARKING RACK

PAVEMENT HATCH PATTERNS:

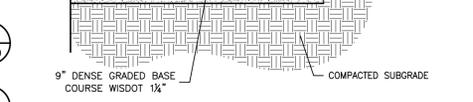
- PROPOSED 3" ASPHALTIC CONCRETE PAVEMENT W/9" BASE COURSE
- PROPOSED 4" CONCRETE PAVEMENT
- PROPOSED 6" REINFORCED CONCRETE PAVEMENT



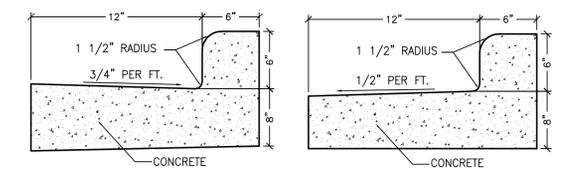
REINFORCED CONCRETE



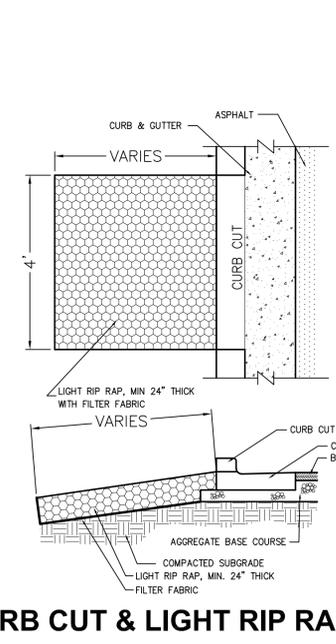
4" CONCRETE PAVEMENT



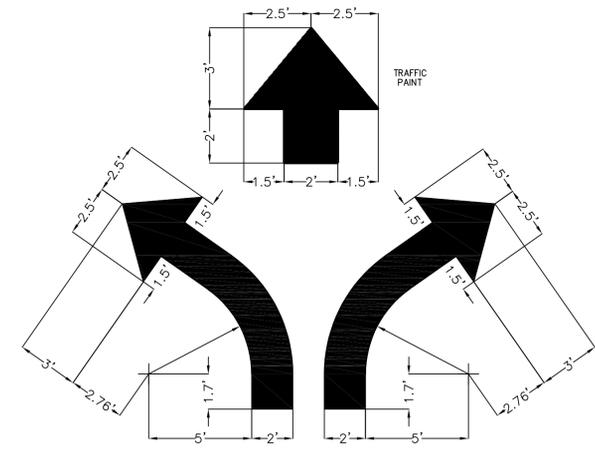
ASPHALT PAVEMENT



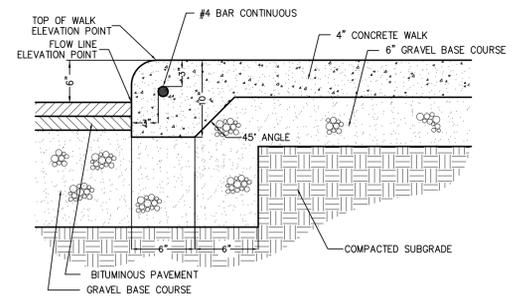
18" CURB AND GUTTER



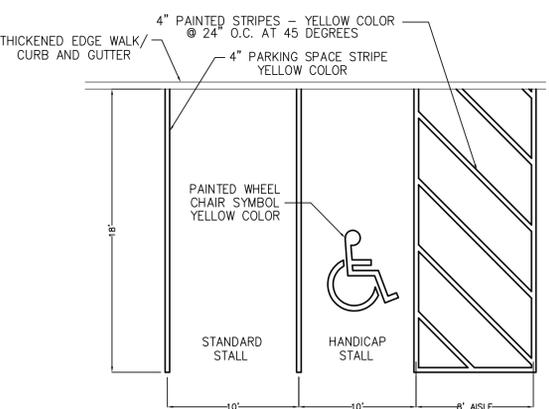
CURB CUT & LIGHT RIP RAP



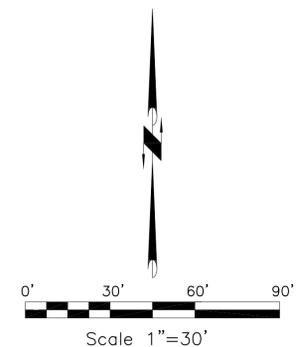
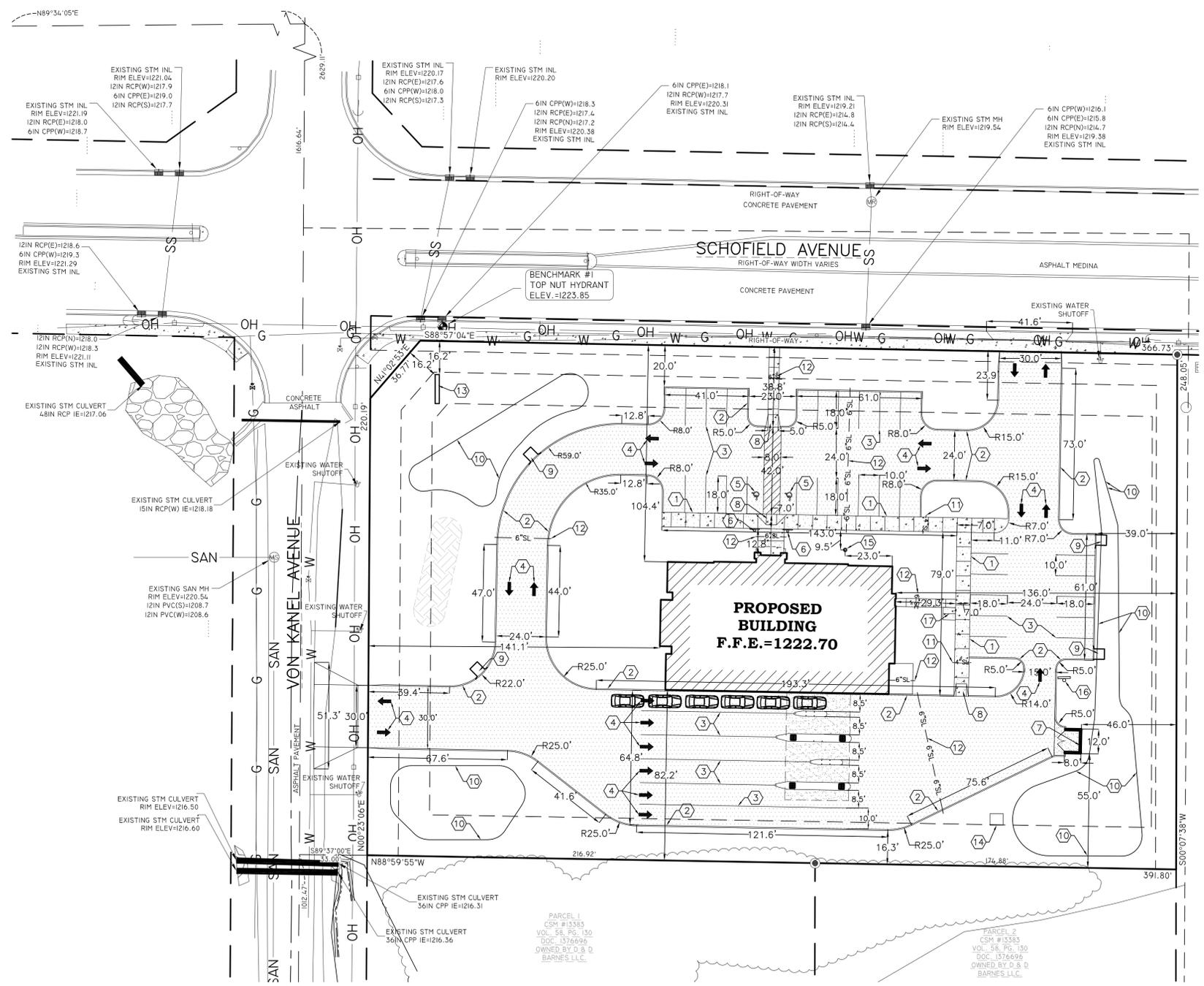
TURN ARROWS



THICKENED EDGE WALK



PARKING LOT STRIPING



Scale 1"=30'



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Owner Approval

Phase:
Date:
By:

Date: August 11, 2016

Revisions:

Item	No.	Date

Drawn By: Jesse Becker
Checked By: Jim Lundberg
Peer Review:

Drawing Title:
GRADING PLAN

Drawing Number:
C3.0

GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION OF 1222.70 EQUALS THE PROPOSED BUILDING ARCHITECTURAL FINISH FLOOR ELEVATION OF 100.00'.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE GENERAL CONTRACTOR.
- INSTALL ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES AND THE DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN ACCORDANCE WITH THE DEPARTMENT OF NATURAL RESOURCES, LOCAL AUTHORITIES REGULATIONS.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND 12" SHALL BE PROVIDED IN ALL PLANTING BED AREAS.
- SEE SHEET C4.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- COORDINATE ALL EARTHWORK ACTIVITIES WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.
- GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.
- PROVIDE RIP RAP AT ALL ENDWALL STRUCTURES OF THE PROPOSED CULVERTS TO PREVENT WASHOUT AND EROSION.
- RIP RAP SHALL HAVE FILTER FABRIC PLACED BENEATH.
- EXCESS TOPSOIL SHALL BE STOCKPILED AND STORED ONSITE FOR FUTURE USE, UNLESS OTHERWISE DIRECTED BY THE OWNER. SILT FENCE SHALL BE PLACED AROUND STOCKPILE.
- THE ENGINEERED SOIL SHALL NOT BE PLACED IN THE BIORETENTION AREAS UNTIL THE SURROUNDING DRAINAGE AREA HAS BEEN FULLY STABILIZED. ALL CONSTRUCTION SITE SEDIMENT SHALL BE REMOVED FROM THE SUBGRADE OF THE BIORETENTION AREA PRIOR TO PLACEMENT OF THE ENGINEERED SOIL.
- THE LOCAL MUNICIPALITY AND THE WISCONSIN DEPARTMENT OF TRANSPORTATION SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL HAVE HIS TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING. THE LOCAL MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
- CONSTRUCTION DETAILS ON THIS SHEET ARE NOT TO SCALE.

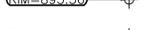
GRADING LEGEND:

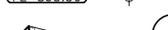
EXISTING CONTOUR ——— 712 ———

PROPOSED CONTOUR ——— 712 ———

PROPOSED SPOT ELEVATION  692.20

PROPOSED ENDWALL INVERT ELEVATION  NV=892.05

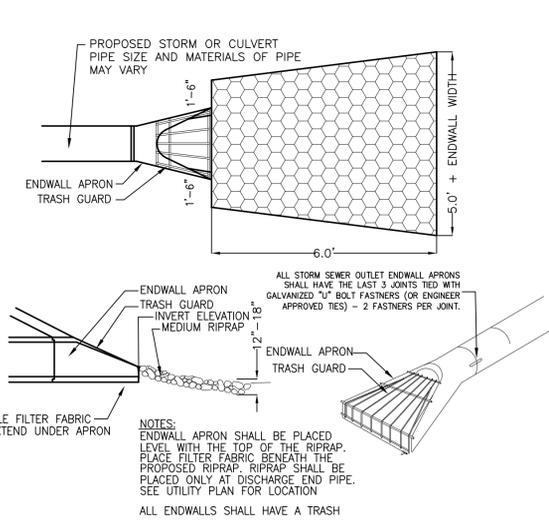
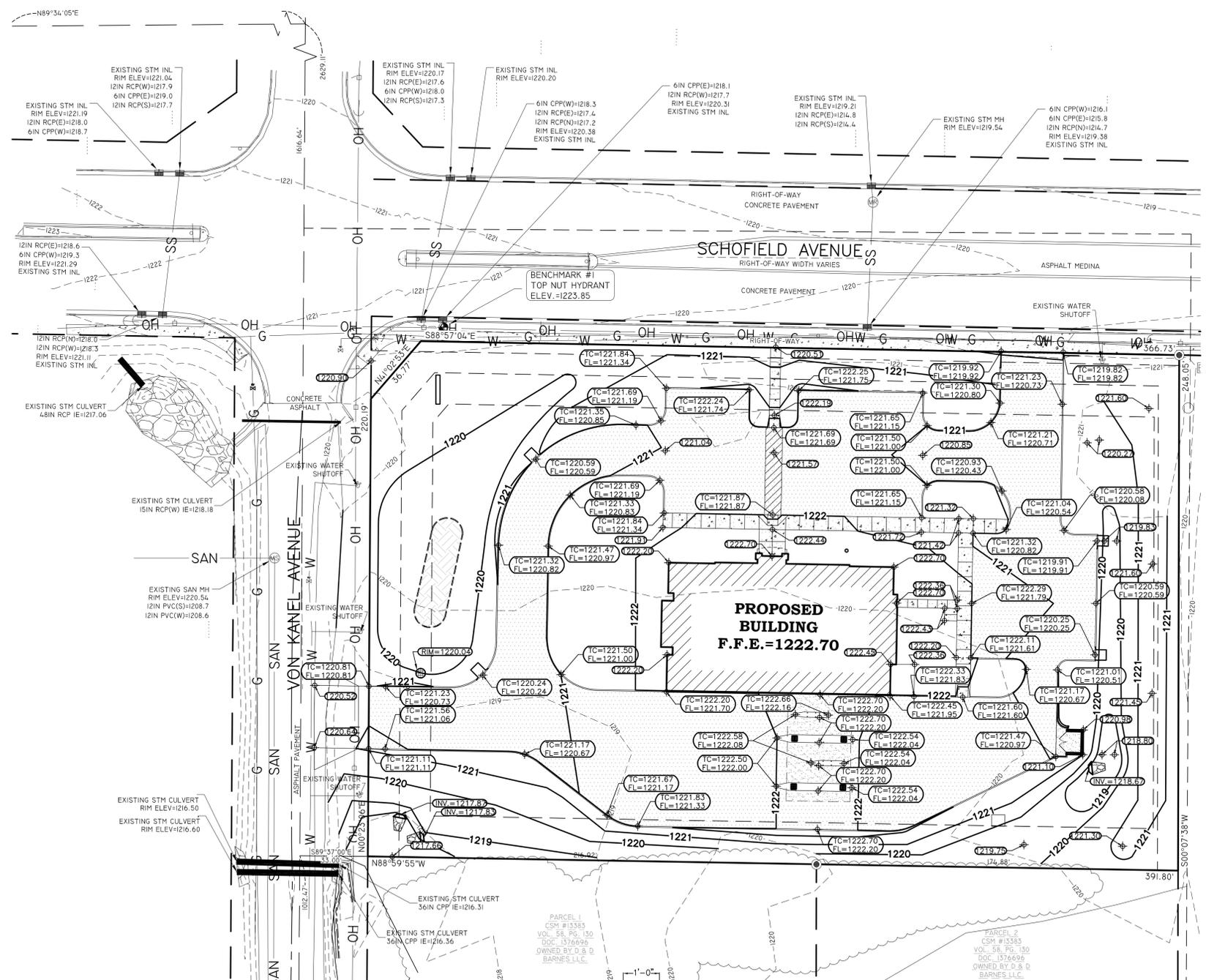
PROPOSED RIM ELEVATION  RIM=893.50

PROPOSED FLOW LINE ELEVATION (6" CURB HEIGHT UNLESS OTHERWISE NOTED)  FL=893.56

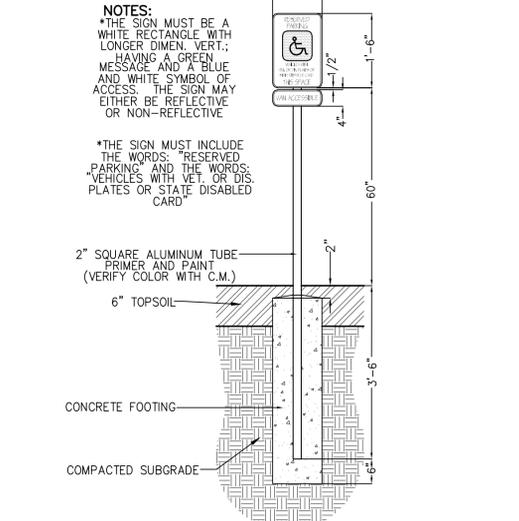
PROPOSED ENDWALL STRUCTURE WITH RIP RAP  1 C3.0

PROPOSED STORM OERFLOW INLET  4 C3.0

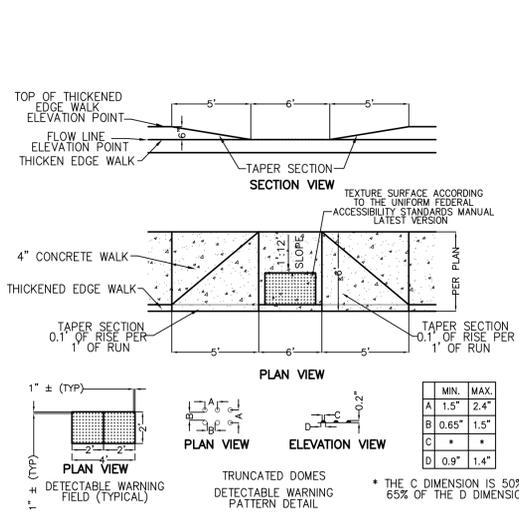
PROPOSED BIORETENTION AREA  1 C6.0



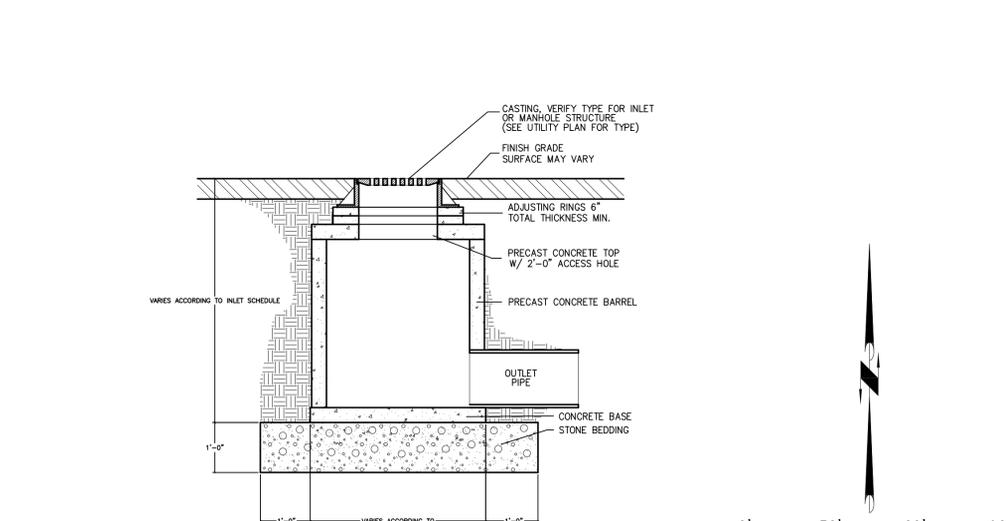
ENDWALL STRUCTURE 1 C3.0



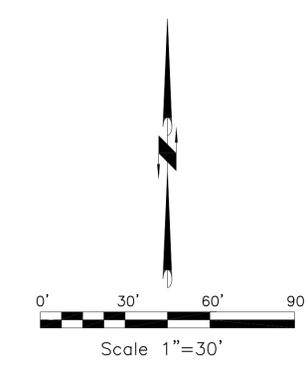
HANDICAP PARKING SIGN 2 C3.0



A.D.A. CURB RAMP 3 C3.0



STORM SEWER MANHOLE 4 C3.0





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GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SPECIFIED PLANTING SOIL DEPTH IS PRESENT PRIOR TO PLANTING.
- SEED/FERTILIZE/CRIMP HAY MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION.
- ALL PLANT MATERIALS LISTED SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION FOR THE SIZES GIVEN.
- ALL TREES SHALL BE STAKED WITH A MINIMUM OF THREE STAKES.
- ALL TREES IN THE TURF AREA SHALL HAVE A 4" DIAMETER CIRCLE OF 4" DEPTH SHREDDED HARDWOOD BARK MULCH. COLOR TO BE SELECTED BY OWNER.
- CURV-RITE LANDSCAPE EDGING OR EQUAL SHALL BE PLACED AROUND ALL LANDSCAPE BEDS.
- 3" DEPTH OF 1 1/2" DIAMETER DECORATIVE LANDSCAPE STONE SHALL BE PLACED IN ALL SHRUB PLANTING BEDS. COLOR TO BE SELECTED BY OWNER.
- FILTER FABRIC SHALL BE PLACED BENEATH ALL LANDSCAPE STONE.
- COLOR AND SHAPE OF LARGE LANDSCAPE BOULDERS TO BE SELECTED BY OWNER.
- COORDINATE ALL LANDSCAPE WORK WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.
- THE CONTRACTOR SHALL ONLY USE PHOSPHORUS FREE FERTILIZER FOR ALL LANDSCAPE APPLICATIONS.

PLANTING SCHEDULE:

TREES SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	QUANTITY
CC	CRATAEGUS CRUS-GALLI VAR. INERMIS	THORNLESS COCKSPUR HAWTHORN	1 1/2" CAL.	13
GT	GLEDTISIA TRIACANTHOS VAR. INERMIS	SHADEMASTER HONEYLOCUST	2" CAL.	12
PG	PICEA GLAUCA VAR. DENSATA	BLACK HILLS SPRUCE	4'-5'	11
SR	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	1 1/2" CAL.	4

SHRUBS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	QUANTITY
HP	HYDRANGEA PANICULATA 'BOMBSHELL'	BOMBSHELL HYDRANGEA	3 GAL.	28
JS	JUNIPERUS SABINA 'ARCADIA'	ARCADE JUNIPER	3 GAL.	108
JV	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	4' TALL	6
PO	PHYSOCARPA OPULIFOLIUS 'CENTER GLOW'	CENTER GLOW NINEBARK	3 GAL.	10
RN	ROSA X 'NOARE'	FLOWER CARPET RED GROUNDCOVER ROSE	3 GAL.	112
TMD	TAXUS X MEDIA 'DARK GREEN PYRAMIDAL'	DARK GREEN PYRAMIDAL YEW	5 GAL.	11
TMT	TAXUS X MEDIA 'TAUNTONII'	TAUNTON YEW	3 GAL.	14

ORNAMENTAL GRASS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	QUANTITY
PV	PANICUM VIRGATUM 'CHEYENNE SKY'	CHEYENNE SKY SWITCH GRASS	1 GAL.	20

PERENNIALS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	QUANTITY
HF	HOSTA 'FRANCES WILLIAMS'	FRANCES WILLIAMS HOSTA	1 GAL.	6
RF	RUDBECKIA FULGIDA 'VIETTES LITTLE SUZY'	LITTLE SUZY BLACK EYED SUSAN	1 GAL.	76

LANDSCAPE BOULDERS	INSTALLATION SIZE	QUANTITY
(Symbol)	2-3' W&T	13

LANDSCAPE REQUIREMENTS:

STREET FRONTAGE REQUIREMENT: ADD TREES AT MINIMUM RATE OF 1 TREE FOR EVERY 50 FEET OF STREET FRONTAGE
 TOTAL STREET FRONTAGE= 624 L.F./50= 13 TREES REQUIRED
 PROPOSED: 13 PROPOSED TREES

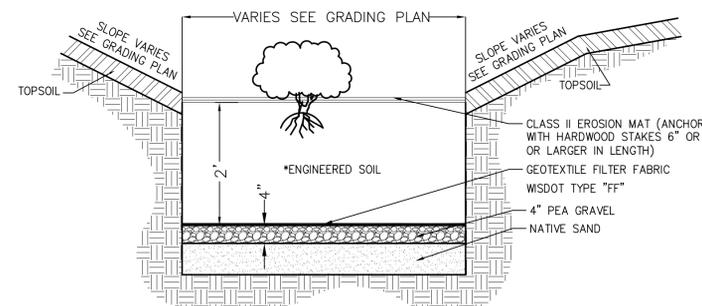
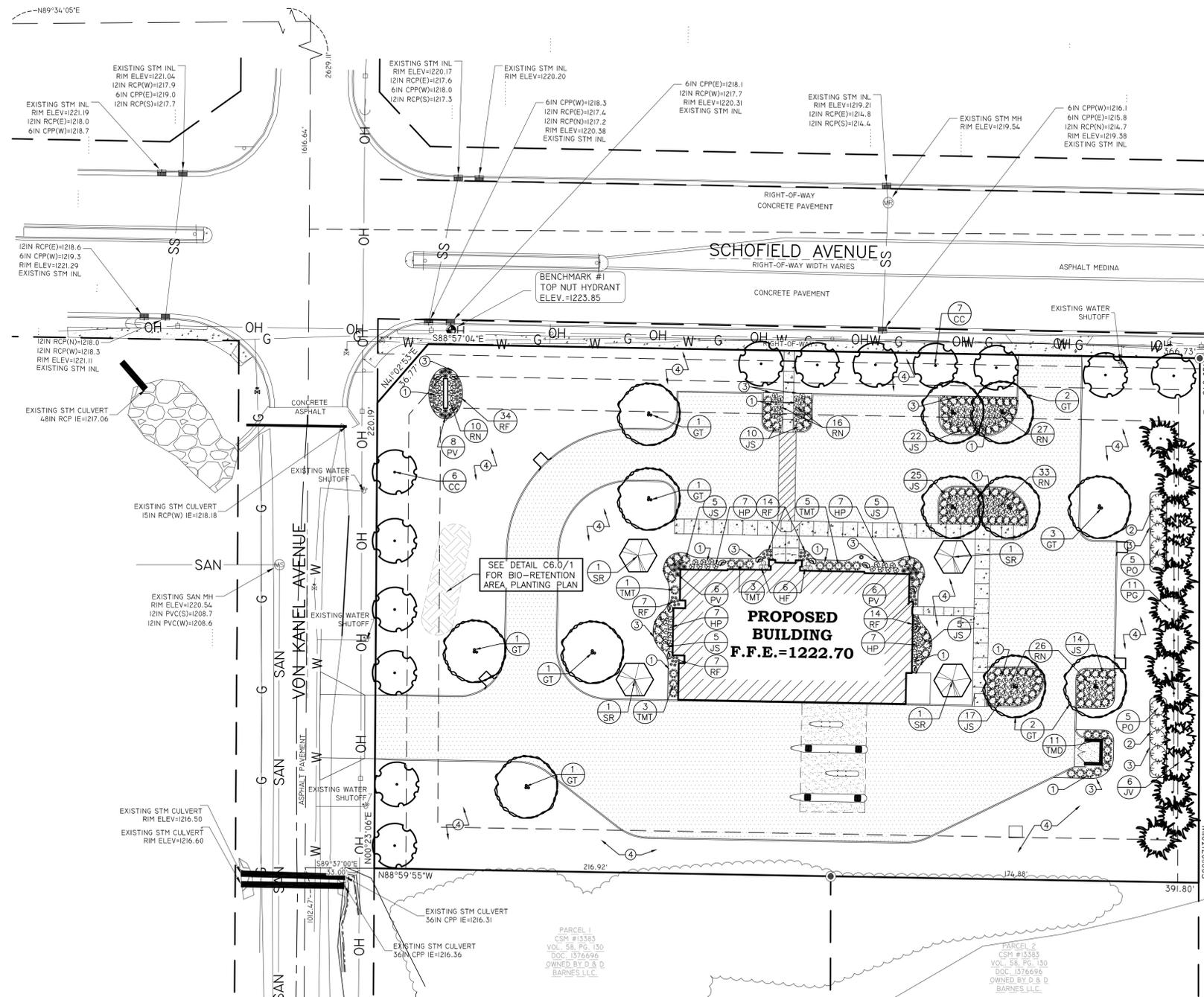
HARD SURFACE REQUIREMENT: 100 PTS FOR EVERY 1,500 S.F. OF HARD SURFACE
 TOTAL HARD SURFACE = 56,030 S.F./1500 = 37.4 X 100 = 3,740 PTS REQUIRED
 PROPOSED: 3,750 PTS (12 LARGE DECIDUOUS TREES, 1,500 PTS + 201 SMALL SHRUBS, 2,010 PTS + 4 SMALL TREES, 240 PTS)

GENERAL YARD REQUIREMENT: 100 PTS FOR EVERY 2,500 S.F. OF TOTAL AREA
 TOTAL PROJECT AREA= 33,898 S.F./2500 = 13.56 X 100 = 1,356 PTS REQUIRED
 PROPOSED: 1,520 PTS (17 EVERGREEN TREES, 850 PTS + BIO-RETENTION AREA & PERENNIAL PLANTINGS, 300 PTS + 10 LARGE SHRUBS, 200 PTS + 17 SMALL SHRUBS, 170 PTS)

BUILDING FOUNDATION REQUIREMENT: 100 PTS FOR EVERY 75L.F. OF EXTERIOR BUILDING WALL
 TOTAL BUILDING WALL = 340 L.F./75 = 4.5 X 100 = 450 PTS REQUIRED
 PROPOSED: 450 PTS (45 SHRUBS, 450 PTS)

LANDSCAPE KEYNOTES:

- 3" OF 1 1/2" DECORATIVE LANDSCAPE STONE WITH FILTER FABRIC UNDERNEATH-COLOR TO BE SELECTED BY OWNER.
- 4" OF SHREDDED HARDWOOD BARK MULCH-COLOR TO BE SELECTED BY OWNER.
- CURV-RITE LANDSCAPE EDGING OR APPROVED EQUAL- INSTALL PER MANUFACTURER'S INSTRUCTIONS
- LAWN SEED- PER SPECIFICATIONS



SECTION VIEW
 -ENGINEERED SOIL SHALL NOT BE INSTALLED UNTIL GRADING IS COMPLETE AND DISTURBED GROUND HAS BEEN TEMPORARILY STABILIZED TO PREVENT CLOGGING.
 -ENGINEERED SOIL MIXTURE OF 70-85% MINERAL SAND AND 15-30% COMPOST.

PLANT CLUSTER	SIZE	TOTAL PLUGS
A	PLUG	100
B	PLUG	100

**1 PLUG FOR EVERY 1 SQUARE FEET

PLUG	BOTANICAL NAME	COMMON NAME
A	LOBELIEA CARDINALIS	CARDINAL FLOWER
B	HELENIUM AUTUMNALE	SNEEZEWEED

PLANT SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	TOTAL PLANTS
(Symbol)	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	1 GAL.	6
(Symbol)	PHYSOCARPA OPULIFOLIUS 'CENTER GLOW'	CENTER GLOW NINEBARK	3 GAL.	5

PLANTING PLAN

BIORETENTION AREA

Project Number: 21520
 Project: COVANTAGE CREDIT UNION WESTON, WI

Owner: COVANTAGE CREDIT UNION
 723 SIXTH AVENUE
 ANTIGO, WI 54409

Owner Approval
 Phase:
 Date:
 By:

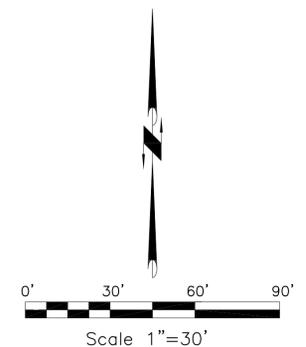
Date: August 11, 2016

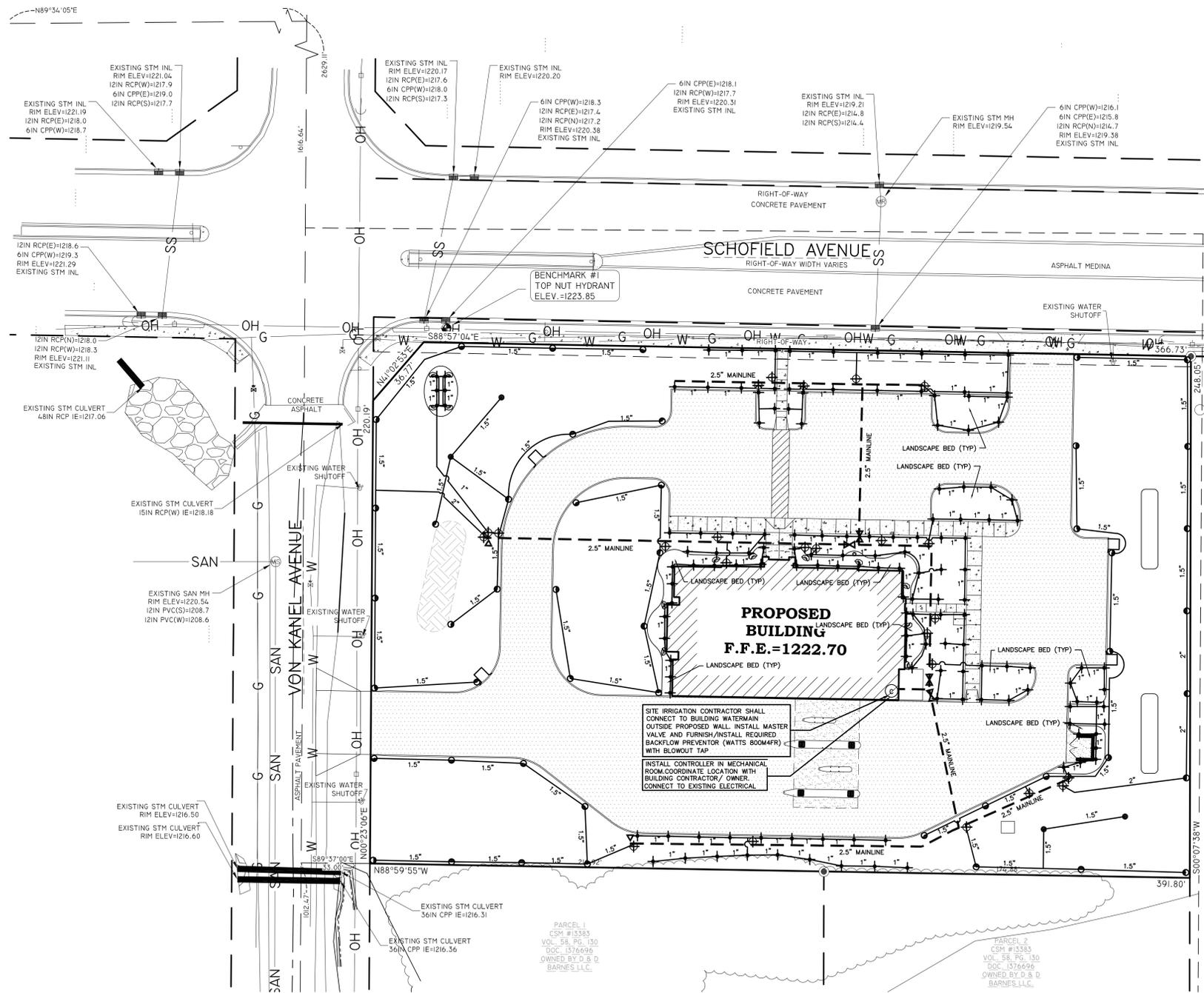
Revisions:

Item	No.	Date

Drawn By: MELISSA KLUCK
 Checked By: Jim Lundberg
 Peer Review:

Drawing Title:
 LANDSCAPE PLAN
 Drawing Number:
C6.0





GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- MAINTAIN ALL CODES REQUIRED BY LOCAL AND STATE AUTHORITIES.
- ALL TRENCHES SHALL BE WIDE ENOUGH TO ACCOMMODATE A MINIMUM OF 2" BETWEEN PIPE AND TRENCH WALL.
- ALL LATERAL PIPING SHALL BE MINIMUM 1" DIAMETER AND/OR AS STATED ON PLANS.
- BURY LATERAL LINES WITH A MINIMUM 12" OF COVER. MAIN LINES SHALL HAVE A MINIMUM COVER OF 18" COVER.
- INSTALL ALL PIPING AND FITTINGS USING GLUE AND THRUST BLOCKING METHODS CONSISTANT WITH MANUFACTURER'S RECOMMENDATIONS.
- CAP OR PLUG ALL OPENINGS AS SOON AS LINES ARE INSTALLED TO PREVENT DEBRIS ENTERING LINES.
- THOROUGHLY FLUSH ALL LINES PRIOR TO THE OPERATION OF SPRINKLER HEADS.
- INSTALL ALL WIRES A MINIMUM OF 10" BELOW FINISH GRADE. SPLICES ARE NOT ALLOWED IN THE TRENCH.
- THE IRRIGATION SYSTEM SHALL BE TESTED AT OPERATING PRESSURE AND HELD FOR A MINIMUM 4 HOURS. REPAIR ALL LEAKS AND RETEST AFTER CURING.
- UPON COMPLETION OF PRESSURE LINE TESTING, COMPLETE ASSEMBLY OF ALL EQUIPMENT AND SPRINKLERS FOR PROPER DISTRIBUTION.
- PROVIDE "AS BUILT DRAWINGS" IF IRRIGATION SYSTEM IS INSTALLED ALTERNATELY IN FIELD AS THAN PER DESIGN.
- ALL IRRIGATION LINES AND WIRING SHALL BE INSTALLED THROUGH SLEEVES WHEN CROSSING ANY HARDSURFACE AREAS.
- ALL VALVES SHALL BE WIRED INDIVIDUALLY AT THE CONTROLLER.
- ALL GASKETED PRESSURE PIPES AND FITTINGS SHALL BE THRUST BLOCKED. NO CONCRETE PREFORMED BLOCKS WITH BE ALLOWED.
- IRRIGATION CONTRACTOR SHALL COORDINATE ON SITE OPERATIONS WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION. IRRIGATION CONTRACTOR SHALL BE AWARE OF ALL UNDERGROUND UTILITES AND THEIR LOCATIONS PRIOR TO START OF TRENCHING/INSTALLATION.
- ALL BIDDERS SUBMITTING A BID SHALL VISIT THE CONSTRUCTION SITE AND REVIEW EXISTING CONDITIONS PRIOR TO SUBMISSION OF BIDS.
- PLOWING/ PULLING OF LATERAL LINES IS ACCEPTABLE IF SITE CONDITIONS ALLOW CONTRACTOR. METHODS OF INSTALLATION SHALL BE SUBMITTED TO GENERAL CONTRACTOR PRIOR TO START OF IRRIGATION INSTALLATION.
- IRRIGATION CONTRACTOR SHALL SUBMIT ALL IRRIGATION CHANGES TO GENERAL CONTRACTOR PRIOR TO INSTALLATION.
- IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE AND VOLUME AT CONNECTION POINT PRIOR TO INSTALLATION. IRRIGATION CONTRACTOR SHALL REPORT TO THE GENERAL CONTRACTOR IF THEY DEEM THE WATER SUPPLY IS INADEQUATE TO RUN PROPOSED IRRIGATION SYSTEM EFFICIENTLY.
- ALL DESIGN INFORMATION SHOWN IS BASED ON SPECIFICATIONS AS PROVIDED FROM HUNTER BASED IRRIGATION PRODUCTS. CONTRACTOR MAY SUBSTITUTE EQUALLY APPROVED PRODUCTS PRIOR TO INSTALLATION.
- CONNECT TO ELECTRICAL SUPPLY LINE AS PROVIDED BY OTHERS.
- CONNECT IRRIGATION MAINLINE TO PROPOSED BUILDING WATER SUPPLY LINE AS PER LOCAL/STATE CODES. COORDINATE CONNECTION WITH OWNER AND GENERAL CONTRACTOR.
- ALL TURF IRRIGATION HEADS LOCATED ADJACENT TO HARD SURFACE AREAS AND LANDSCAPE BEDS SHALL BE INSTALLED WITHIN 6" OF THE PROPOSED EDGES.
- ALL SPRAY/ROTOR HEADS LOCATED ADJACENT TO BIOTRETENTION AREAS SHALL BE ADJUSTED TO PREVENT MINIMUM OVERSPRAY INTO THE BIOTRETENTION AREAS.

EQUIPMENT NOTES

- ALL PVC PIPE/ LATERAL FITTINGS SHALL BE SOLVENT WELD AS REQUIRED.
- ISOLATION VALVES SHALL BE A BRONZE TYPE THREADED VALVE WITH CROSS HANDLES.
- SOME AREAS DRAWN MAY BE SCHEMATIC AND SHOWN OUTSIDE APPLICABLE LIMITS FOR EASE OF PLAN READING. INSTALL IRRIGATION LINES AS DEEMED APPROPRIATE IN THE FIELD.
- COORDINATE EQUIPMENT CONNECTIONS IN MECHANICAL ROOM WITH BUILDING CONTRACTOR.

IRRIGATION LEGEND

- HUNTER I-20-04 FULL CIRCLE GEAR DRIVE SPRINKLER OPERATING AT 45 PSI, INSTALL APPLICABLE NOZZLE PER PLAN HEAD SPACING
- HUNTER I-20-04 ADJUSTABLE GEAR DRIVE SPRINKLER OPERATING AT 45 PSI, INSTALL APPLICABLE NOZZLE PER PLAN HEAD SPACING
- + HUNTER PRO-SPRAY ADJUSTABLE SPRAY HEAD OPERATING AT 30 PSI, INSTALL APPLICABLE NOZZLE PER PLAN HEAD SPACING. INSTALL 4" POPUP (PROS-4) IN TURF AREAS AND 12" POPUP (PROS-12) IN LANDSCAPE BEDS
- ⊙ HUNTER I-CORE CONTROLLER (IC-600-PL) W/EXPANSION MODULE MOUNTED IN MECHANICAL ROOM
- ▼ HUNTER HQ-44-LRC 1" QUICK COUPLER W/KEY
- ⊕ HUNTER ICV-201G-FS SERIES ELECTRIC VALVE
- CL200 PVC PIPE MAINLINE, SEE PLANS FOR SIZE/LOCATION
- PVC OR PE LATERAL LINE, SIZED AS SHOWN
- ⊗ ISOLATION VALVE SIZED TO PIPE



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WESTON, WI

Owner:
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ANTIGO, WI 54409

Owner Approval

Phase:
Date:
By:

Date: August 11, 2016

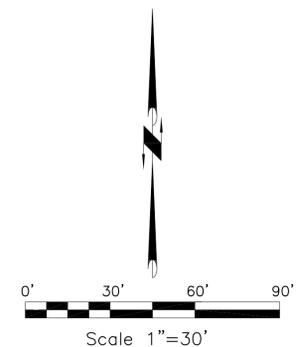
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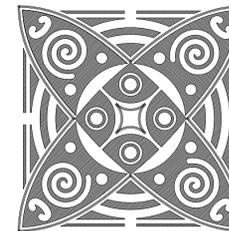
Item	No.	Date

Drawn By: DAN PEPLINSKI
Checked By: Jim Lundberg
Peer Review:

Drawing Title:
IRRIGATION PLAN

Drawing Number:
C7.0





Mudrovich architects

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Owner Approval

Phase:
Date:
By:

Date: JULY 29, 2016

Revisions:

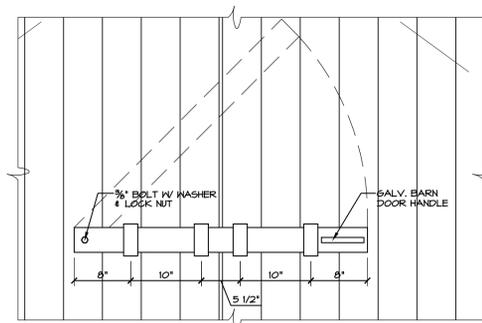
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Drawn By: TMH
Checked By: LGF
Peer Review: KMO

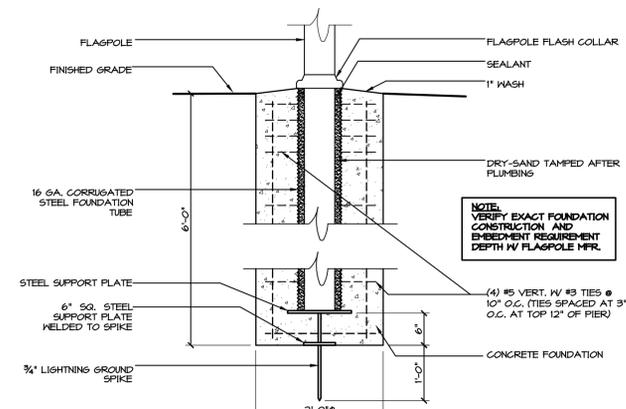
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Drawing Number:

A0.1

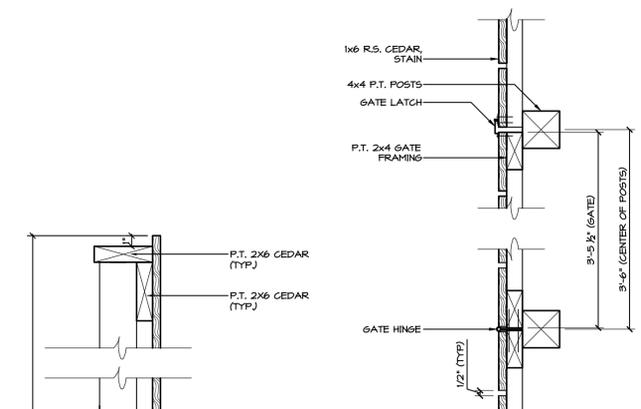
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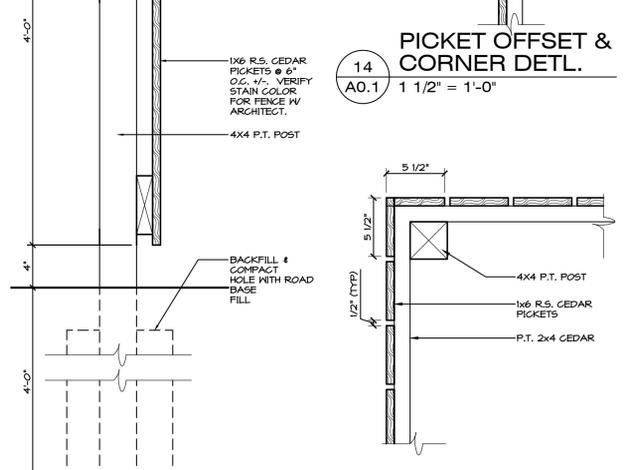
6 GATE LATCH DETAIL
A0.1 1" = 1'-0"



10 FLAGPOLE FOUNDATION SECTION
A0.1 3/4" = 1'-0"

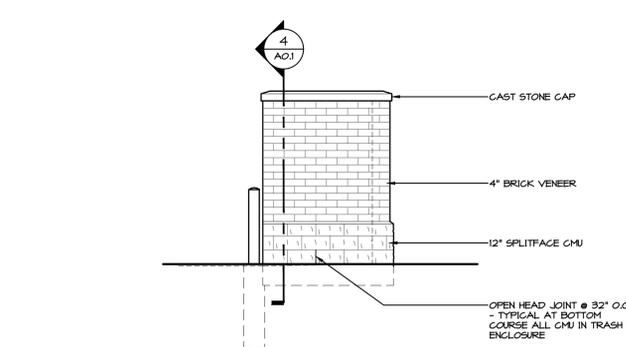


14 PICKET OFFSET & CORNER DETL.
A0.1 1 1/2" = 1'-0"



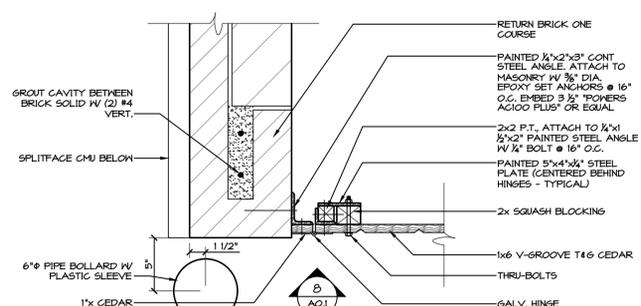
15 FENCE SECTION
A0.1 1 1/2" = 1'-0"

13 PICKET OFFSET & CORNER DETL.
A0.1 1 1/2" = 1'-0"

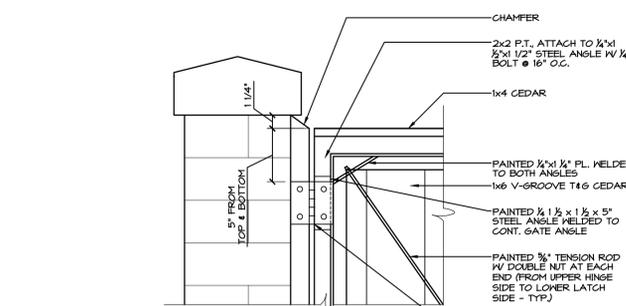


5 TRASH ENCLOSURE FRONT ELEVATION
A0.1 1/4" = 1'-0"

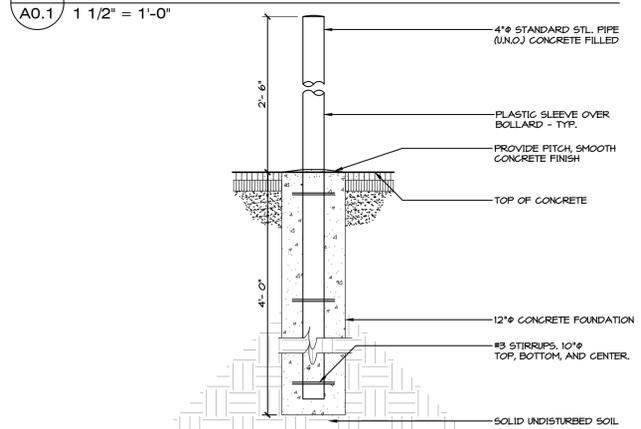
9 TRASH ENCLOSURE SIDE ELEVATION
A0.1 1/4" = 1'-0"



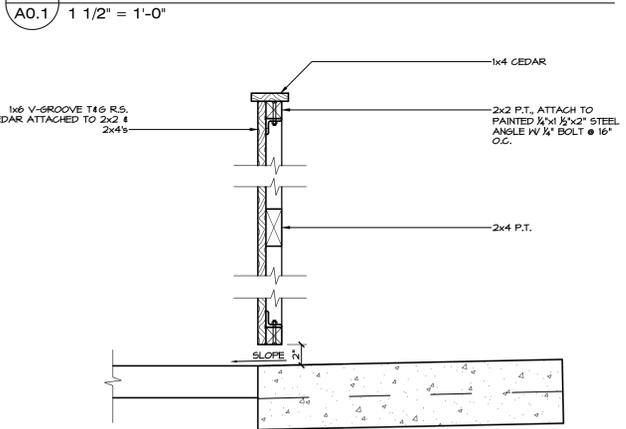
12 WALL / GATE DETAIL
A0.1 1 1/2" = 1'-0"



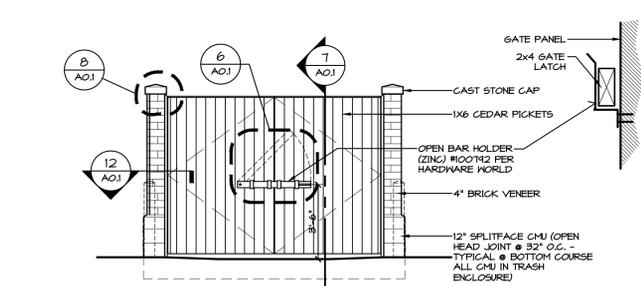
8 HINGE DETAIL
A0.1 1 1/2" = 1'-0"



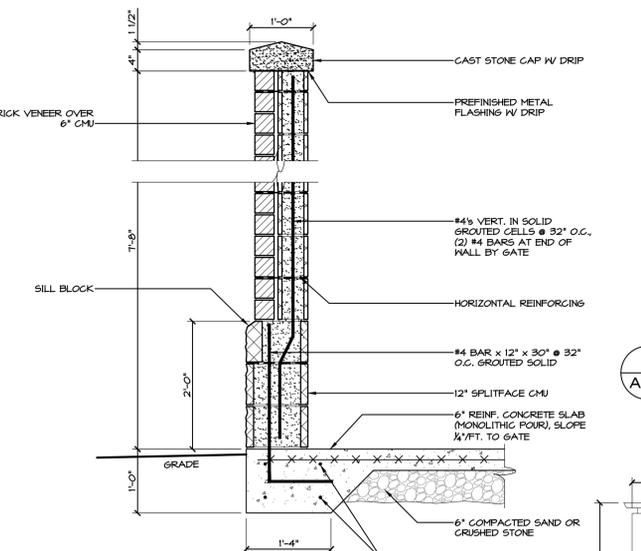
11 PIPE BOLLARD DETAIL
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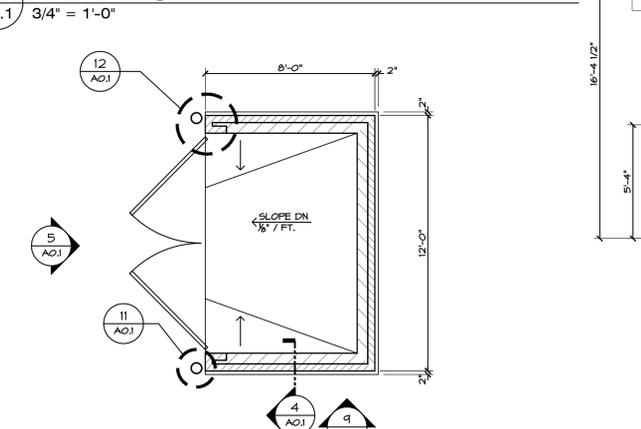
7 GATE SECTION
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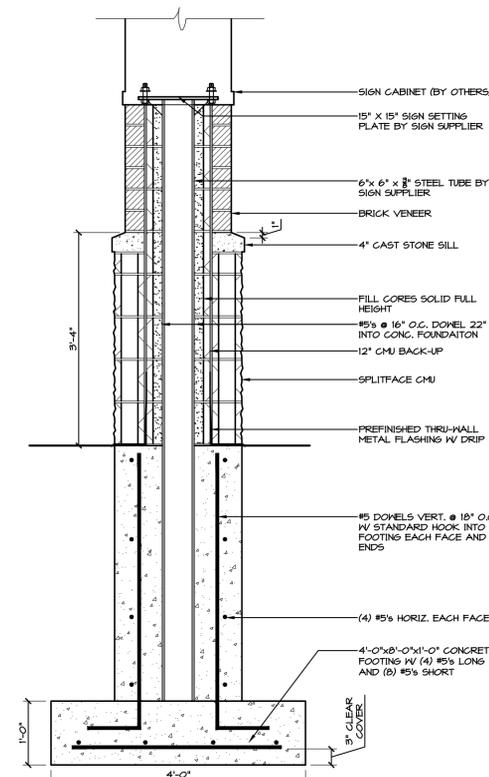
5 TRASH ENCLOSURE FRONT ELEVATION
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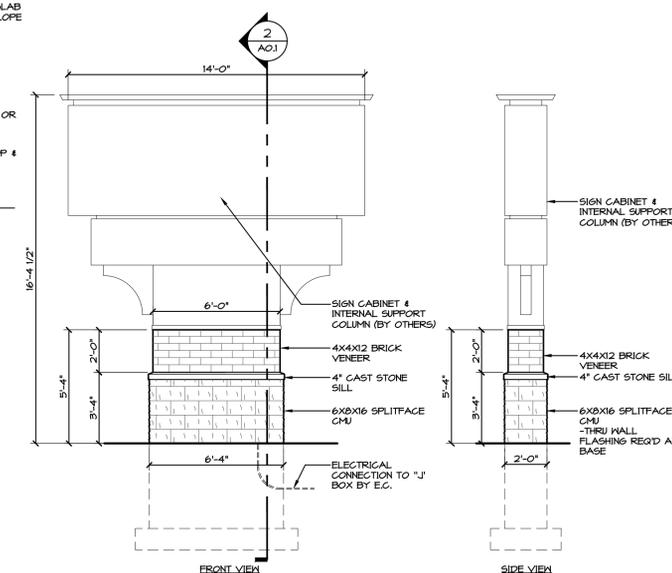
4 SECTION @ ENCLOSURE
A0.1 3/4" = 1'-0"



3 TRASH ENCLOSURE PLAN
A0.1 1/4" = 1'-0"

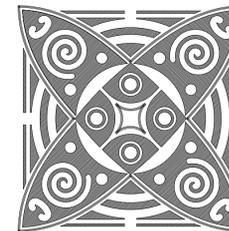


2 SECTION @ MONUMENT SIGN
A0.1 3/4" = 1'-0"



1 MONUMENT SIGN
A0.1 1/4" = 1'-0"

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Owner Approval

Phase:

Date:

By:

Date: JULY 7, 2016

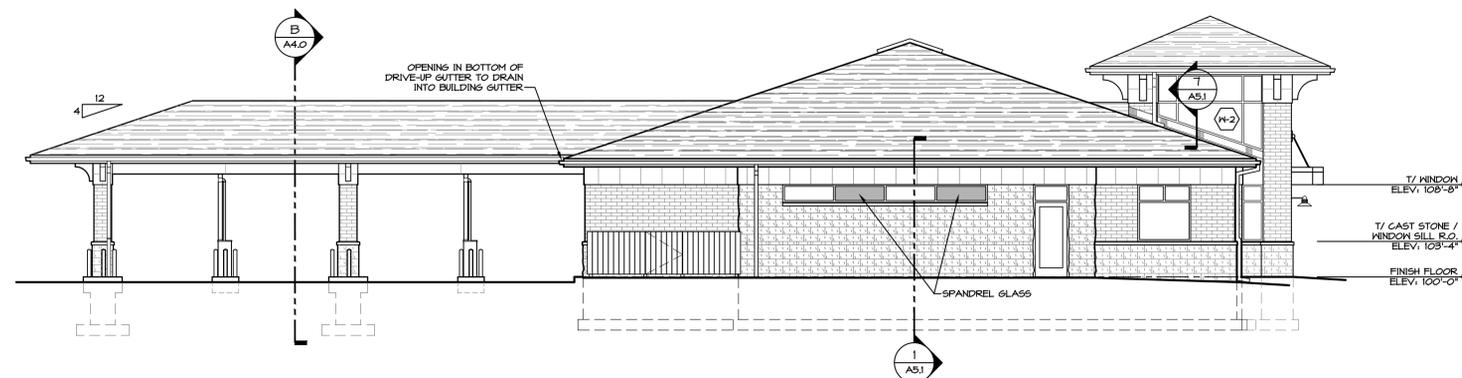
Revisions:

Item	No.	Date

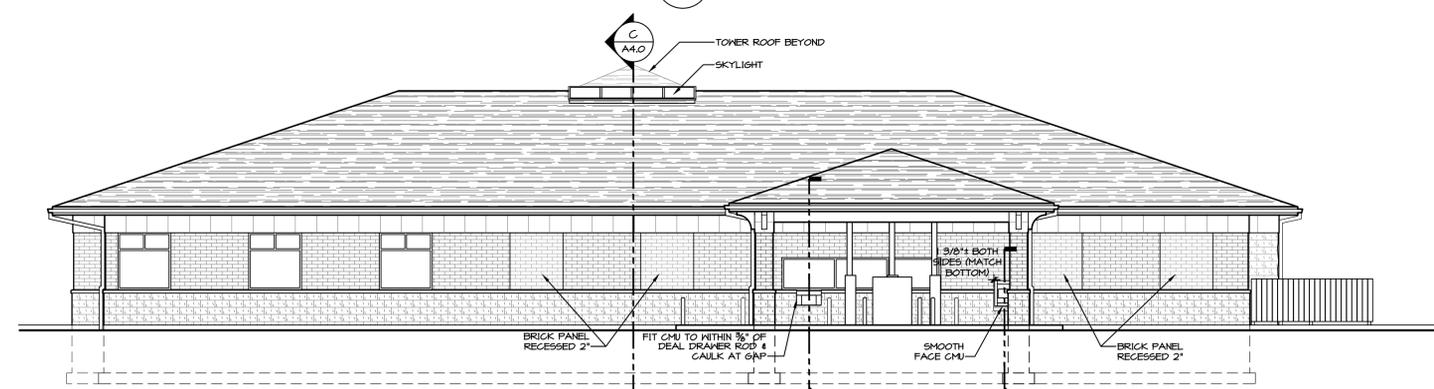
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Checked By: LGF
Peer Review: KMO

Drawing Title:
BUILDING ELEVATIONS
Drawing Number:
A3.0

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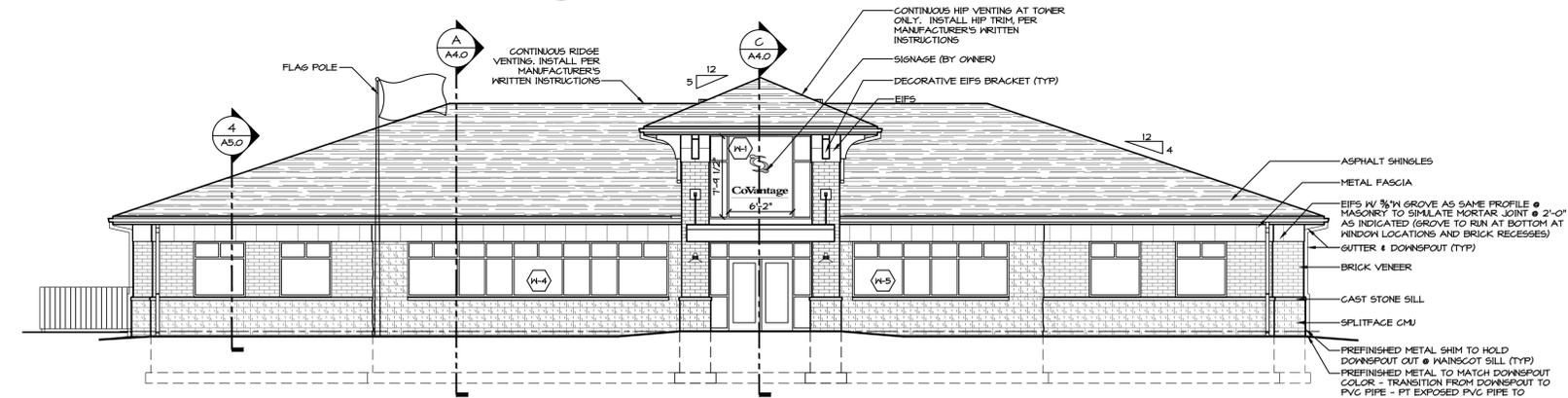
4 EAST ELEVATION
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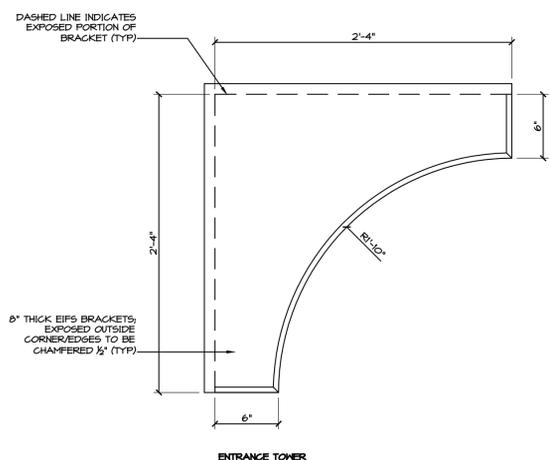
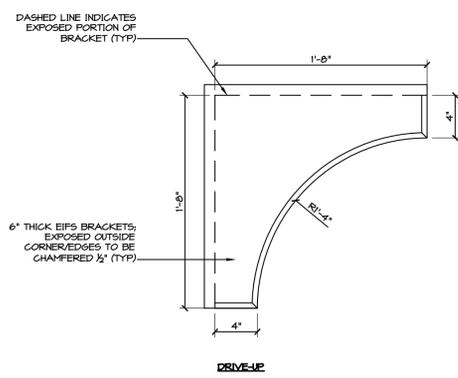
3 SOUTH ELEVATION
A3.0 1/8" = 1'-0"



2 WEST ELEVATION
A3.0 1/8" = 1'-0"

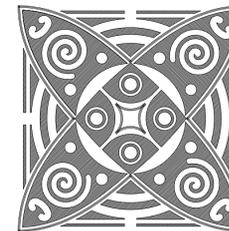


1 NORTH ELEVATION
A3.0 1/8" = 1'-0"



5 DECORATIVE BRACKET DETAILS
A3.0 1 1/2" = 1'-0"

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Owner Approval
Phase:
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By:
Date: JULY 7, 2016

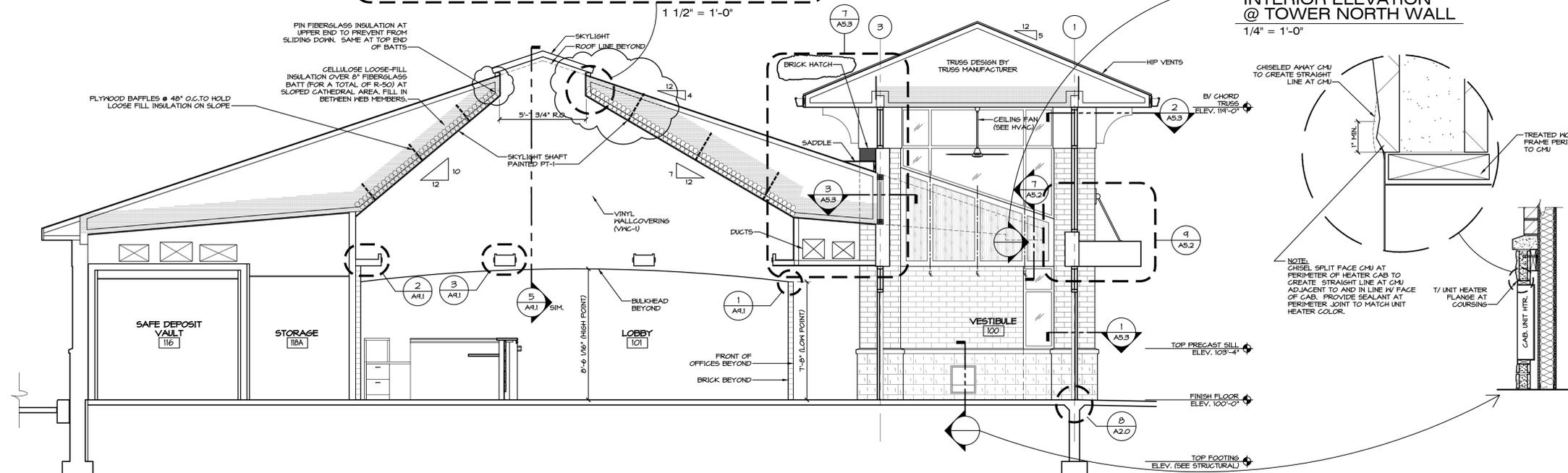
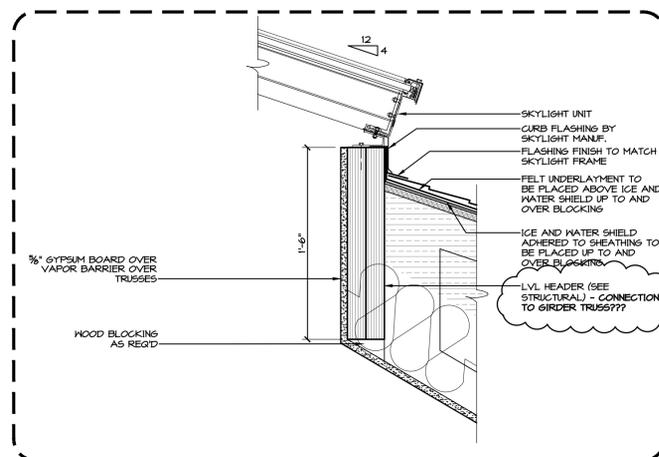
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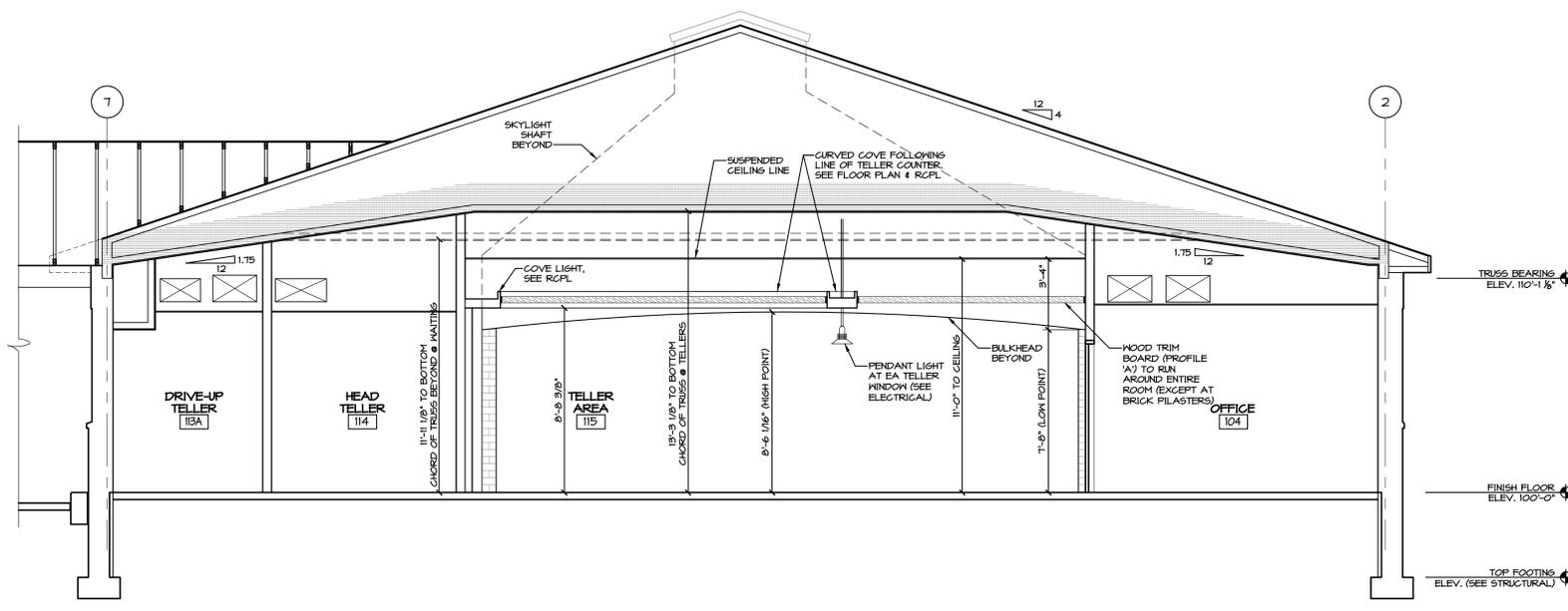
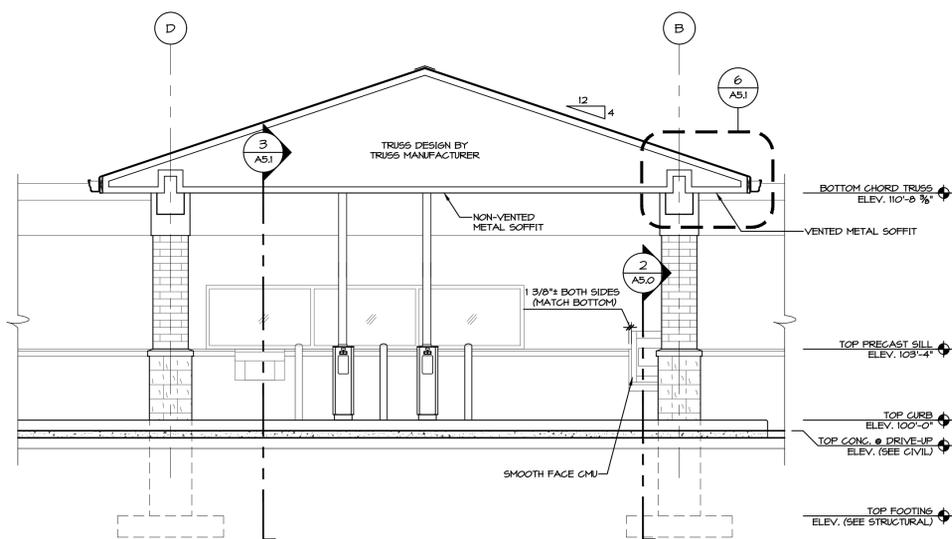
Drawn By: TMH
Checked By: LGF
Peer Review: KMO

Drawing Title:
BUILDING SECTIONS
Drawing Number:
A4.0

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C BUILDING SECTION @ TOWER LOOKING WEST
A4.0 1/4" = 1'-0"



A BUILDING SECTION THRU TELLER AREA LOOKING WEST
A4.0 1/4" = 1'-0"

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DESCRIPTION
The Lumark Tribute luminaire is the most versatile, functionally designed, universally adaptable outdoor luminaire available. The Tribute luminaire brings outstanding performance to walkways, parking lots, roadways, loading docks, building areas and any security lighting application. UL listed and CSA certified for wet locations.

Catalog #	Type
Project	Date
Comments	Prepared by

SPECIFICATION FEATURES

Construction
Rugged, one-piece, die-cast aluminum housing and door frame. One-piece silicone gasket protects the optical chamber from performance degrading contaminants. One stainless spring latch and two stainless hinges allow tool-less opening and removal of door frame.

Electrical
Ballast and related electrical components are hard mounted to die-cast housing for optimal heat transfer and operating efficiency. Optional swing-down galvanized steel power tray with integral handle and quick disconnects allows tray to be completely removed from housing providing ample room for fixture installation and maintenance.

Reflector
Choice of nine high efficiency optical distributions, including five segmented optical systems constructed of premium 95% reflective anodized aluminum sheet. Optical segments are rigidly mounted inside a thick gauge aluminum housing for superior protection. All segment faces are clean of rivet heads, tabs or other means of attachment which may cause streaking in the light distribution. Optical modules are field rotatable in 90° increments and offered standard with mogul-base lampholders for High Pressure Sodium and 200-400W Metal Halide assemblies or medium-base lampholders for Metal Halide 150W and below.

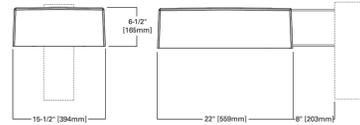
Mounting
Extruded 8" aluminum arm features internal bolt guides for easy positioning of fixture during installation to pole or wall surface. Standard single carton packaging of housing, square pole arm and round pole adapter allow for consolidated product arrival to site. Optional internal mast arm mount accepts a 1.1/4" to 2.3/8" O.D. horizontal tenon, while a four-bolt clamping mechanism secures fixture. Cast-in leveling guides provide +/-5° vertical leveling adjustment.

Finish
Housing and arm finished in a five-stage premium TGIC bronze polyester powder coat paint. Optional colors include black, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

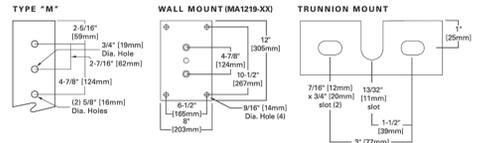


TR TRIBUTE
70 - 400W
High Pressure Sodium
Metal Halide
Pulse Start Metal Halide
AREA/SITE LUMINAIRE

DIMENSIONS



DRILLING PATTERNS



TYPE "MA"

DESCRIPTION
The LRC LED Recessed Canopy Luminaire is specifically designed for recessed applications in single or double skin canopies. Three specialized optics are optimized for efficiency and uniformity, delivering high light levels on task. Typical applications include retail gas stations, convenience stores, banks and pharmacy drive thru canopies. UL/UL listed for wet locations.

SPECIFICATION FEATURES

Construction
Heavy-duty cast aluminum housing with aluminum mounting frame. Wet location driver enclosure is elevated to prevent water ingress. 1/2" knockouts provided for wiring connections. IP66 Rated.

Optics
Dedicated optical cavities for the array of 16 individual LEDs to maximize the efficiency and control of the distribution out of each module. To enhance visual comfort, a glare-reducing optical system is utilized to maximize delivered lumens while minimizing glare. Scalable in 1, 2 or 4 Light Square LED modules to optimize cost and lumen output. Each reflector is precision manufactured via injection molding and coated with a highly reflective optical coating via vacuum metallization. Two symmetric optics and one asymmetric optic are specifically designed for efficiency and

uniformity. Offered standard in 4000K (+/- 275K) CCT and nominal 70 CRI. Optional 6000K CCT with nominal 80 CRI.

Electrical
LED driver is enclosed in a wet location box, designed to manage thermal for longevity. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. Optional proprietary circuit module designed to withstand 10kV of transient line surge. 80% lumen maintenance expected at 60,000 hours. The LRC LED Recessed Canopy Luminaire is suitable for operation in -40°C to 40°C ambient operations.

Mounting
Designed to recess in single or double skin canopies. Luminaire can be installed from above or below canopy, through 14" square cutout in the canopy.

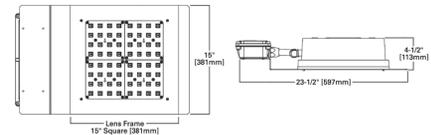
Finish
Housing and lens frame are finished in Super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard housing and lens frame trim finished in true white color. Optional lens frame trim colors include white, grey, black, bronze, dark platinum, and graphite metallic. RAL and color matches available.

Warranty
Five-year warranty.



LRC LED RECESSED CANOPY
1, 2 or 4 Light Squares
Solid State LED
CANOPY LUMINAIRE

DIMENSIONS



Cooper Lighting
by EATON

TYPE "GA"

*www.designlights.org



CERTIFICATION DATA
UL/UL Listed
LM79 / LM80 Compliant
IES 0-100
DesignLights Consortium® Qualified*

ENERGY DATA
Electronic LED Driver
≥0.9 Power Factor
≤0.5% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz
-40°C Minimum Temperature
40°C Maximum Ambient Temperature

SHIPPING DATA
Approximate Net Weight:
20-29 lbs. (9.07-13.15 kgs.)

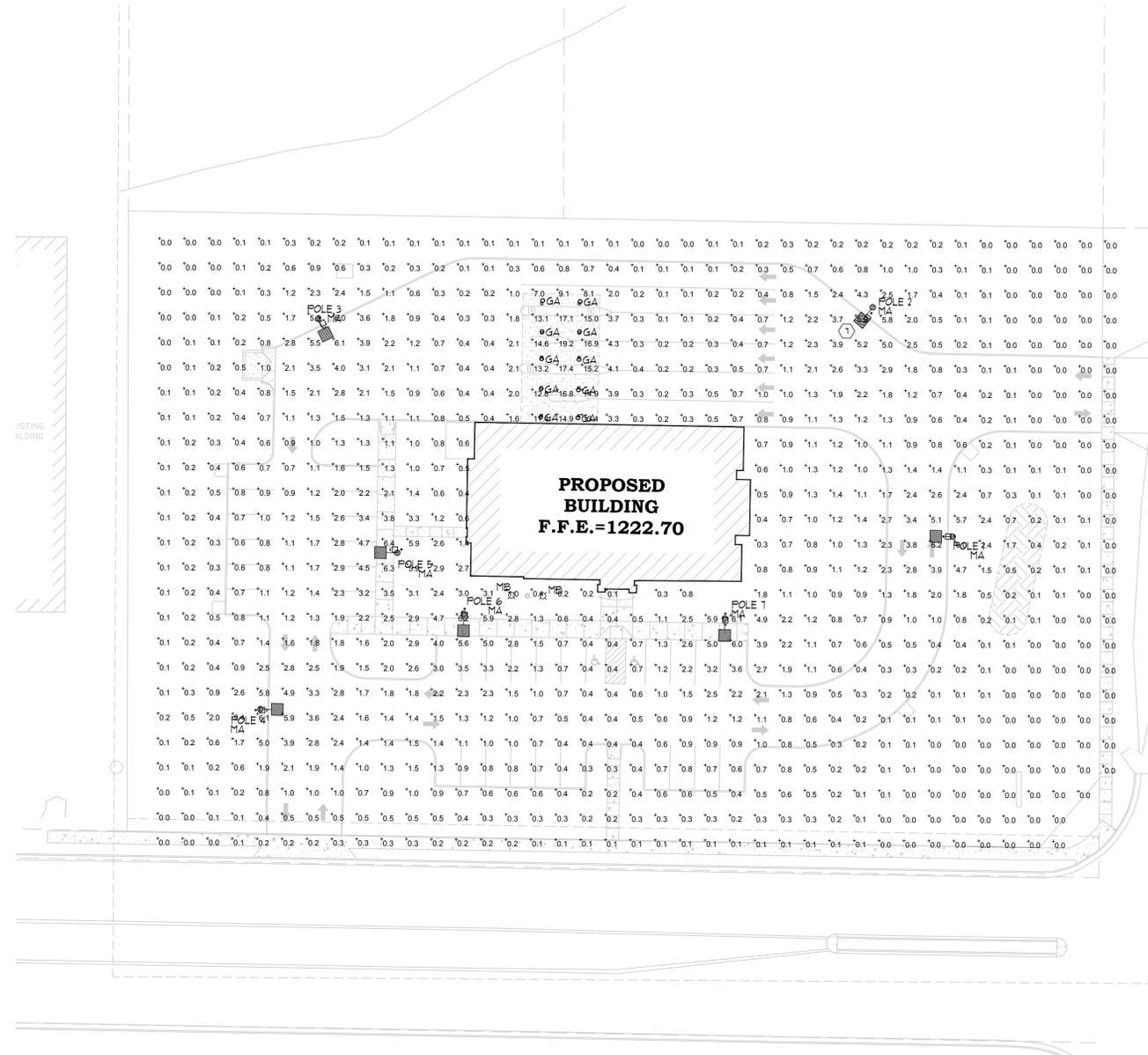


ADN120042
2014-08-19 11:50:04



McGRAW-EDISON

Catalog #	Type
Project	Date
Comments	Prepared by



1 PHOTOMETRIC PLAN
EPO.1 1" = 30'-0"

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
GA	10	LRC-B16-7-LED-E1-WST	LRC CANOPY LUMINAIRE ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING IAG LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	LRC-B16-7-LED-E1-WST.ies	Absolute	1.00	36.8		
MA	7	MPTR-4F-250	ARCHITECTURAL AREA LUMINAIRE - TYPE IV	250 WATT PULSE-START CLEAR ED-28 HORIZONTAL BURN	MPTR-4F-250.ies	22000	1.00	283	

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.2 fc	19.2 fc	0.0 fc	N / A	N / A

TAG NO	LAMP DATA		DESCRIPTION	LIGHTING FIXTURE		MOUNT	CEILING TYPE	VOLT	REQ
	TYPE	MAKE		MAKE	CATALOG NO				
GA 1	SQHL 400K	CANOPY LIGHT	MCGRAW EDISON	LRC-B16-7-LED-E1-WST-WH	RECESSED	150	1		
MA 1	M220RUPPS	POLE MOUNT	LUMARK	MP-TR-4F-250-MT	28 POLE	208	1		

NOTES:
1. CONTROL EXTERIOR LIGHTING WITH PHOTOCELL 'ON'/MTCLOCK 'OFF'. EXTERIOR LANE WITH ATM SHALL BE PHOTOCELL 'ON' / PHOTOCELL 'OFF'. COORDINATE SETTINGS WITH OWNER.



Mudrovich architects
300 North Third Street, Suite 304
Wausau, WI 54403 Ph:715-848-4880

Consultants:

C6253
CZARNECKI ENGINEERING INCORPORATED
1121 MARLIN COURT, SUITE B - WAUKESHA, WI 53186
VOICE: (262) 513-2020 FAX: (262) 513-2023
WEB PAGE: www.czeeng.com
FACEBOOK: www.facebook.com/CzarneckiEngineeringInc

Project Number: 21520
Project:
COVANTAGE CREDIT UNION
WESTON, WI

Owner:
COVANTAGE CREDIT UNION
723 SIXTH AVE.
ANTIGO, WI 54409

Owner Approval
Phase:
Date:
By:
Date: JULY 29, 2016

Item	No.	Date

Drawn By: CZE
Checked By: AMC
Peer Review:

Drawing Title:
PHOTOMETRIC PLAN
Drawing Number:
EPO.1



Permit

Permit NO. **SIGN-8-16-6984**

Permit Type: **Sign**

Work Classification: **Special Event**

Permit Status: **Final**

Issue Date: **8/22/2016**

Expiration: **09/22/2016**

Project Address 4002 SCHOFIELD AVE WESTON, WI 54476	Project Name <NONE>	Applicant Becca's Cafe
---	-------------------------------------	----------------------------------

Parcel Number 19228081740894	Subdivision CSM#11806, Vol. 50, Pg. 94	Block / Lot 0 / 1	Zoning B-2
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Owner Information Lokre Development	Address PO Box 215 Plover, WI 54467	Phone	Cell (715)574-1677
---	---	-------	------------------------------

Contractor(s)	Address	Phone	Cell	Contractor Type

Description of Work: **Temporary banner sign.**

Valuation: **\$0.00**
 Total Sq Feet: **24**

Inspection Request Line:
[\(715\) 241 - 2616](tel:(715)241-2616)

AVAILABLE INSPECTIONS

Inspection Type:	IVR

Setbacks:

Front: ft. Rear: ft.
 Left: ft. Right: ft.

FEE SUMMARY

Fees Due	Amount	Total	Amt Paid	Amt Due
Special Event Sign Permit Fee	\$25.00	\$25.00	\$25.00	\$0.00
Total:	\$25.00			

Payment Type: Check / Number: 6278

Comments:
30-day approval. Expires on September 22, 2016.

I HEREBY UNDERSTAND THAT THIS PERMIT DOES NOT GRANT ANY RIGHT OR PRIVILEGE TO ERECT ANY STRUCTURE OR TO USE ANY PREMISE HEREIN DESCRIBED FOR ANY PURPOSE OR IN ANY MANNER PROHIBITED BY THE VILLAGE OF WESTON ZONING ORDINANCE. SPECIAL CONDITIONS AND/OR PROVISIONS STATED ON THIS BUILDING PERMIT SUPERCEDE ANY OTHER INFORMATION PROVIDED BY THE APPLICANT, INCLUDING INFORMATION PROVIDED ON THE PLANS. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS PERMIT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HERIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signature of Owner / Applicant / Contractor / _____ Date **August 30, 2016**

Jared Wehner _____ Date **August 30, 2016**
 Issued By: Village of Weston, WI Authorized Signature

Customer Copy

Temporary Sign

Permit

Village of Weston

Date: 8/22/2016

Permit #: SIGN-8-16-6984

Payment Type: Cash Check 6278

FULL COMPLETION OF THIS FORM IS REQUIRED FOR PROCESSING



5500 Schofield Ave
Weston, WI 54476

-- PLEASE USE THE ONLINE FILLABLE PDF --

TEMPORARY SIGN TYPE AND FEE

<input checked="" type="checkbox"/> Commercial Signs or Banners	\$ <u>25.00</u>	[44/4465]
<input type="checkbox"/> Variable Message Sign (VMS)	\$ <u>25.00</u>	[44/4465]
<input type="checkbox"/> Over Street Banners	\$ <u>25.00</u>	[44/4465]

TEMPORARY SIGN ORDINANCE

The following allowable temporary signs DO NOT require a Temporary Sign Permit, but shall be subject to the regulations as stated:

Real Estate Signs. Within each residential and rural and open space zoning district, only one on premise real estate sign is permitted. Such sign shall be removed within 30 days of the sale or lease of the single space it is advertising or of the sale or lease of 90 percent of the total land or space available for sale or lease on the property. Such signs shall not be located in the public right-of-way, shall not exceed 12 square feet in area and 6 feet in height in residential, rural and open space zoning districts, and 64 square feet in area and 12 feet in height in all other districts. No off-premise real estate signs, such as "open house" signs, are permitted.

Construction or Project Identification Signs. Such signs shall be erected no sooner than the beginning of work for which a valid building or demolition permit has been issued, and shall be removed within 30 days of completion of such work. Construction or project identification signs shall not exceed 64 square feet in area and 12 feet in height.

Price or Temporary Item Signs. Signs that advertise the price of products or services offered on the premises or of special temporary goods or services being sold or offered, up to 6 square feet in area per sign face for each double sided sign, not illuminated, no more than two signs per street frontage, and no closer than five feet to any property lines. Each price or temporary sign must be removed within 24 hours of the special being sold or offered, and within 30 days of its placement on the property in any case. Any temporary sign not meeting these limitations but serving a similar purpose shall instead be classified as a temporary commercial sign or banner.

Temporary Individual Residential Signs. Not larger than 6 square feet each, to advertise garage sales, yard sales, or similar merchandise sales during the time the sale is taking place. Such signs shall not be erected more than 1 day before the event and shall be removed within 1 day after the event.

Temporary Signs for Events of Public Interest. For a temporary event of public interest hosted by and/or held at a governmental entity, community organization, or institutional facility (e.g., farmers market, fair operated by a nonprofit organization), two signs of up to 32 square feet each may be located upon the site of the event. Additional off-premise signs shall be allowed, up to one per premise, and up to 9 square feet per sign. Temporary Signs for Events of Public Interest shall not be erected more than 30 days before the event and shall be removed within 7 days after the event.

Political/Election Signs. Temporary political signs are permitted without restriction so long as they locate per the requirements of this Article, including not being allowed within the public right-of-way. Signs promoting a candidate or position on an issue for an upcoming election may not be placed in a manner that would impede vehicular or pedestrian safety, must be outside of required vision triangles, and must meet the requirements of Wis. Stat. Chapter 12. Signs related to an election or referendum may be erected no earlier than the first day of circulation of nomination papers for candidates for office, in the case of an election; or the date on which a referendum question is submitted to the electors, in the case of a referendum. All such signs must be removed within 7 days after any election or referendum to which they relate.

Personal Greeting or Congratulatory Signs. Permitted for up to 7 days, with such signs not greater than 8 feet in height if ground-mounted, nor extending above the roof line if building mounted.

Temporary Window Signs. Signs temporarily affixed to the inside of a window that advertise commercial situations relating to goods or services sold on premises shall be allowed without restriction on quantity or coverage, provided that they do not interfere with other State and Federal code requirements or public, health, safety, or welfare.

The following temporary signs require a Temporary Sign Permit and shall be subject to the regulations as stated.

Temporary Commercial Signs and Banners. For sales, limited time offers, grand openings, or other special events only, with such signs not greater than 8 feet in height if ground-mounted, nor extending above the roof line if building mounted. Except as may be allowed below or by site plan approval under Section 94.16.09, no single use is permitted to display more than one temporary commercial sign or banner at a single time and no single lot is permitted to display more than two temporary commercial signs and banners at a single time. No temporary commercial sign or banner shall be placed on a lot for greater than 30 consecutive days (14 days for any variable message sign (VMS)), up to five times per calendar year. An advertising vehicle sign is not a permitted temporary commercial sign, but a mobile sign is permitted. A sign permit shall be required for a temporary sign serving this purpose.

Over-street Banners for Events of Public Interest. Banners promoting public events of Village-wide interest displayed over a public street, alley, or highway, when approved by the Zoning Administrator. Such signs shall not be erected more than 30 days before the event and shall be removed within 7 days after the event. A sign permit shall be required for a temporary sign serving this purpose. The Zoning Administrator may also require the sponsoring person, firm, organization, or corporation to provide a certificate of liability insurance with the Village named as an additional insured.

APPLICANT INFORMATION

Business Name: VRSAGroup - Becca's Cafe **Contact Name:** Jason Lowman
Business Owner: Jason Lowman **Project Address:** 4802 Schofield Ave
Mailing Address: 3845 Rib Mountain Dr # 3 Weston, WI 54476
Wausau, WI 54401 **Phone:** _____
Website: _____ **Email:** _____

Property Owner: Lokre **Contact Name:** Victor
Mailing Address: _____ **Phone:** _____
_____ **Email:** _____

Property Zone: Select Zoning Designation

Current Use of Property: Multiple Family Residential Mixed Commercial/Residential Office
(Check all that apply) Retail/Services Industrial/Manufacturing Institutional
 Parking Other: _____

CONTRACTOR INFORMATION (VMS ONLY)

Sign Contractor: _____ **Contact Name:** _____
Address: _____ **Phone:** _____
_____ **Email:** _____

SITE PLAN REQUIRED

A site plan for the property showing, at a minimum, the location of the proposed sign(s). **NOTE:** This includes all sandwich boards or pedestal sign, as they are considered permanent signs that may be used on a temporary basis. Please see the definitions in Section 94.13.03(2)(k); the location and specifications of all existing signs on the property and building(s); all property lines and buildings on the property; and parking areas, driveways, public roads, shall be submitted with this application. If the proposed sign(s) is a banner sign that is being placed on the exterior wall, only then the attachment of the required site plan be waived. Some parcel information and maps may be obtained via the [Marathon County Land Information Mapping System](#).

Has the site plan been attached?

Building Image →

Yes No N/A

Does the site plan include ALL the required components listed above?

Yes No N/A

DIAGRAM(S) REQUIRED

A diagram for each of the proposed signs, drawn to a recognized scale, and listing and depicting the type, height, total height (on pylon or building etc...), width, total sign square footage, square footage of each sign component, method of attachment, structural support, method of illumination, sign materials and value shall be submitted with this application. A picture showing the proposed sign superimposed over or at the proposed placement shall be submitted with this application.

Has the diagram been attached for each proposed sign?

Yes No

Does each diagram have ALL the required components listed above?

Yes No

Start Date: 8/22/16

End Date: 10/24/16

Sign Message: Coming Soon - Becca's Cafe

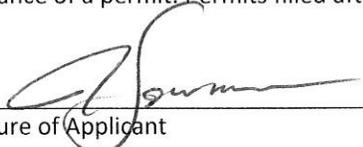
BASIS FOR GRANTING AND ISSUANCE

Are there any traffic safety, traffic visibility, sign setbacks, and structural integrity matters associated with this sign(s)? Explain which ones, or what measures have been taken to assure that these matters have been addressed.

None

STATEMENTS OF UNDERSTANDING AND SIGNATURES

By signing and dating below, I have reviewed and understand the Village of Weston zoning ordinance and its standards of approval related to this application; read, understand, and accept my responsibilities under the reimbursement section above; submitted an application that is true, correct, and complete to the best of my knowledge; acknowledge that Village officials and/or employees may, in the performance of their functions, enter upon the subject property to inspect or gather information necessary to process this application; agree to abide by this application, approved plans, and required conditions associated with plan approval in the development of the subject property; and understand that the Village's zoning ordinance and/or the conditions of development approval may specify timeframes within which I must take certain actions related to the development of the subject property, or risk having the approval being nullified. Failing to attach the ALL OF THE REQUIRED COMPONENTS, when applicable, will result in the status of this application as incomplete. Incomplete applications will not be reviewed and shall be discarded within 30-days if the application status remains as incomplete. Any fees collected will not be refunded. **ALL FINALIZED PERMITS WILL BE SENT VIA EMAIL OR BE PICKED UP AT THE MUNICIPAL CENTER. Permits will not be sent by mail.** Work on the proposed project cannot begin without the issuance of a permit. Permits filled after the fact shall be subject to double the fee and a \$50.00 fine.



Signature of Applicant

8/15/16

Date

Property Owner Business Owner Contractor

STAFF REVIEW

PIN: 19228D8174D894

Zoning: B2 w/ D-WM OVERLAY Village ETZ

Filed After the Fact: Yes No

Fine Imposed: Yes No

Amount: \$0.00

Sign Specification:

Permit No.: _____

Width: UNKNOWN Height: UNKNOWN Single Double Total Square Feet: UNKNOWN

Total Height: UNKNOWN Sign Type: Standard VMS OTS Banner Setbacks: N/A

Sign meets requirements? Yes No

Conditions/Modifications for approval: 30-DAY APPROVAL. SIGN MUST BE REMOVED BY SEPTEMBER 22, 2016.



Signature of Zoning Administrator or Designee

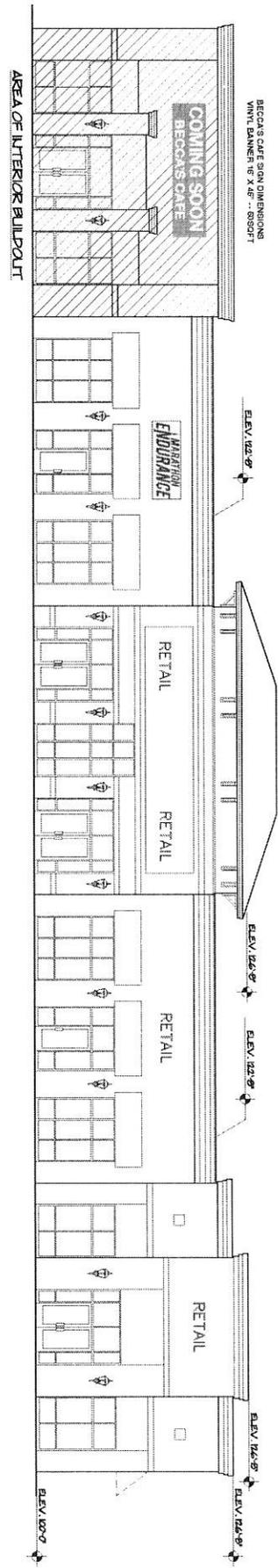
8/30/2016
Date

Permit Number(s) SIGN-8-16-6984

Approved Denied

STAFF TIME TABLE CHECKLIST

- Pre-application conference with Planning and Development Department Staff (optional).**
Date: _____ Participants: _____
- Application and required plans filed with the Village.**
Date: _____ Received by: _____
- Application fee received by Village.**
Date: _____ Received by: _____
- Application and submitted application verified as being complete.**
Date: _____ Reviewed by: _____
- Zoning Administrator (or designee) action.** Designee: _____
Date: _____ Action Taken: Approved as presented Approved with modifications Denied
- Applicant notified of decision.**
Date: _____ Sent by: _____
- Attached in Smart Search.**
Date: _____ Attached by: _____
- Attached and closed in Beehive.**
Date: _____ Closed by: _____





Permit

Permit NO. **SIGN-8-16-6985**

Permit Type: **Sign**

Work Classification: **Special Event**

Permit Status: **Final**

Issue Date: **8/24/2016**

Expiration: **09/24/2016**

Project Address 2809 SCHOFIELD AVE WESTON, WI 54476	Project Name <NONE>	Applicant The Cutting Edge, LLC
---	-------------------------------------	---

Parcel Number 19228081730948	Subdivision	Block / Lot 0 / 0	Zoning B-3
--	-------------	-----------------------------	----------------------

Owner Information Thomas-Lund LLC	Address 1803 Stewart Avenue #C Wausau, WI 54403	Phone	Cell
---	---	-------	------

Contractor(s)	Address	Phone	Cell	Contractor Type

Description of Work: **Temporary Sign**

Valuation: **\$0.00**
 Total Sq Feet: **64**

Inspection Request Line:
(715) 241 - 2616

AVAILABLE INSPECTIONS

Inspection Type:	IVR

Setbacks:

Front: ft. Rear: ft.
 Left: ft. Right: ft.

FEE SUMMARY

Fees Due	Amount	Total	Amt Paid	Amt Due
Special Event Sign Permit Fee	\$25.00	\$25.00	\$25.00	\$0.00
Total:	\$25.00			

Payment Type: Check / Number: 3301

Comments:
30-day approval.

I HEREBY UNDERSTAND THAT THIS PERMIT DOES NOT GRANT ANY RIGHT OR PRIVILEGE TO ERECT ANY STRUCTURE OR TO USE ANY PREMISE HEREIN DESCRIBED FOR ANY PURPOSE OR IN ANY MANNER PROHIBITED BY THE VILLAGE OF WESTON ZONING ORDINANCE. SPECIAL CONDITIONS AND/OR PROVISIONS STATED ON THIS BUILDING PERMIT SUPERCEDE ANY OTHER INFORMATION PROVIDED BY THE APPLICANT, INCLUDING INFORMATION PROVIDED ON THE PLANS. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS PERMIT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HERIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signature of Owner / Applicant / Contractor / _____ Date **August 30, 2016**

Jared Wehner _____ Date **August 30, 2016**
 Issued By: Village of Weston, WI Authorized Signature

Customer Copy

Temporary Sign Permit

Village of Weston
Date: 8-22-14

Permit #: Sign-8-16-6985

Payment Type: Cash Check 3301

FULL COMPLETION OF THIS FORM IS REQUIRED FOR PROCESSING

— PLEASE USE THE ONLINE FILLABLE PDF —



TEMPORARY SIGN TYPE AND FEE

<input type="checkbox"/> Commercial Signs or Banners	\$ 25.00	[44/4465]
<input checked="" type="checkbox"/> Variable Message Sign (VMS)	\$ 25.00	[44/4465]
<input type="checkbox"/> Over Street Banners	\$ 25.00	[44/4465]

TEMPORARY SIGN ORDINANCE

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Personal Greeting or Congratulatory Signs. Permitted for up to 7 days, with such signs not greater than 8 feet in height if ground-mounted, nor extending above the roof line if building mounted.

Temporary Window Signs. Signs temporarily affixed to the inside of a window that advertise commercial situations relating to goods or services sold on premises shall be allowed without restriction on quantity or coverage, provided that they do not interfere with other State and Federal code requirements or public, health, safety, or welfare.

The following temporary signs require a Temporary Sign Permit and shall be subject to the regulations as stated.

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Over-street Banners for Events of Public Interest. Banners promoting public events of Village-wide interest displayed over a public street, alley, or highway, when approved by the Zoning Administrator. Such signs shall not be erected more than 30 days before the event and shall be removed within 7 days after the event. A sign permit shall be required for a temporary sign serving this purpose. The Zoning Administrator may also require the sponsoring person, firm, organization, or corporation to provide a certificate of liability insurance with the Village named as an additional insured.

APPLICANT INFORMATION

Business Name: Cutting Edge Contact Name: _____
 Business Owner: Tara & Rick Koch Project Address: _____
 Mailing Address: 2509 Schofield Ave Phone: _____
 Website: _____ Email: _____
 Property Owner: Brad Lund Contact Name: _____
 Mailing Address: 7 PO Box 1610 Phone: _____
LARAMIE, WY 82073 Email: _____
 Property Zone: Select Zoning Designation B-2

Current Use of Property: Multiple Family Residential Mixed Commercial/Residential Office
 (Check all that apply) Retail/Services Industrial/Manufacturing Institutional
 Parking Other: _____

CONTRACTOR INFORMATION (VMS ONLY)

Sign Contractor: NONE Contact Name: _____
 Address: _____ Phone: _____
 Email: _____

SITE PLAN REQUIRED

A site plan for the property showing, at a minimum, the location of the proposed sign(s). NOTE: This includes all sandwich boards or pedestal sign, as they are considered permanent signs that may be used on a temporary basis. Please see the definitions in Section 94.13.03(2)(k); the location and specifications of all existing signs on the property and building(s); all property lines and buildings on the property; and parking areas, driveways, public roads, shall be submitted with this application. If the proposed sign(s) is a banner sign that is being placed on the exterior wall, only then the attachment of the required site plan be waived. Some parcel information and maps may be obtained via the [Marathon County Land Information Mapping System](#).

Has the site plan been attached? Yes No N/A
 Does the site plan include ALL the required components listed above? Yes No N/A

same as may/June
4x8

DIAGRAM(S) REQUIRED

A diagram for each of the proposed signs, drawn to a recognized scale, and listing and depicting the type, height, total height (on pylon or building etc...), width, total sign square footage, square footage of each sign component, method of attachment, structural support, method of illumination, sign materials and value shall be submitted with this application. A picture showing the proposed sign superimposed over or at the proposed placement shall be submitted with this application.

Has the diagram been attached for each proposed sign? Yes No

Does each diagram have ALL the required components listed above? Yes No

Start Date: 8-24-16 End Date: 9-24-16

Sign Message: specials for new stylist & back to school.

BASIS FOR GRANTING AND ISSUANCE

Are there any traffic safety, traffic visibility, sign setbacks, and structural integrity matters associated with this sign(s)? Explain which ones, or what measures have been taken to assure that these matters have been addressed.

STATEMENTS OF UNDERSTANDING AND SIGNATURES

By signing and dating below, I have reviewed and understand the Village of Weston zoning ordinance and its standards of approval related to this application; read, understand, and accept my responsibilities under the reimbursement section above; submitted an application that is true, correct, and complete to the best of my knowledge; acknowledge that Village officials and/or employees may, in the performance of their functions, enter upon the subject property to inspect or gather information necessary to process this application; agree to abide by this application, approved plans, and required conditions associated with plan approval in the development of the subject property; and understand that the Village's zoning ordinance and/or the conditions of development approval may specify timeframes within which I must take certain actions related to the development of the subject property, or risk having the approval being nullified. Failing to attach the ALL OF THE REQUIRED COMPONENTS, when applicable, will result in the status of this application as incomplete. Incomplete applications will not be reviewed and shall be discarded within 30-days if the application status remains as incomplete. Any fees collected will not be refunded. ALL FINALIZED PERMITS WILL BE SENT VIA EMAIL OR BE PICKED UP AT THE MUNICIPAL CENTER. Permits will not be sent by mail. Work on the proposed project cannot begin without the issuance of a permit. Permits filled after the fact shall be subject to double the fee and a \$50.00 fine.

Tara Koch 8-22-16
Signature of Applicant Date

Property Owner Business Owner Contractor

STAFF REVIEW

PIN: 19228081730948 Zoning: B-2 HIGHWAY BUSINESS Village ETZ

Filed After the Fact: Yes No Fine Imposed: Yes No Amount: \$ 0.00

Sign Specification: Permit No.:

Width: 8 Height: 4 Single Double Total Square Feet: 64

Total Height: 4' Sign Type: Standard VMS OTS Banner Setbacks: 4'

Sign meets requirements? Yes No

Conditions/Modifications for approval: 30-DAY APPROVAL

Jared Williams 8/30/2016
Signature of Zoning Administrator or Designee Date

Permit Number(s) Sign-8-16-6985 Approved Denied

STAFF TIME TABLE CHECKLIST

- Pre-application conference with Planning and Development Department Staff (optional).
Date: _____ Participants: _____
- Application and required plans filed with the Village.
Date: _____ Received by: _____
- Application fee received by Village.
Date: _____ Received by: _____
- Application and submitted application verified as being complete.
Date: _____ Reviewed by: _____
- Zoning Administrator (or designee) action. Designee: _____
Date: _____ Action Taken: Approved as presented Approved with modifications Denied
- Applicant notified of decision.
Date: _____ Sent by: _____
- Attached in Smart Search.
Date: _____ Attached by: _____
- Attached and closed in Beehive.
Date: _____ Closed by: _____

Valerie Parker

To: John Prey (JPrey@habitatwausau.org)
Cc: Marty Christiansen (mchristiansen@saferdistrict.org); Jennifer Higgins (jhiggins@westonwi.gov); Jared Wehner; Scott Tatro; Roman Maguire
Subject: Approved Zoning Permit
Attachments: Approval Letter for Zoning Permit for Habitat for Humanity.pdf; Zoning Regulations.pdf; Completed Zoning Permit and Application.pdf; Commercial Occupancy Rev 150529 Fillable.pdf; Permanent Sign Permit Rev 150529 [fillable].pdf

08/11/2016

Dear John,

Please find attached your zoning approval letter, zoning permit, zoning regulations pertaining to the permit, and the commercial occupancy and sign permit applications.

As you will see, your proposed land use fits within both the B3 (current) and B2 (in progress) zoning districts. The zoning regulations that are attached, are just the pieces that pertain to the zoning permit. If you would like to refer to the entire zoning code, you can find it on our website by clicking the following link: <http://wi-weston.civicplus.com/DocumentCenter/View/2330>.

As it states in the approval letter, please contact Building Inspector, Scott Tatro, to discuss building permits needed for any interior renovations you are planning as you get set up.

Sincerely,

[Valerie Parker](#)

Planning Technician

[Village of Weston](#)

5500 Schofield Ave, Weston, WI 54476

p. 715-359-6114 | f. 715-359-6117 | d. 715-241-2607

Want to receive the "This Week in Weston" e-newsletter? [Sign up here!](#)

August 11, 2016



E-Mail Only

John Prey
Habitat for Humanity
PO Box 1372
Wausau, WI 54402
jprey@habitatwausau.org

Re: Approved Zoning Permit for Habitat for Humanity, 1810 Schofield Avenue, Weston

Dear John,

Thank you for submitting your Commercial Zoning and Pre-Application for review. Per our zoning code, your business use falls within both the Office (94.4.05(1)) and Indoor Sales or Service (94.4.05(5)) land uses. This property that you are planning to operate your facility out of is currently zoned B-3 (General Business), and within this zoning district, the two previously stated uses are permitted uses. As you are aware, this property is also in the process of being rezoned to B-2 (Highway Business). Please know that within this zoning district, the two previously stated uses are also permitted uses.

Along with the base zoning district, this property also falls within two overlay zoning districts, which are covered under Article 6, of the Zoning Code (attached): 1) D-CC (Design – Commercial Corridor) and 2) WHP-A (Wellhead Protection – Zone A) District. Though, currently, your business use would not be affected by either of these overlay districts; please note, once proposed changes are made to the parking lot and/or exterior of the building, those may then come in to play. I have attached a copy of the sections of our zoning code that relate to the above information, along with the approved Zoning Permit (ZONE-8-16-6933). You are now approved to start setting up your business.

You will want to make contact with Village Building Inspector, Scott Tatro, who can assist you in the completion of the appropriate building permit documents for any interior renovations you plan to make. Scott can be reached at (715) 359-6114, or statro@westonwi.gov. If you would like to stop in to see him, his office hours are from 8:00 a.m. to 9:00 a.m., and 3:30 p.m. – 4:30 p.m., Monday through Thursday, or by appointment only.

Two other applications that will need to be submitted, at your earliest convenience, are the Occupancy Certificate application (which includes the refuse/recycling information) and the Sign Permit application; which those applications were given to you, but I also have them attached, in case you need them electronically. As you are aware, the existing sign is considered non-conforming (per Sec. 94.13.11 & Sec. 94.15.04). I believe you are working with D&L Signs to have a new sign installed and the existing sign removed.

Please note that your current parking lot is considered legal non-conforming, due to setbacks, as along the front or street side of the property, there is supposed to be 15 feet of greenspace between the property line and the parking lot, along the interior side or the rear of the property, there is to be 10 feet of greenspace between the property line and the parking lot. Also note this building is considered legal non-conforming, due to setbacks, as the building shall not be any closer than 12 feet to the property line on the interior side (north side). The northwest corner of the building is only 10.9 feet from the property line. The section of our zoning code that covers these two items is Sec. 94.15.04 (attached).

As it may have been explained, the legal non-conforming issues are allowed to remain, until such time major improvements are made to the property (that would impact over 50% of the assessed value of the existing property).

Weston Municipal Center

5500 Schofield Avenue • Weston, WI 54476 • Phone: (715) 359-6114 • Fax: (715) 359-6117
www.westonwi.gov

Lastly, as we discussed earlier this week. If you do plan to make any changes to the exterior of the building, or when you plan to stripe your parking lot, please contact me ahead of time so that we can determine what additional submittals will need to come in.

If you have any questions or concerns, please feel free to e-mail me (vparker@westonwi.gov) or the general Planning & Development Department (PlanDev@westonwi.gov), or you can call our office at (715) 359-6114.

Sincerely,

A handwritten signature in blue ink that reads "Valerie Parker". The signature is written in a cursive style and is positioned above a thin horizontal blue line that spans the width of the page.

Valerie Parker
Planning Technician
Planning & Development Department

Cc: Planning & Development Staff
Marty Christiansen, SAFER Fire Inspector



Permit

Permit NO. **ZONE-8-16-6933**

Permit Type: **Zoning**

Work Classification: **Commercial**

Permit Status: **Active**

Issue Date: **8/11/2016**

Expiration: **on Change of Use**

Project Address 1810 Schofield Avenue Weston, WI 54476	Business Name Habitat for Humanity	Applicant John Prey	
Parcel Number 19228081810930	Property Description Lot 1 of CSM 17424, Vol 83, Pg 81, Doc 1715424	Zoning B-2 (Highway Business)	
Owner Information Habitat for Humanity of Wausau	Address PO Box 1372 Wausau, WI 54402	Phone (715)574-6882	E-Mail jprey@habitatwausau.org

Proposed Land Use: 94.4.05(1) Office and 94.4.05(5) Indoor Sales or Service.

ZONING:

Base District: B-2 (Highway Business)

Overlay District: D-CC (Design - Commercial Corridor) & WHP-A (Wellhead Protection - Zone A)

Conditional Uses: N/A

Description of Work: New Headquarters, staff offices, and relocation of Recycled Building Materials (RBM) facility for retail sale of building materials and supplies to the general public.

FEE SUMMARY

Fees Due	Amount	Total	Amt Paid	Amt Due
C.O. Change of Use/Owner Commercial Fee	\$0.00	\$0.00	\$0.00	\$0.00
C.O. Existing Building Addition Commercial Fee	\$0.00			
C.O. New Commercial Fee	\$0.00			
Certificate of Occupancy Fee	\$0.00			
Total:	\$0.00	Payment Type: N/A		

Comments: This property is under 94.2.02(3)(d) B-3 (General Business) as of 08/11/2016. Proposed rezone to 94.2.02(3)(c) B-2 (Highway Business) to take affect on, or around, 08/16/2016. The proposed land uses are permitted by right in both B-2 and B-3 Zoning District.

I HEREBY UNDERSTAND THAT THIS PERMIT DOES NOT GRANT ANY RIGHT OR PRIVILEGE TO ERECT ANY STRUCTURE OR TO USE ANY PREMISE HEREIN DESCRIBED FOR ANY PURPOSE OR IN ANY MANNER PROHIBITED BY THE VILLAGE OF WESTON ZONING ORDINANCE. SPECIAL CONDITIONS AND/OR PROVISIONS STATED ON THIS BUILDING PERMIT SUPERCEDE ANY OTHER INFORMATION PROVIDED BY THE APPLICANT, INCLUDING INFORMATION PROVIDED ON THE PLANS. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS PERMIT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HERIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

John Prey

Signature of Owner / Applicant / Contractor / Agent

August 8, 2016

Date

Valerie Parker

Issued By: Village of Weston, WI

August 11, 2016

Date

Commercial Zoning and Pre-Application

Permit
 Village of Weston/ETZ
 Date: 08/08/2016

Permit No. : ZONE-8-16-6933

Payment: Cash Check No. N/C VP
FULL COMPLETION OF THIS FORM IS REQUIRED FOR PROCESSING



5500 Schofield Ave
 Weston, WI 54476

– PLEASE USE THE ONLINE FILLABLE PDF –

ZONING FEES

Zoning Permit **\$25.00 FEE** [43/4343]

EXPLANATION OF PROCESS

No new building and no existing building which is to be remodeled or relocated shall be issued a building permit until a zoning permit has been issued to certify that such construction or change would comply with the provisions of Chapter 94 of the Village of Weston Municipal Code, Wisconsin Uniform Building Code, and Village Building Codes. Buildings or spaces within buildings are not allowed to be occupied without a Certificate of Occupancy issued in the name of the tenant occupying that building or space. Applications for a Zoning Permit shall be made to the Department of Planning and Development prior to the submittal of an application for a site plan review, commercial rezone, conditional use, building permit and/or certificate of occupancy. THIS IS AN APPLICATION AND NOT A PERMIT TO OCCUPY THE BUILDING. Permits filled after the fact shall be subject to double the fee and a \$50.00 fine.

APPLICANT INFORMATION

Business Name: <u>Habitat for Humanity of Wausau</u>	Contact Name: <u>John Prey</u>
Business Owner: <u>Habitat for Humanity of Wausau</u>	Mailing Address: <u>P. O. Box 1372</u>
Business Address: <u>1810 Schofield Avenue</u>	<u>Wausau, WI 54402-1372</u>
<u>Weston, WI 54476</u>	Phone: <u>(715) 574-6882</u>
Website: <u>www.habitatwausau.org</u>	Email: <u>jprey@habitatwausau.org</u>
Date Opening: <u>November 1, 2016</u>	Applicant will: <input type="checkbox"/> Rent <input type="checkbox"/> Lease <input checked="" type="checkbox"/> Own

Property Owner: <u>Habitat for Humanity of Wausau</u>	Contact Name: <u>John Prey</u>
Mailing Address: <u>P. O. Box 1372</u>	Phone: <u>(715) 574-6882</u>
<u>Wausau, WI 54402-1372</u>	Email: <u>jprey@habitatwausau.org</u>

EXISTING AND PROPOSED USES

Current and proposed use of subject property (check all applicable uses, and whether each is a current use, proposed use, or both):

- | | | |
|---|--------------------------------------|--|
| Multiple Family Residential – 3 or more units | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Mixed Commercial/Residential | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Office | <input type="checkbox"/> Current Use | <input checked="" type="checkbox"/> Proposed Use |
| Commercial Retail/Service | <input type="checkbox"/> Current Use | <input checked="" type="checkbox"/> Proposed Use |
| Industrial and Warehousing | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Institutional | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Parking | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Excavation/Mining/Significant Earth Movement | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Other: _____ | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |

the same terms. Development review fees that are assigned to the Applicant or property owner, but that are not actually paid, may then be imposed by the Village as a special charge on the affected property.

STATEMENT OF UNDERSTANDING AND SIGNATURES

By signing and dating below, I acknowledge that I have reviewed and understand the Village of Weston zoning ordinance and its standards of approval related to this application; read, understand, and accept my responsibilities under the reimbursement section above; submitted an application that is true, correct, and complete to the best of my knowledge; acknowledge that Village officials and/or employees may, in the performance of their functions, enter upon the subject property to inspect or gather information necessary to process this application; understand that all meeting dates are tentative and may be postponed by the Village for the reason of incomplete submittals or other administrative reasons; if this application is approved, agree to abide by this application, approved plans, and required conditions associated with plan approval in the development of the subject property; and understand that the Village's zoning ordinance and/or the conditions of development approval may specify timeframes within which I must take certain actions related to the development of the subject property, or risk having the approval being nullified. **Failing to attach all the required components will deem the status of this application as incomplete. Incomplete applications will not be reviewed and shall be discarded within 30-days if the application status remains incomplete. Any fees collected will not be refunded. ALL FINALIZED PERMITS WILL BE SENT VIA EMAIL OR BE PICKED UP AT THE MUNICIPAL CENTER. Permits will not be sent by mail.** Work on the proposed project cannot begin without the issuance of a permit. Permits filled after the face shall be subject to double the fee and a \$50.00 fine.



08/08/2016

Signature of Applicant

Date

Property Owner Project/Business Owner Project Manager

STAFF REVIEW

PIN: 192-2808-181-0930

Zoning: ⁸⁻⁸⁻¹⁶ B-3 + DCC + WHP-A
⁸⁻¹⁶⁻¹⁶ B-2 + DCC + WHP-A Village ETZ

Filed After the Fact: Yes No

Fine Imposed: Yes No Amount: _____

Conditional Use: Yes No Reason: _____

Use: _____

Proposed PC/ETZ Meeting Date: _____ CUP Number: _____

N/A

Rezoning: Yes No Reason: _____

Requested Zone: _____

Proposed PC/ETZ Meeting Date: _____ Rezoning Number: _____

N/A

Variance: Yes No Reason: _____

Requested Variance: _____

Proposed ZBA Meeting Date: _____ Variance Number: _____

N/A

Site Plan Application No. _____ Approval Date: _____

Building Permit No. _____ Approval Date: _____

Sign Permit No. _____ Permanent / Temp Date: _____

Code Section: B-3 (General Business) 94.2.02(3)(d) / B-2 (Highway Business) 94.2.02(3)(c)

Comments: Proposed land use is 94.4.05(1) Office and 94.4.05(5) Indoor Sales or Service. Both land uses are permitted uses within both the B3 and B2 zoning districts.

Current parking lot - non conforming due to setbacks (Sec 94.15.04)

Principal structure - non conforming structure (See Sec 94.15.04 due to setbacks)

Nonconforming sign (pylon) - see Sec 94.13.11 and Sec 94.15.04

Jennifer Higgins
Signature of Zoning Administrator or Designee

8/11/16
Date

Permit Number ZONE-8-16-6933

Approved Denied

STAFF TIME TABLE CHECKLIST

Pre-application conference with Planning and Development Department Staff. (optional)

N/A Date: _____ Participants: _____

Application and required plans filed with the Village.

Date: 8-8-16 Received by: VP

Application fee received by Village.

Date: 8-8-16 Received by: NIC (VP)

Application and submitted plans verified as being complete.

Date: 8-11-16 Reviewed by: VP

Determination by Zoning Administrator as to whether requested zoning permit requires approval or recommendation from another body under the zoning ordinance (e.g., conditional use permit, site plan approval). (Skip if N/A)

N/A Review Authority: _____ Meeting Date: _____

Action Taken: Granted Granted with modifications Denied

Zoning Administrator (or designee) action.

Designee: J.H.

Date: 8-11-16 Action Taken: Granted Denied

Applicant notified of decision and sent Occupancy Permit Application.

Date: 8-11-16 Sent by: VP

Attached in Smart Search.

Date: _____ Attached by: _____

Attached and closed in Beehive.

Date: _____ Closed by: _____

OPERATIONAL PLAN

- 1) The proposed use of the property at 1810 Schofield Avenue is for establishing staff offices, providing meeting space and headquarters for Habitat for Humanity of Wausau; the relocation of our Recycled Building Materials (RBM) facility for the retail sale of building materials and supplies to the general public. Following purchase of the property, renovation will take place as funds are available to accommodate the above uses and to be in compliance with all code and permit requirements.**
- 2) There will not be any outdoor storage.**
- 3) There will be 4 full-time staff members at the property 9:00 am to 4:30 pm Monday-Friday. Thursdays 8:00 am-12:00 pm there will be one fulltime employee and 8-10 volunteers on the property accepting donations of merchandise as well as cleaning, pricing and displaying the merchandise. Saturdays 9:00 am-1:00 pm there will be one fulltime employee and 6-8 volunteers accepting donations of merchandise and providing customer service in the retail sale of merchandise. It is anticipated that the traffic to and from the site during operating hours will NOT have a negative impact on traffic flow in the area nor will it adversely affect neighboring properties.**
- 4) There will not be a need to add to or decrease building or parking space.**
- 5) We currently hold a retail sales tax license and are unaware of any additional licenses that may be required to operate at the property.**

017424

STATE OF WISCONSIN - MARATHON COUNTY
CSM FILED VOL. 83 PAGE 81
06/14/2016 3:19:00 PM
MICHAEL J. SYDOW, REGISTER OF DEEDS

Michael J. Sydow

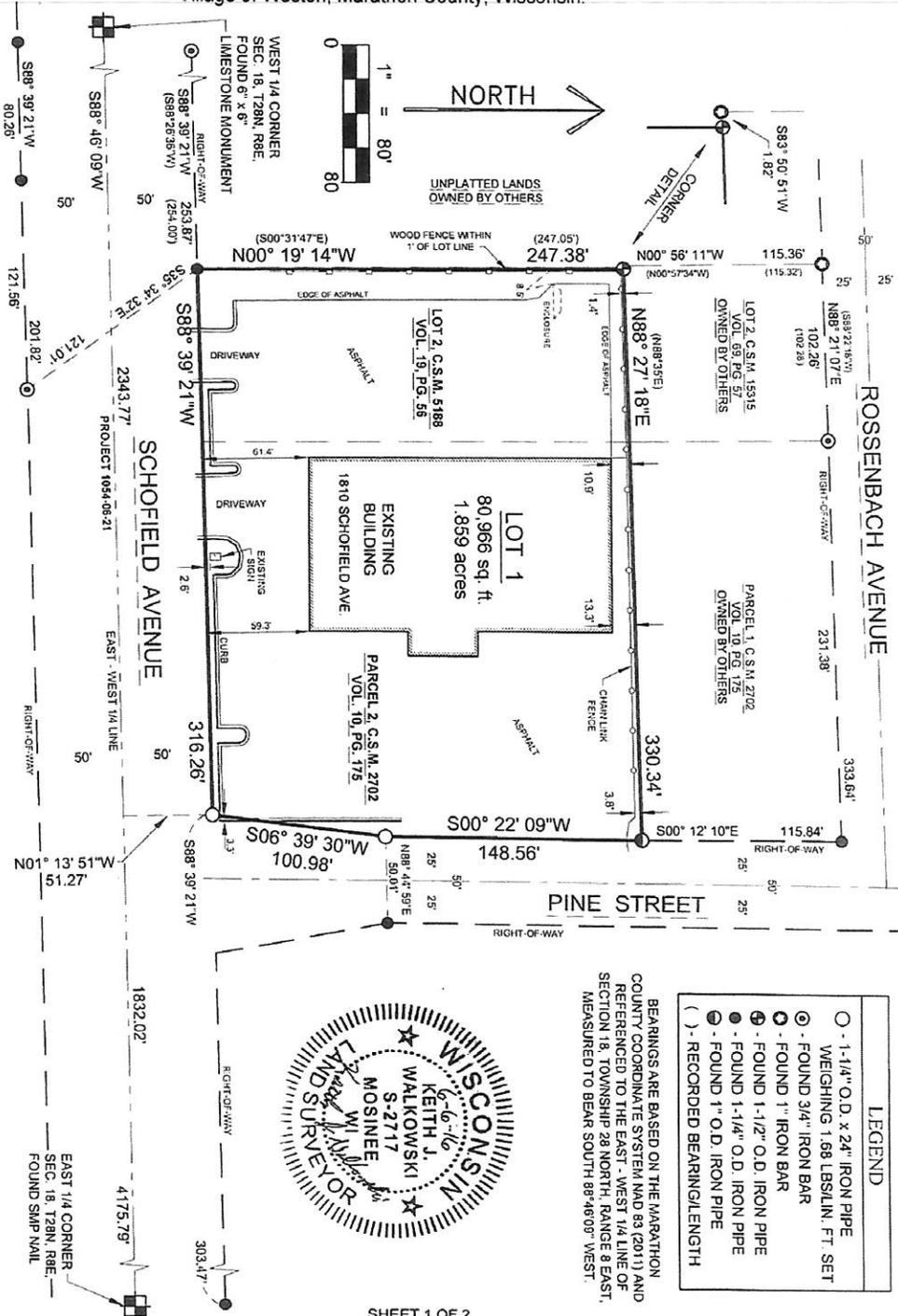
City 30.00



DOC# 1715424

MARATHON CO. CERTIFIED SURVEY MAP NO. 17424

Of Parcel 2 of Certified Survey Map Number 2702 recorded in Volume 10 of Certified Survey Maps on Page 175 and of Lot 2 of Certified Survey Map Number 5188 recorded in Volume 19 of Certified Survey Maps on Page 56 located in part of the Southwest 1/4 of the Northeast 1/4 of Section 18, Township 28 North, Range 8 East, Village of Weston, Marathon County, Wisconsin.



LEGEND

- - 1-1/4" O.D. x 24" IRON PIPE
- ⊙ - FOUND 3/4" IRON BAR
- ⊙ - FOUND 1" IRON BAR
- ⊕ - FOUND 1-1/2" O.D. IRON PIPE
- ⊕ - FOUND 1-1/4" O.D. IRON PIPE
- ⊕ - FOUND 1" O.D. IRON PIPE
- () - RECORDED BEARING/LENGTH

BEARINGS ARE BASED ON THE MARATHON COUNTY COORDINATE SYSTEM HAD 83 (2011) AND REFERENCED TO THE EAST - WEST 1/4 LINE OF SECTION 18, TOWNSHIP 28 NORTH, RANGE 8 EAST, MEASURED TO BEAR SOUTH 88°48'00" WEST.

SHEET 1 OF 2

RIVERSIDE LAND SURVEYING LLC 6304 KELLY PLACE WESTON, WI 54476 PH 715-241-7500 - FAX 715-355-6894 email - mail@riversidelandsurveying.com	DRAWN BY M.F.L.	DATE MAY 19, 2016
	CHECKED BY K.J.W.	PROJECT NO. 2446
PREPARED FOR: HABITAT FOR HUMANITY		

MARATHON CO. CERTIFIED SURVEY MAP NO. 17424

Of Parcel 2 of Certified Survey Map Number 2702 recorded in Volume 10 of Certified Survey Maps on Page 175 and of Lot 2 of Certified Survey Map Number 5188 recorded in Volume 19 of Certified Survey Maps on Page 56 located in part of the Southwest 1/4 of the Northeast 1/4 of Section 18, Township 28 North, Range 8 East, Village of Weston, Marathon County, Wisconsin.

I, Keith J. Walkowski, Professional Land Surveyor S-2717, hereby certify to the best of my knowledge and belief: That I have surveyed, mapped and divided Parcel 2 of Certified Survey Map Number 2702 recorded in Volume 10 of Certified Survey Maps on Page 175 and of Lot 2 of Certified Survey Map Number 5188 recorded in Volume 19 of Certified Survey Maps on Page 56 located in part of the Southwest 1/4 of the Northeast 1/4 of Section 18, Township 28 North, Range 8 East, Village of Weston, Marathon County, Wisconsin, described as follows:

Commencing at the East 1/4 corner of said Section 18; Thence South 88°46'09" West along the East - West 1/4 line, 1832.02 feet; Thence North 01°13'51" West, 51.27 feet to the North right-of-way line of Schofield Avenue and the point of beginning; Thence South 88°39'21" West along said North right-of-way line, 316.26 feet to the West line of said Lot 2 of Certified Survey Map Number 5188; Thence North 00°19'14" West along said West line, 247.38 feet to the South line of Lot 2 of Certified Survey Map Number 15315 recorded in Volume 69 of Certified Survey Maps on Page 57; Thence North 88°27'18" East along said South line and the South line of Parcel 1 of Certified Survey Map Number 2702 recorded in Volume 10 of Certified Survey Maps on Page 175, 330.34 feet to the West right-of-way line of Pine Street; Thence South 00°22'09" West along said West right-of-way line, 148.56 feet; Thence South 06°39'30" West along said West right-of-way line, 100.98 feet to the point of beginning.

That the above described parcel of land contains 80,966 square feet or 1.859 acres, more or less;

That said parcel is subject to all easements, restrictions and right-of-ways of record;

That I have made this survey, division and map thereof at the direction of Habitat for Humanity, Agent of said parcel;

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes, Chapter A-E7 of the Wisconsin Administrative Code and the subdivision regulations of the Village of Weston in Surveying, Mapping and Dividing the same.

That said map is a correct and accurate representation of the exterior boundaries of said parcel and the division thereof.

Dated this 6th day of JUNE, 2016

Keith J. Walkowski
Riverside Land Surveying LLC
Keith J. Walkowski
P.L.S. No. 2717



Village of Weston Approval Certificate:

Reviewed and Approved under Chapter 74 of the Village of Weston Ordinance.

By James L. Higgins

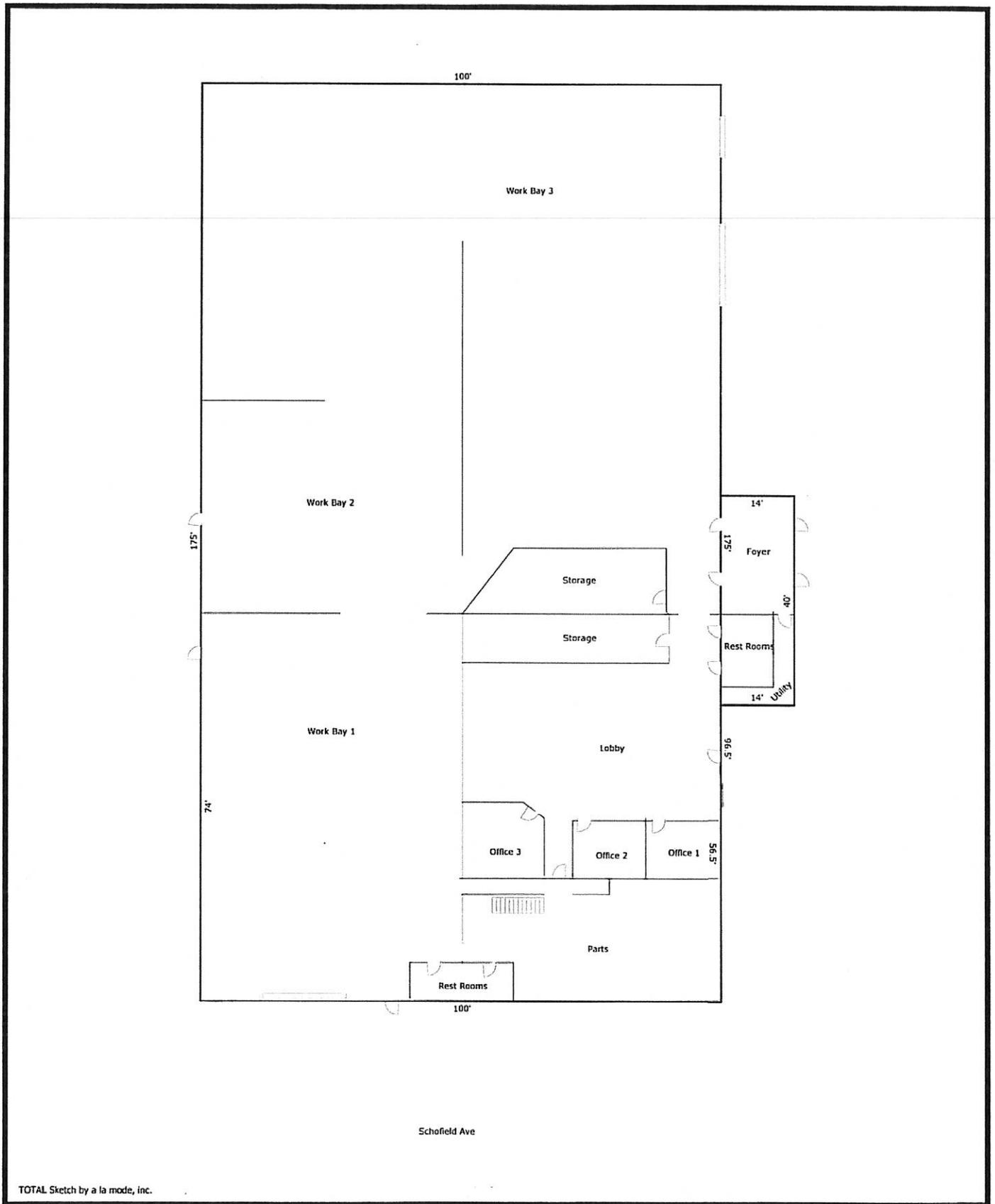
Date 6/17/16
Village of Weston Zoning Department

 RIVERSIDE LAND SURVEYING LLC 6304 KELLY PLACE WESTON, WI 54476 PH 715-241-7500 - FAX 715-355-6894 email - mail@riversidelandsurveying.com	DRAWN BY M.F.L.	DATE MAY 19, 2016
	CHECKED BY K.J.W.	PROJECT NO. 2446
PREPARED FOR: HABITAT FOR HUMANITY		



0001715424

FLOOR PLAN



- (b) B-1 *Neighborhood Business*. The B-1 district accommodates small-scale office, retail, and service uses compatible with adjacent residential neighborhoods. Development within this district is served by public sanitary sewer and water services. The B-1 district is intended for areas planned for commercial uses, and for small portions of areas planned for neighborhood development, within the Comprehensive Plan. (Predecessor district: B-1 Neighborhood Convenience Retail and Service)
 - (c) B-2 *Highway Business*. The B-2 district accommodates a range of large- and small-scale office, retail, commercial service, restaurant, and lodging uses. Development within this district is served by public sanitary sewer and water services. This district is intended for mapping (i) along major highway corridors; (ii) outside of the Village's neighborhood areas; and (iii) in areas planned for commercial uses within the Comprehensive Plan. (Predecessor district: B-2 Community Retail and Service)
 - (d) B-3 *General Business*. The B-3 district accommodates a wide range of commercial uses, along with compatible wholesale, light industrial, and outdoor storage and display uses. Development within this district is served by public sanitary sewer and water services. This district is intended for mapping (i) along major highway corridors; (ii) outside of the Village's neighborhood areas; and (iii) in areas planned for commercial uses, and occasionally in areas planned for industrial uses, within the Comprehensive Plan. (Predecessor district B-3 General Commercial)
 - (e) BP *Business Park*. The BP district accommodates office, light industrial, and other compatible businesses and support uses in a controlled business or office park setting. Allowable uses and activities include those associated with low levels of noise, odor, vibrations, and particulate emissions. Development within this district is served by public sanitary sewer and water services. This district is intended for mapping in areas planned for commercial uses, and occasionally in areas planned for industrial uses, within the Comprehensive Plan. (Predecessor district: B-P Business Park and B-4 Office)
 - (f) LI *Limited Industrial*. The LI district accommodates primarily light industrial, storage, office, and other compatible businesses and support uses. Allowable uses are geared toward activities which are not associated with high levels of noise, odor, particulate emissions, outdoor activities, and other potential nuisances. Development within this district is served by public sanitary sewer and water services. This district is intended for mapping in areas planned for industrial uses within the Comprehensive Plan. (Predecessor district: LMD Light Manufacturing Distribution)
 - (g) GI *General Industrial*. The GI district accommodates a range of manufacturing, assembling, fabrication and processing, bulk handling, storage, warehousing, trucking, and utility uses. The uses associated with this district may have significant off-site impacts such as heavy truck traffic, noise, and odors. Development within this district is served by public sanitary sewer and water services. This district is intended for mapping in limited areas planned for industrial uses within the Comprehensive Plan, at the Village's discretion. (Predecessor district: M1 Manufacturing and warehousing)
- (4) **Other Districts.**
- (a) N *Neighborhood*. The N district is intended to facilitate cohesive planned neighborhood developments that include desirable and innovative variations in the mix and relationship of uses, structures, and open spaces, consistent with proven principles of high-quality neighborhood design including traditional neighborhood design and conservation neighborhood design. Development within this district is served by public sanitary sewer and water services. See Article 14 for specifications. (Predecessor district: TND Traditional Neighborhood Development)

P = Permitted Use		C = Conditional Use		T = Temporary Use		Empty Cell = Prohibited Use		
Land Use Category (#) Land Use Type		Zoning District (see key at end of figure)						
		INT	B-1	B-2	B-3	BP	LI	GI
(10)	Community Living Arrangement (16+)		C	C		C		
Commercial Land Uses (see Section 94.4.05 for descriptions and standards for each land use)								
(1)	Office	C	P	P	P	P	P	P
(2)	Personal or Professional Service		P	P	P	P	P	P
(3)	Artisan Studio		P	P	P	C	C	
(4)	Group Day Care Center	P	P	P	P	C	C	
(5)	Indoor Sales or Service		P	P	P	C	C	
(6)	Outdoor Display		C	C	P		C	C
(7)	Indoor Repair and Maintenance			P	P		P	P
(8)	Outdoor and Vehicle Repair and Maintenance			C	P		P	P
(9)	Drive-In or Drive-Through Sales or Service		C	P	P	C	C	C
(10)	Indoor Commercial Entertainment		C	P	P	P	C	C
(11)	Outdoor Commercial Entertainment		C	C	C			
(12)	Commercial Animal Establishment				P			
(13)	Bed and Breakfast		C	C				
(14)	Boarding House			C				
(15)	Campground	C						
(16)	Commercial Indoor Lodging		C	P	P	P		
(17)	Tourist Rooming House		C					
(18)	Adult Entertainment or Adult-Oriented Establishment							C
(19)	Large Retail and Commercial Service Development			C	C			
(20)	Microbeverage Production Facility		C	P	P	C	P	P

Performance Standards:

1. Except as provided in subsections 3. and 4. below, no Community Living Arrangement shall be established within 2,500 feet of any other such facility regardless of its capacity unless the Plan Commission and Village Board agree to a reduction in spacing. Two community living arrangements may be adjacent if the Village authorizes that arrangement and if both facilities comprise essential components of a single program.
2. Except as provided in subsection 3 below, the total combined capacity of all Community Living Arrangements (of all capacities) in the Village shall not exceed one percent of the combined population of the Village (unless specifically authorized by the Village Board following a public hearing). The applicant shall be responsible for providing information on the total, combined capacity of all Community Living Arrangements within the Village and its Extraterritorial Zoning Area.
3. A foster home that is the primary domicile of a foster parent and that is licensed under Wis. Stat. § 48.62, or an adult family home certified under Wis. Stat. § 50.032 (1m)(b) shall be a permitted use in all residentially zoned areas and are not subject to subsections 1. and 2. above except that foster homes operated by corporations, child welfare agencies, churches, associations, or public agencies shall be subject to subsections 1 and 2.
4. No adult family home described in Wis. Stat. §50.01(1)(b) may be established within 2,500 feet, or any lesser distance established by an ordinance of the Village, of any other adult family home described in Wis. Stat. §50.01(1)(b), or any Community Living Arrangement. An agent of an adult family home described in Wis. Stat. §50.01(1)(b) may apply for an exception to this requirement, and the exception may be granted at the discretion of the Village.
5. There shall be no maximum to the number of Community Living Arrangement facilities, except as other performance standards may indirectly establish a limit.
6. Minimum Required Off-Street Parking: three spaces, plus one space for every three residents over eight residents (except for those residents under 16 years of age and otherwise without the ability to drive).

Section 94.4.05: Commercial Land Use Types

(1) Office.

Includes all exclusively indoor land uses whose primary functions are the handling of information, administrative services, or both, generally with little direct service to customers on-site. Office uses that are accessory to a principal residential use of a property are not considered “Office” uses, but are instead regulated as “Home Occupations” or “Residential Businesses” under this chapter.

Performance Standards:

1. Minimum Required Off-Street Parking: one space per 300 square feet of Gross Floor Area.

(2) Personal or Professional Service.

Exclusively indoor land uses whose primary function is the provision of services directly to an individual on a walk-in or on-appointment basis. Examples include professional services, banks, insurance or financial services, realty offices, medical offices and clinics, veterinary clinics, barber shops, and beauty shops. Service uses that are accessory to a principal residential use of a property are not considered “Personal or Professional Service” uses, but are instead regulated as “Home Occupations” or “Residential Businesses” under this chapter.

Performance Standards:

1. Minimum Required Off-Street Parking: one space per 300 square feet of Gross Floor Area.

(3) **Artisan Studio.**

A building or portion thereof used for the preparation, display, and sale of individually crafted artwork, photography, jewelry, furniture, sculpture, pottery, leathercraft, hand-woven sections, and related items, and occupied by no more than five artists or artisans. Uses occupied by more than five artists or artisans shall be considered a “Light Industrial” use under Section 94.4.08(1). Studios that are accessory to a principal residential use of a property are not considered “Artisan Studio” uses, but are instead regulated as home occupations under this chapter.

Performance Standards:

1. Minimum Required Off-Street Parking: one space per 300 square feet of Gross Floor Area.

(4) **Group Day Care Center.**

A land use in which licensed persons and facilities provide child care services for nine or more children, such as day care centers, pre-schools, and nursery schools. Such land uses may be operated as a stand-alone use, or in conjunction with another principal land use on the same site such as a church, primary school, business, or civic organization. Any child care facility located on the same site as a principal land use, and that is reserved solely for the use of company employees and their guests on the same site, are instead regulated as a “Company Provided On-Site Recreation or Child Care” accessory use.

Performance Standards:

1. No Group Day Care Center shall be located within a building that is also occupied as a residence.
2. Minimum Required Off-Street Parking: one space per five students, plus one space for each employee on the largest work shift.

(5) **Indoor Sales or Service.**

Includes all land uses, except as otherwise separately listed in this Section, that conduct or display sales or rental merchandise or equipment, or that conduct non-personal or non-professional services, entirely within an enclosed building. This includes a wide variety of retail stores and commercial service uses not otherwise listed in this Chapter, along with self-service facilities such as coin-operated laundromats. Includes uses like retail bakeries and delis where the consumption of products typically occurs off-site, but does not include restaurants, which are instead classified as “Indoor Commercial Entertainment” uses. Display of products outside of an enclosed building shall be considered an “Outdoor Display Incidental to Indoor Sales” accessory use, or, if outdoor sales exceed 15 percent of the total sales area of the building(s) on the property, an “Outdoor Display” principal land use. Sales or service uses that are accessory to a principal residential use of a property are not considered “Indoor Sales or Service” uses, but are instead regulated as “Home Occupations” or “Residential Businesses” under this chapter. Does not include any “Commercial Animal Establishment” use.

Performance Standards:

1. Use may also be subject to conditional use permit requirements and adherence to performance, building design, and site design standards in Section 94.10.06 if classified as a “Large Retail and Commercial Service Development” under Section 94.10.04. However, following initial conditional use permit approval, individual “Indoor Sales or Service” uses may occupy the constructed spaces without the need for a further conditional use permit.
2. Minimum Required Off-Street Parking: one space per 300 square feet of Gross Floor Area.

Figure 5.02(1): Non-residential District Density and Intensity Standards

Zoning District	Minimum Lot Area (sf)	Minimum Lot Width (ft)	Minimum Public Street Lot Frontage (ft)	Minimum Landscape Surface Ratio (LSR)	Max Floor Area Ratio (FAR) (a)
INT Institutional	30,000	80	40	20%	0.5
B-1 Neighborhood Business	20,000	80	40	20%	0.5
B-2 Highway Business	30,000	80	40	20%	1.0
B-3 General Business	30,000	80	40	20%	0.5
BP Business Park	40,000	100	50	20%	1.5
LI Light Industrial	30,000	80	40	15%	0.5
GI General Industrial	40,000	100	50	10%	1.0
(a) Does not include structured parking or underground parking.					

Figure 5.02(2): Non-residential District Setback and Height Standards

Zoning District	Minimum Setbacks (ft) (b)						Minimum Principal Building Separation (ft)	Maximum Building Height (stories/ft, whichever is greater)	
	Principal Building to Front and Street Side Lot Lines (a)	Principal Building to Interior Side Lot Line	Principal Building to Rear Lot Line	Accessory Building to Interior Side/Rear Lot Line (a) (d)	Hard or Gravel Surface (c)			Principal Buildings	Accessory Buildings
					Front or Street Side	Interior Side or Rear			
INT Institutional	20	8	20	3	15	10	10	3/45	1/20
B-1 Neighborhood Business	10	6	10	3	10	5	10	3/45	1/20
B-2 Highway Business	30	12	20	6	15	10	10	3/45	1/20
B-3 General Business	30	12	20	6	15	10	10	3/45	1/20
BP Business Park	30	12	20	10	15	10	10	4/60	1/20
LI Light Industrial	30	12	20	10	10	5	10	2/30	1/20
GI General Industrial	40	15	30	10	10	5	10	4/60	2/35

(a) See Section 94.4.09(1) for standards related to detached accessory buildings located within front yard areas, minimum separation requirements associated with detached accessory structures, and other standards associated with detached accessory structures.

(b) Additional setbacks may be required along zoning district boundaries for bufferyards, if required for a particular land use in Article 4 or Section 94.11.02(3)(d).

(c) Includes all gravel and hard surfaces as defined in Section 94.17.04. This setback excludes intrusions required for driveway entrances and permitted or required for cross access driveways and pedestrian ways; shared driveways; and shared parking lots.

(d) Front and street side yard setbacks for accessory structures as the same as the minimum front and street side setback for the principal structure.

Article 6: OVERLAY ZONING DISTRICTS

Section 94.6.01: Purpose and Application of Overlay Districts

- (1) **Purpose.** The purpose of this Article is to establish and convey overlay zoning districts wherein certain additional requirements are superimposed on the underlying standard zoning districts set forth in Article 2 of this Chapter. Each overlay district is intended to address a special land use circumstance beyond those addressed by the underlying standard zoning district.
- (2) **Representation on Zoning Map.** Except where otherwise stated, the overlay zoning districts described in this Article are represented on the Official Zoning Map (or on a separate Official Overlay Zoning Map). The boundaries or presence of each overlay zoning district may be amended via the rezoning procedure in Section 94.16.03.
- (3) **Other Overlay Zoning Districts.** Floodplain, shoreland, and shoreland-wetland overlay zoning districts are described in separate articles of this Chapter, as each is adopted, maintained, enforced, and from time to time amended under unique state statutory requirements.

Section 94.6.02: D Design Overlay District

- (1) **Description and Purpose.** The D Design overlay district is intended to codify unique and specific site and building design standards to preserve and enhance the appearance, character, and property values of key districts within the Village. The unique design standards applicable within each D district are either included in this section or within separate plans or ordinances duly adopted by the Village Board, as indicated in this section.
- (2) **D Design Overlay District Boundaries.** The boundaries of each D overlay district are as depicted on the Official Zoning Map and/or Official Overlay Zoning Map. A unique suffix is applied to each D district related to its geographic area or district name.
- (3) **Established D Design Overlay Districts.** The following D Design overlay districts, and documents within which design standards are located, are as follows:
 - (a) **D-CONDO *Condominium Overlay*.** The Village Board hereby exercises the authority set forth in Wis. Stat. § 703.27 in the regulation of condominiums. This Chapter does not impose a greater burden or restriction and does not provide a lower level of service to a condominium than would be imposed or is imposed if the condominium ownership were under a different form of ownership.
 1. Rezoning to the D-CONDO district shall be per Section 94.16.02. In addition to the normal rezoning application requirements in that section, the applicant shall submit a condominium plat and site plan meeting the requirements of Section 94.16.09.
 2. No use or structure in the D-CONDO district shall be established, maintained, or expanded except in conformity with a condominium plat and site plan approved under Section 94.16.09. Such requirements and conditions made a part of an approved condominium plat and site plan shall be, along with the site plan itself, construed to be and enforced as a part of this Chapter.
 3. Within the D-CONDO overlay district, the only permitted uses shall be residences in the condominium form of ownership, Community Garden, Passive Outdoor Public Recreation, Active Outdoor Public Recreation, Public Service or Utility, Community Living Arrangement (1-8 residents), Detached Accessory Structure (for Residential Use), Family Day Care Home (4-8 children), Home Occupation, and Private Lake (Pond).
 4. Density, Intensity and Bulk Regulations in Article 5 shall be applied to each development within the D-CONDO district to the extent determined practical by the Village approval authority at the time of rezoning to the D-CONDO district, or subsequent condominium plat and site plan amendment approved by the Village.
 5. Each D-CONDO district shall be no less than two acres in area.

6. Each interior condominium site shall be at least 24 feet in width. Each condominium site located on a corner of a public street shall be at least 48 feet in width. Each interior condominium site that is intended to be at the end of a row of attached condominium units shall be at least 34 feet wide.
 7. Each condominium development shall not exceed a density of seven dwelling units per acre, not including street rights-of-way and stormwater detention areas.
 8. No more than four condominium units shall be built in a row having the same building line. In a condominium building having more than four dwelling units, the required minimum offset in the building line shall be three feet. No single condominium building shall exceed 250 feet in any horizontal dimension.
- (b) *D-RT Rail-to-Trail Overlay*. This district is intended to establish unique controls for lands, buildings, and uses adjacent to the Mountain Bay Trail and other potential “rail-to-trail” conversions in the Village, while still providing for an appealing environment for recreational use of the trail. This district promotes coordinated site planning as a means to achieve flexibility from certain provisions normally applicable to development in the underlying standard zoning district.
1. Rezoning to the D-RT overlay district shall be per Section 94.16.02. In addition to the normal rezoning application requirements in that section, the applicant shall submit a site plan meeting the requirements of Section 94.16.09, along with a written explanation of why D-RT zoning is desired and how the standards of this subsection will be met.
 2. No use in the D-RT district shall be established, maintained, or expanded except in conformity with a site plan approved under Section 94.16.09. Such requirements and conditions made a part of an approved site plan shall be, along with the site plan itself, construed to be and enforced as a part of this Chapter.
 3. Specific lot size, density, open space, building location, height, size, floor area, screening and other such requirements within each site zoned D-RT shall be based upon determination as to their appropriateness to the proposed uses or structures as they relate to the total environmental concept of the development, and consistent with the purpose of this Chapter. The D-RT district does not allow any greater range of land uses than that allowed within the underlying standard zoning district.
 4. Design of and relative to adjoining properties, streets, sidewalks, street lighting, storm drainage, lot size, lot arrangement, screening, or other elements of the site development shall be based upon determination as to the appropriate standards necessary to effectively implement the specific function in the specific situation, and compatible with the trail. In no case shall minimal standards be less than those necessary to protect the public health, safety and welfare in the determination of the Village.
 5. The site plan shall be prepared with competent professional advice and guidance and shall produce significant benefits in terms of improved environmental design in the determination of the Village approval authorities.
 6. The site plan shall reflect sensitive consideration of the physical nature of the site with particular concern for conservation of natural features, preservation of open spaces, careful consideration of terrain and landscaping which protects and enhances the recreational use of the trail, and proper drainage and preservation of natural terrain wherever appropriate.
 7. The site plan shall serve to implement the spirit and intent of the Village’s Comprehensive Plan and Parks and Open Space Plan, especially as related to preservation of conservation and recreation areas, creation of common open spaces, and establishment of a diversified and interesting development pattern.
 8. The proposed design shall be functional in terms of circulation, parking, emergency services, delivery of other services and utilities, and snowplowing. Applicable building and site design,

landscaping, and performance standards within Articles 10 through 12 shall be met, except where specifically waived or modified by the Plan Commission.

(c) *D-CC Commercial Corridor Overlay*. The purpose of the D-CC overlay district is to establish a greater development design requirements along the most highly traveled, utilized, and visited roadway corridors in the Village. The objectives are to achieve a more unified vision and development form along these corridors, promote orderly and comprehensive development proposals, direct site and building designs that will stand the test of time, enhance the image of and entryway experiences in the Village, facilitate motor vehicle, bike, and pedestrian movement, enhance the surrounding neighborhoods, and create a unique sense of place. See definition of placemaking in Section 94.17.04. Single-family and two-family dwellings are exempt from the requirements of the D-CC district, and may not benefit from the bonus densities or setbacks if in this overlay district.

1. The maximum allowable floor area ratio (FAR) in the D-CC overlay zone may exceed that allowed in the base zoning district under Figure 5.02(1), per the following schedule (totals are additive):
 - a. Add 0.5 FAR if outdoor recreational, leisure, plazas, dining, activity, or other similar space is incorporated into the development, not including space in parking lots;
 - b. Add 0.5 FAR if one or more buildings in the development includes residential uses combined with commercial service, retail, office, and/or institutional uses;
 - c. Add 0.25 FAR if development includes residential uses in separate buildings from commercial service, retail, office, and/or institutional uses on the same site. Add 0.50 FAR if development includes other features to mitigate the impact of greater density on the environment, in the opinion of the Zoning Administrator, such as graduated setbacks of upper stories, exceptional building transparency (windows), pervious pavement, and vegetative or active roofs.
2. Where the base zoning district is INT, B-2, B-3, or B-P, the minimum required setback from the principal building to the front and street side lot lines shall be building setbacks in Figure 5.02(2) shall be reduced to 15 feet.
3. The maximum required setback from each new principal building to the front lot line shall be 40 feet, except for multiple building developments where at least 50% of the street frontage is occupied by buildings that meet this requirement.
4. All loading and service areas shall be orientated away from all street frontages. In cases where the parcel is surrounded by right-of-way on three or more sides, this requirement may be waived; however, any such area shall be screened by a landscaped bufferyard as established in Section 94.11.02(3)(d) or by a wall or fence as described below.
5. Parking lots shall be orientated to the rear and/or side of the buildings, and not closer to the front lot line than the principal building except in multiple building developments where at least 50% of the street frontage is occupied by buildings.
6. Parking facilities within a parcel may be shared if multiple uses cooperatively establish and operate parking facilities and if these uses generate parking demands primarily when the remaining uses are not in operation. Applicants shall make an application to the Zoning Administrator for authorization for shared parking. Applicants shall include a draft of the easement establishing formal shared-parking between the applicant and all affected property owners. Shared parking arrangements may be approved by the site plan approval authority upon determination that the above stated off-street parking requirements for each use are met during said use's operational hours.
7. Buildings and parking lots shall be orientated to facilitate and protect pedestrian movement, such as via a pedestrian plaza or promenade. All public and employee building entryways shall be connected via walkways to parking lots and

8. Wherever practical in the determination of the Zoning Administrator, public roadway access shall be shared, and cross-access driveways and pedestrian ways shall be provided, between adjoining properties.
 9. All utility systems including, but not limited to water, electric, gas, sewer, storm water, telephone, fiber optics servicing the site, shall be installed underground.
 10. Wall and fences between the street side landscaping area and the building shall not exceed 3 feet in height unless used to screen public plazas, patios, outdoor dining areas or similar permitted outdoor uses in conformance with Section 94.4.05(11). Materials and design of all walls and fences shall be consistent with the architectural theme and materials of the building.
 11. Materials and design of all walls, fences, refuse and recycling enclosures, signs, and exterior lighting shall be unified across the site and consistent with the architectural theme of the building. No wall, fence, or enclosure shall exceed 6 feet in height. Roofed enclosures may exceed this limit, but shall be no higher than 10 feet in height.
 12. If specified in an adopted element of the Village's Comprehensive Plan for the particular geographic area in which the development is proposed, building, site, landscaping and other design components of the proposed development shall conform to the standards in that Comprehensive Plan element.
 13. The Plan Commission may approve a waiver or modification to one or more of the above requirements where it finds such requirement(s) would create practical difficulties in the development of the site and compensating design elements are incorporated.
- (d) *D-WM Weston Marketplace Overlay*. Design requirements are included within the Schofield Avenue Lifestyle Center Master Plan, dated October 19, 2006, amendments made to the Weston Center Master Plan, dated November 6, 2013 and now known as the Weston Marketplace Master Plan and as such plan may be amended or supplemented from time to time by the Plan Commission under the site plan approval procedures in Section 94.16.09. All future buildings depicted in such plan shall utilize materials, architectural design, and signage that are consistent with those used on the constructed "Retail Center #1" in such Plan. The areas around such buildings shall be landscaped in accordance with such Plan.
- D-R Renaissance Development Overlay*. Design requirements are included within the Renaissance Development Plan, dated December 19, 2007 and as such plan may be amended or supplemented from time to time by the Plan Commission under the site plan approval procedures in Section 94.16.09. [Amended via Ord. 15-005, 5/22/2015]

Section 94.6.03: WHP Wellhead Protection Area Overlay District

- (1) **Description and Purpose.** The Village depends exclusively on ground water for a safe drinking water supply. Certain land use practices and activities can seriously threaten or degrade ground water quality. The purpose of this Section is to institute land use regulations and restrictions to protect the Village's municipal water supply and well fields, and to promote the public health, safety, and general welfare of the residents, employees, and visitors of the Village. The restrictions imposed in this Section are in addition to those of the underlying standard zoning district or any other provisions of this Chapter. This section is established under the authority of Wis. Stat. § 62.23(7)(a) and (c) and Wis. Admin Code NR Chapter 811.
- (2) **Wellhead Protection Area Overlay District Boundaries.** The regulations of this Section shall apply to land within Wellhead Protection Area district boundaries mapped as "WHP" on the Official Zoning Map and/or Official Overlay Zoning Map. The WHP district is further divided into WHP-A and WHP-B, on the Map, indicating different zones of groundwater contribution to the associated well. WHP-A indicates one year time of travel to the wellhead (Zone A); WHP-B indicates five year time of travel (Zone B). The

list of conditional and prohibited uses in the WHP district varies depending on whether the property is in WHP-A or WHP-B per Figure 6.03.

- (3) **Separation Distance Requirements.** Minimum separation distances listed in Wis. Admin. Code NR Chapter 811 shall be maintained between the well and other potential sources of contamination, per Wis. Admin. Code NR §811.12(5)(d), where such potential sources of contamination were not in existence on the date that the district was first mapped on the Official Zoning Map or Official Overlay Zoning Map in that area and were not in continuous operation following that date. Such potential sources of contamination include, but may not be limited to:
- (a) Emergency or standby power system.
 - (b) Storm water retention or detention pond.
 - (c) Storm sewer main.
 - (d) Sanitary sewer main, manhole, lift station.
 - (e) Storage tank for gasoline, diesel, bio-diesel, ethanol, other alternative fuel, fuel oil, petroleum product, motor fuel, burner fuel, lubricant, waste oil, or hazardous substances.
 - (f) Private on-site wastewater treatment system tank or dispersal component.
 - (g) Cemetery.
 - (h) Land application of municipal, commercial, or industrial waste.
 - (i) Agricultural, industrial, commercial or municipal waste water treatment plant, treatment units, lagoons, or storage structures.
 - (j) Manure stacks or storage structures.
 - (k) Solid waste storage, transportation, transfer, incineration, air curtain destructor, processing, wood burning, one time disposal or small demolition facility.
 - (l) Sanitary landfill.
 - (m) Any property with residual groundwater contamination that exceeds NR 140 enforcement standards.
 - (n) Salt or deicing material storage area.
- (4) **Conditional and Prohibited Uses.** Figure 6.03 lists land uses that are conditional and prohibited (restricted) land uses within the different WHP districts, with a “C” indicating conditional status and a “R” indicating prohibited (or restricted) status. The land uses listed as conditional uses within a particular Wellhead Protection Area overlay district are only allowed if such uses are also listed as permitted or conditional uses in the underlying standard zoning district (See Figures 3.04 and 3.05). Uses marked with a “P” and other uses not listed below are permitted by right in the associated Wellhead Protection Area overlay district, provided that such uses are also permitted by right in the underlying standard zoning district. Any of the following uses that are not allowed in the underlying standard zoning district, per Figures 3.04 and 3.05, may not be established in the Wellhead Protection Area district that overlays that standard zoning district. All uses shall be further subject to the separation standards in subsection (3). Existing potential sources of contamination and land uses as of March 18, 2015 shall be permitted to continue subject to the requirements in subsection (6) below.

Figure 6.03: Conditional (C), Prohibited (R), and Permitted (P) Uses in WHP Overlay Districts

Land Use	Status in WHP-A District	Status in WHP-B District
Animal confinement facilities	R	C
Asphalt products manufacturing plants	C	C
Automobile fueling, service, painting, repair, and/or maintenance facilities	C	P
Building materials and product sales	C	P
Buried hydrocarbon, petroleum or hazardous chemical storage tanks. Hazardous chemicals are identified by OSHA criteria under 40 CFR Part 370.	R	C
Car washes	C	P
Cartage and express facilities	C	P
Cemeteries	C	C
Center-pivot or other large-scale irrigated agriculture operations	C	C
Chemical storage, sale, processing, and/or manufacturing facilities	C	C
Coal storage facilities	R	R
Composting and post-consumer material recycling and storage facilities	C	C
Dry cleaning establishments	R	C
Dumping or disposing of garbage, refuse, trash, or demolition material, including landfills but excluding composting and post-consumer recycling and storage facilities	R	R
Electronic circuit assembly plants	C	P
Electroplating plants	C	P
Exposed hydrocarbon, petroleum, or hazardous chemical storage tanks, with hazardous chemicals identified by OSHA criteria under 40 CFR Part 370, but not including residential LP gas tanks	R	C
Exterminating shops	R	P
Fertilizer or pesticide manufacturing or storage, facilities	R	C
Foundries and forge plants	C	C
Industrial liquid waste storage areas, indoor.	C	C
Industrial waste storage facilities, outdoor, such as industrial lagoons and pits	R	R
Junk yards and salvage yards	R	C
Manure and animal waste storage facilities, except for animal waste storage facilities regulated by Marathon County	R	C
Metal plating, reduction, and/or refinement plants	C	P
Mineral extraction operations	C	C
Motor and machinery service and assembly shops	C	C
Motor freight terminals, rail yards	C	C
Petroleum products processing	R	C
Pharmaceuticals manufacturing	C	C

Land Use	Status in WHP-A District	Status in WHP-B District
Photography studios involving the developing of film and pictures (digital excluded)	C	P
Plastics manufacturing	C	P
Printing and publishing establishments	C	C
Private on-site wastewater treatment systems designed for 12,000+ gallons per day flow	C	C
Private on-site wastewater treatment systems on new lots under 20,000 square feet	C	P
Pulp and paper manufacturing	C	C
Rendering plants and slaughterhouses	R	R
Salt or de-icing storage facilities	C	C
Septage, wastewater, or sewage spreading, storage, treatment or disposal, outdoor, except for lagoons and pits exclusively for industrial use	R	C
Storage, manufacturing or disposal of toxic or hazardous materials not otherwise listed	R	C
Storage or processing of extremely hazardous substances, radioactive materials or substances listed in Table 1, Wis. Admin. Code NR Chapter 140. (Extremely hazardous substances are identified by SARA/EPCRA criteria under 40 CFR Parts 302 and 355.)	R	R
Underground petroleum products storage tanks, and above-ground petroleum product storage tanks greater than 660 gallons. All new or replaced tanks shall also be installed in compliance with Wis. Admin. Code SPS Chapter 10.	C	P
Woodworking, wood preserving, and wood products manufacturing	C	P

(5) Conditional Use Permit Application Review Requirements.

(a) Application. In addition to conditional use permit application requirements in Section 94.16.06, the request shall include an environmental impact study or environmental assessment prepared by a licensed environmental engineer. Said report shall be forwarded to an engineer designated by the Village for recommendation and final decision by the Village. The applicant shall reimburse the Village for all consultant fees associated with this review at the invoiced amount plus administrative costs.

(b) Criteria. General criteria for conditional use permit approval are included within Section 94.16.06(7). In its consideration of conditional use permit applications for one of the listed conditional uses in subsection (4) within the associated Wellhead Protection Area overlay district, the Plan Commission shall also consider the following additional criteria:

1. The Village's responsibility as a public water supplier to protect and preserve public health, safety and welfare.
2. The potential of the proposed use to seriously threaten or degrade groundwater quality.
3. The availability of alternative uses, locations, and operational characteristics, and the cost, effect, and extent of availability of such alternatives.

4. The proximity of the applicant's property to other potential sources of contamination or vulnerable activities or uses.
 5. The then-existing condition of the associated well, well field, well recharge area, and the vulnerability to further contamination.
 6. The direction of flow of groundwater and other factors in the area of the applicant's property which may affect the speed of the groundwater flow, including topography, depth of soil, extent of aquifer, depth to water table, and location of private wells.
 7. The zone of contribution for, or distance from, the associated well within which the proposed use is located.
 8. Any other hydrogeological data or information which is available from any public or private agency or organization.
 9. The potential benefit, both economic and social, from the approval of the application.
- (c) Approval Conditions. In its approval of any conditional use permit within the Wellhead Protection Area overlay district, the Plan Commission may impose conditions to provide:
1. Environmental and/or safety monitoring to indicate whether the potential sources of contamination may be emitting any contaminants.
 2. A financial guarantee in a form and amount determined by the Village for future monitoring and cleanup costs.
 3. Any requirement authorized for existing potential sources of contamination and land uses under subsection (6).
- (6) **Requirements for Existing Potential Sources of Contamination and Land Uses.**
- (a) At the request of the Zoning Administrator, existing potential sources of contamination and land uses, as defined under Section 94.17.04, shall provide to the Village copies of all federal, state and local facility operation approvals or certificates and ongoing environmental monitoring results.
 - (b) Existing potential sources of contamination and land uses shall provide additional environmental or safety monitoring as deemed necessary by the Village Board, including the production of any and all environmental statements detailing the extent of chemical use and storage on the property.
 - (c) Existing potential sources of contamination and land uses, when upgrading or expanding, shall replace equipment or expand in a manner that improves existing environmental and safety technologies and performance. Before such operations upgrade or expand, the owner or operator may be required to obtain conditional use permit and/or site plan approval under this Chapter. If a conditional use under this Section, the operation would be required to comply with all applicable provisions of this Section, to the extent determined practical by the designated Village approval authority.
 - (d) At the request and to the satisfaction of the Zoning Administrator, existing potential sources of contamination and land uses shall prepare and file with the Village, a contingency plan for unexpected release of contaminants or other emergency events.
 - (e) Property owners with an existing agricultural use are exempt from requirements of this section as they relate to restrictions on agricultural uses, but such exemption shall only apply to operations in existence as of the date that the Wellhead Protection Area district was first mapped on the Official Zoning Map in that area, and continually operating after that date.
- (7) **Violations and Compliance.** In the event an individual and/or potential source of contamination within the Wellhead Protection Area district causes the release of any contaminants which endanger the public, in the determination of the Village, the individual and/or potential source of contamination causing said release shall immediately cease and desist, and initiate clean-up satisfactory to the Village and

the other State and Federal regulatory agencies. The person or other entity who releases such contaminants and the person who owns the potential source of contamination whereon the contaminants have been released shall be jointly and severally responsible for the cost of clean-up, consultant or other contractor fees, and all administrative costs for oversight, review and documentation, including for Village employees, contractors, equipment, and mileage. Following any such release, the Village may require additional environmental and/or safety monitoring. As a substitute for or in addition to any other action authorized above and under Section 94.16.19, the Village may commence legal action against the individual and/or potential source of contamination to recover the costs, together with the costs of prosecution.

Section 94.6.04: AH Airport Height Limitation Overlay District

- (1) **Description and Purpose.** The AH Airport Height Limitation Overlay District is intended to regulate the height of structures relative to air travel associated with the Wausau Downtown Airport, in order to protect the public health, safety, and welfare of airport users and residents and employees within the surrounding area. In addition to the standards in this Section, lands within the AH district may also subject to the regulations set forth in Title 22 of the City of Wausau Municipal Code.
- (2) **AH Airport Height Limitation Overlay District Boundaries.** The AH District extends to many areas under the geographic jurisdiction of this Chapter, limiting the height and use of structures within such jurisdiction. As such, the AH district may not be shown on the Village's Official Zoning Map and/or Official Overlay Zoning Map. The map listed in subsection (3)(a) serves as the official height limitation zoning map.
- (3) **AH Airport Height Limitation Overlay District Requirements.**
 - (a) The maximum height above mean sea level of all new or expanded structures shall be as indicated on the Height Limitation Zoning Map, Wausau Downtown Airport, Wausau, WI (Wisconsin Bureau of Aeronautics) dated December 6, 2007, as from time to time amended. The Zoning Administrator may permit a greater height than specified by such Map, if such greater height is favorably recommended by the Bureau of Aeronautics. This requirement shall not be applied retroactively to any structure lawfully erected before December 6, 2007, except if a subsequent vertical expansion of such a structure is sought.
 - (b) Prior to issuing or authorizing a zoning permit or building permit, the Zoning Administrator may require any information deemed necessary to make a determination regarding compliance with the requirements of AH district (such as exact height, location, and current and finished ground elevation of the structure) and/or refer the application to the airport owner or operator or the Wisconsin Bureau of Aeronautics for recommendation. If the Zoning Administrator elects to refer the application, the normally required timeframe for issuing a zoning permit or building permit under this Chapter and the Building Code shall be extended by ten days.
 - (c) No use may be made in the AH district that causes interference with radio or electronic facilities associated with the airport and any lighting that makes it difficult to distinguish airport lights, results in glare in pilot's eyes, or otherwise impairs visibility.
 - (d) Other than any use that meets the criteria in subsection (c), all allowable uses and structures within the AH District shall comply with all other applicable standards of the underlying standard zoning district and any other applicable overlay district requirements with regard to use and all other requirements.

remove such sign shall be a violation of this Chapter and shall be subject to enforcement under Section 94.16.19.

- (8) Signs shall also be maintained in accordance with Section 50.102. The Village may utilize abatement procedures in Chapter 50 to achieve compliance with this Section.

Section 94.13.11: Nonconforming Signs

- (1) **Generally.** Any signs lawfully existing at the time of the adoption or amendment of this Article may be continued although the use, size, or location does not conform to the provisions of this Article. However, such sign shall be deemed a nonconforming structure, and the provisions of Section 94.15.04 shall apply, except where otherwise limited by other provisions of this Chapter.
- (2) **Maintenance and Alteration of Nonconforming Signs.** Nonconforming signs may be maintained. No nonconforming on-premise sign shall be altered, extended, enlarged, converted, or moved to a new location without being brought into compliance with the requirements of this Article, except that sign face copy or materials may be repaired or replaced provided that sign area is not increased or reconfigured. Alteration of a nonconforming on-premise sign is considered to be any other change to the exterior appearance of any part of the sign, frame, supporting structure, lighting, material, height, location, or any other alterations as determined by the Zoning Administrator.
- (3) **Removal of Nonconforming Signs.** All nonconforming signs found not to be in compliance with the provisions of this Chapter shall be removed within 10 days of receiving written notice of noncompliance and removal from the Zoning Administrator, except as otherwise provided for in Section 94.13.02(6).
- (4) **Change of User of Nonconforming Signs.** Whenever there is a change in the user of a nonconforming sign (excluding off-premise signs), sign owner, or owner of the property on which the sign is located, the new sign user, sign owner, or new property owner shall forthwith notify the Zoning Administrator of the change. No new sign permit is required unless there is modification of the sign face or sign structure. The sign will continue to be considered a legal, nonconforming structure.
- (5) **Signs Related to Nonconforming Uses.** Business signs on the premises of a nonconforming use or structure may be continued, but new signs for such uses shall not be allowed, nor shall expand in number, area, height, or illumination.

Article 15: NONCONFORMING LOTS, USES, STRUCTURES AND SITES

Section 94.15.01: Purpose

The purpose of this Article is to establish requirements for nonconforming and substandard lots, nonconforming uses, nonconforming structures, and nonconforming sites created legally prior to March 18, 2015. Nonconforming signs are also addressed in Article 13.

Section 94.15.02: Nonconforming and Substandard Lots

- (1) **New Lots Meet New Lot Standards.** After March 18, 2015, no lot shall be created that does not meet the lot width, lot area, or lot frontage requirements of each zoning district, per Article 5.
- (2) **Development of Nonconforming Lots—Residential, RR, and AR Zoning Districts.** Within such zoning districts as mapped on March 18, 2015, a lot of record lawfully created but not meeting one or more of the minimum lot width, lot area, or lot frontage requirements for the zoning district may not be utilized for a new permitted-by-right use in that district, except where such use does not include or require the erection of any building. Such lots shall become buildable only in one of the following circumstances:
 - (a) The lot is combined with all or part of an adjoining lot(s) to meet all the minimum width, area, and frontage requirements for the zoning district,
 - (b) The lot is rezoned to another zoning district in which all width, area, and frontage requirements are met,
 - (c) The owner of the lot obtains a variance from the Board of Appeals meeting the requirements and subject to the limitations of Section 94.16.11.
 - (d) The lot is nonconforming only due to not meeting the associated “Minimum Public Street Frontage” in Figure 5.01(1), provided that minimum street frontage is no less than 33 feet.
- (3) **Development of Nonconforming Lots—All Other Zoning Districts.** Within all other zoning districts as mapped on March 18, 2015, a lot of record lawfully created and not designated as an unbuildable outlot, but that does not meet one or more the minimum lot dimensional requirements for the zoning district, may be utilized for a new permitted-by-right use in that district, provided the measurements of such lot area, dimensions, and setbacks are equal to or greater than 67 percent of the minimum requirements of the district. Said lot shall not be more intensively developed unless combined with one or more abutting lots (or portions thereof) so as to create a lot that meets the requirements of this Chapter.

[Amended via Ord. 15-009, 6/17/2015]

Section 94.15.03: Nonconforming Uses

- (1) **Continuance of a Nonconforming Use.**

Any nonconforming use lawfully established prior to the date it became prohibited by this chapter may be continued without expansion and in a manner of operation existing upon such date, except as specified for nonconforming uses in this section.

- (2) **Modification of a Nonconforming Use.**

A nonconforming use shall not be expanded, enlarged, extended, or reconstructed unless the use qualifies under subsection (4).

- (3) **Discontinuance of a Nonconforming Use.**

When any nonconforming use of any structure or land is discontinued for a period of twelve consecutive months, or is changed into different use, any future use of said structure or land shall be in complete conformity with the provisions of this chapter.

(4) Maintenance and Repair of a Nonconforming Use.

The ordinary maintenance and repair of a nonconforming use is permitted, including necessary repairs and incidental alterations that do not exacerbate the adverse impacts of the nonconforming use in relation to the intent and purpose of this chapter. Except as otherwise provided in this section, whenever a nonconforming use is damaged to the extent of more than 50 percent of the then-current equalized assessed value of the use and associated structure, such use shall not be restored except in conformity with the regulations of the district in which it is located. Notwithstanding the previous sentence, the structural repairs or alterations in a conforming structure containing a nonconforming use shall not during its lifetime exceed 50 percent of the equalized assessed value of said structure at the time of the first known structural repair or alteration, unless the use within said structure is permanently changed to a conforming use.

Section 94.15.04: Nonconforming Structures

(1) Continuance of a Nonconforming Structure.

Any structure lawfully established may be continued at the size and in a manner of operation existing upon such date, except as provided for nonconforming structures in this section.

(2) Expansion of a Nonconforming Structure. Any lawful nonconforming structure may be extended, enlarged, reconstructed, moved, or structurally altered, provided that said extension, enlargement, reconstruction, movement or alteration does not create any new violation of any setback or building requirements of the zoning district, nor increase the degree of the existing nonconformity except as:

- (a) permitted under subsection (3),
- (b) required by law or governmental order,
- (c) required to comply with the provisions of this chapter, or
- (d) in accordance with a variance granted by the Zoning Board of Appeals.

(3) Damaged or Destroyed Nonconforming Structure. A damaged or destroyed nonconforming structure may be restored to the size, location, and use that it had immediately before the damage or destruction occurred, without any limits on the costs of the repair, reconstruction, or improvement, if all of the following apply:

- (a) The nonconforming structure was damaged or destroyed on or after March 2, 2006.
- (b) The damage or destruction was caused by violent wind, vandalism, fire, flood, ice, snow, mold, or infestation.

(4) Unsafe Structures.

Nothing in this Chapter shall preclude the Zoning Administrator from initiating remedial or enforcement actions when a lawful nonconforming structure is declared unsafe or presents a danger to the public health, safety, or welfare.

(5) Future Modification of a Nonconforming Structure.

When any lawful nonconforming structure in any district is modified so as to be in conformance with the provisions of this Chapter, any future modification of said structure shall be in conformance with the provisions of this Chapter.

(6) **Ordinary Maintenance of a Nonconforming Structure.**

Ordinary maintenance, repairs (including repairs reasonably necessary to prevent the deterioration of a structure), and remodeling of a nonconforming structure are permitted. Ordinary maintenance, repairs, and remodeling include internal and external painting, decorating, paneling, the addition of acoustical ceilings, the installation of heating, electricity, plumbing (including fixtures), insulation, and the replacement of doors, windows, and other non-structural components.

(7) **Timing of Building Permit.**

Any structure for which a building permit has been lawfully granted prior to an amendment to this Chapter causing the structure or use to become nonconforming, may be completed in accordance with the approved plans, provided construction is started within 365 calendar days after issuance of the permit, and construction is completed within the term of the permit. If all such conditions are met, the construction or alteration within the scope of the permit shall not be deemed a change in the use or an expansion of the nonconformity for purposes of this section.

Section 94.15.05: Nonconforming Sites

- (1) **Definition.** A nonconforming site is one on which a principal use has been established prior to March 18, 2015 and on which one or more site development standards, such as minimum landscape surfaces, bufferyards, plantings, or minimum parking, have not been met or cannot be met owing to the configuration of the site or existing structures whether conforming or nonconforming.
- (2) **Blanket Variance.** A blanket variance for the requirements of this Chapter is hereby granted to all development sites in their configuration existing or as finally approved as of March 18, 2015, except in the following circumstances:
 - (a) Where other Articles of this Chapter make a particular requirement applicable to existing development sites or components thereof.
 - (b) Where the predecessor zoning ordinance, or a Village zoning decision under that ordinance, required site improvements which have not been satisfactorily completed or maintained.
 - (c) Where a particular requirement of this Chapter reflects a condition or requirement of approval for the particular development site.
 - (d) Where the provisions of subsection (3) apply.
- (3) **Proposed Enlargements Require Compliance.** After the March 18, 2015, additional site development that results in enlargement, expansion, or extension of uses or structures will not be allowed to occur without bringing the site into full compliance with all site development standards in this Chapter, or into compliance to the extent practical as provided in different sections of this Chapter, in accordance with the following:
 - (a) On lots where the site configuration and undeveloped area are sufficient to comply with nonconformities in site design, no enlargement, expansion, or extension of a use or structure shall be permitted if it makes compliance with site regulations of the Chapter impossible, even if said enlargement, expansion, or extension of the use or structure would otherwise be permissible.
 - (b) Enlargements, expansions, or extensions that would result in creation of one or more nonconformities, render a nonconforming site incapable of being brought into full or greater compliance with nonconforming site requirements, or increase the degree of existing nonconformities with the site development standards of this Chapter shall not be permitted, unless a variance is granted by the Zoning Board of Appeals under Section 94.15.11.

- (c) On lots with adequate configuration and area to bring the site into full or greater compliance with site design standards, said compliance shall be required at the time of any property improvement, modification, enlargement, or expansion requiring site plan approval. The degree to which the property shall be made to comply with substandard site design elements shall be proportional to the degree of property improvement.

August 29, 2016

E-Mail Only

Eric Mond
Hodge Material Handling
7465 Chavenelle Road
Dubuque, IA 52002
emond@hodgecompany.com

Re: Approved Zoning Permit (ZONE-8-16-6960) Hodge Material Handling, 5907 Hilgeman Street, Weston

Dear Eric,

Thank you for the phone call and clarification of the operational plan for your business, Hodge Material Handling, following your receipt of the Zoning Permit denial letter sent earlier today.

Based on our phone conversation, I have removed the land uses of *Indoor Sales or Service* (Sec. 94.4.05(5)) and *Outdoor Display* (Sec. 94.4.05(6)) as you stated your business is a service garage for forklifts. There will be very little to no walk in traffic to the business. Much of your business is done over the phone or via the internet. There also will be no outside storage of forklifts on the property.

As stated in the earlier letter, your planned use of the property falls under the land use of *Outdoor and Vehicle Repair and Maintenance* (Sec. 94.4.05(8)) which is a permitted use by right in the LI Limited Industrial Zoning District. Therefore, attached to this letter is your approved Zoning Permit.

The last item we need to take care of is your occupancy inspection, which is performed by our Building Inspector, Scott Tatro, and SAFER Fire Inspector, Marty Christiansen. Once this has occurred, and no corrections are needed, we will then issue you your official Occupancy Certificate. These inspections typically occur on Tuesdays and Thursdays.

Please call or e-mail Valerie Parker to schedule the occupancy inspection. She can be reached at 715-241-2607 or via e-mail at vparker@westonwi.gov. If she is not available, you can also contact the general Planning & Development Department (PlanDev@westonwi.gov), or you can call our office at (715) 359-6114.

Sincerely,



Jennifer Higgins
Director of Planning and Development/Zoning Administrator

Cc: Planning & Development Staff
Plan Commission
Gary Guerndt, garyg@pga.inc.net



Jennifer Higgins, Director
Planning & Development
Direct: 715-241-2638
jhiggins@westonwi.gov

5500 Schofield Avenue
Weston, WI 54476
715-359-6114
www.westonwi.gov



Permit

Permit NO. **ZONE-8-16-6960**

Permit Type: **Zoning**

Work Classification: **Commercial**

Permit Status: **Final**

Issue Date: **8/29/2016**

Expiration: **on Change of Use**

Project Address 5907 Hilgeman Street Weston, WI 54476		Project Name <NONE>	Applicant Hodge Material Handling	
Parcel Number 19228081640111	Subdivision	Block / Lot 0 / 0	Zoning LI	
Owner Information East Wausau LLC	Address 7306 Zinser Street Weston, WI 54476	Phone (715)355-6717	Cell	

Proposed Land Use: Outdoor and Vehicle Repair and Maintenance (Sec. 94.4.05(8))

ZONING:

Base District: LI Limited Industrial

Overlay District: Wellhead Protection Zone A

Conditional Uses: N/A

Description of Work: New business in this location. Primarily a service garage for forklifts. Do sell forklifts and parts through phone and internet sales. No outside storage of forklifts.

FEE SUMMARY

Fees Due	Amount	Total	Amt Paid	Amt Due
C.O. Change of Use/Owner COMMERCIAL	\$25.00	\$25.00	\$25.00	\$0.00
C.O. Existing Building Addition Commercial Fee	\$0.00			
C.O. New Commercial Fee	\$0.00	Payment Type: Check / Number: 87409		
Certificate of Occupancy Fee	\$50.00			
Total:	\$75.00			

Comments:

I HEREBY UNDERSTAND THAT THIS PERMIT DOES NOT GRANT ANY RIGHT OR PRIVILEGE TO ERECT ANY STRUCTURE OR TO USE ANY PREMISE HEREIN DESCRIBED FOR ANY PURPOSE OR IN ANY MANNER PROHIBITED BY THE VILLAGE OF WESTON ZONING ORDINANCE. SPECIAL CONDITIONS AND/OR PROVISIONS STATED ON THIS BUILDING PERMIT SUPERCEDE ANY OTHER INFORMATION PROVIDED BY THE APPLICANT, INCLUDING INFORMATION PROVIDED ON THE PLANS. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS PERMIT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HERIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signature of Owner / Applicant / Contractor / Agent _____ Date **August 29, 2016**

Jennifer Higgins _____ Date **August 29, 2016**
 Issued By: Village of Weston, WI Authorized Signature

Customer Copy

Commercial Zoning and Pre-Application

Permit
Village of Weston/ETZ
Date: 08-08-16

Permit No. : _____

Payment: Cash Check No. 87409 (VP)
FULL COMPLETION OF THIS FORM IS REQUIRED FOR PROCESSING



5500 Schofield Ave
Weston, WI 54476

– PLEASE USE THE ONLINE FILLABLE PDF –

ZONING FEES

Zoning Permit **\$25.00 FEE** ✓ [43/4343]

EXPLANATION OF PROCESS

No new building and no existing building which is to be remodeled or relocated shall be issued a building permit until a zoning permit has been issued to certify that such construction or change would comply with the provisions of Chapter 94 of the Village of Weston Municipal Code, Wisconsin Uniform Building Code, and Village Building Codes. Buildings or spaces within buildings are not allowed to be occupied without a Certificate of Occupancy issued in the name of the tenant occupying that building or space. Applications for a Zoning Permit shall be made to the Department of Planning and Development prior to the submittal of an application for a site plan review, commercial rezone, conditional use, building permit and/or certificate of occupancy. THIS IS AN APPLICATION AND NOT A PERMIT TO OCCUPY THE BUILDING. Permits filled after the fact shall be subject to double the fee and a \$50.00 fine.

APPLICANT INFORMATION

(New Tenant)
Business Name: Hodge Material Handling Contact Name: Eric Mond
Business Owner: Tim Hodge Mailing Address: 7465 Chavenelle Road
Business Address: 5907 Hilgeman Street Dubuque, IA 52002
Weston, WI 54476 Phone: (563) 583-9781
Website: www.hodgemh.com Email: EMond@hodgecompany.com
* Date Opening: _____ Applicant will: Rent Lease Own

Property Owner: East Wausau LLC Contact Name: Gary Guernadt
Mailing Address: 7306 Zinser Street Phone: (715) 302-0334
Weston, WI 54476 Email: garyg@pga.inc.net

EXISTING AND PROPOSED USES

Current and proposed use of subject property (check all applicable uses, and whether each is a current use, proposed use, or both):

- | | | |
|---|---|--|
| Multiple Family Residential – 3 or more units | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Mixed Commercial/Residential | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Office | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Commercial Retail/Service | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Industrial and Warehousing | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Institutional | <input checked="" type="checkbox"/> Current Use | <input checked="" type="checkbox"/> Proposed Use |
| Parking | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Excavation/Mining/Significant Earth Movement | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Other: _____ | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |

PROJECT SITE SPECIFICATIONS

Project Type: Select a Project Type

Project Address:
(or PIN if no address)

5907 Hilgeman St.

Building Size (ft²): _____

Lot Size(ft² & Acres): _____

Property Zone:

Select Zoning Designation LT

Legal Description: _____

OPERATIONAL PLAN REQUIRED

The following components are required in the operational plan: **(1)** detailed description of the activities and process which will be taking place on the above stated property. This includes all principal uses, accessory uses and temporary uses (please see the use chart in Chapter 94 Article 3 of the zoning code); **(2)** a statement regarding outdoor storage and a detailed description of the materials being proposed to be stored (are there hazardous materials?); **(3)** a statement regarding the impacts on the neighboring parcels. What is the anticipated increase in traffic? The number of employees working on site. Drop-off and/or pick-up of materials and/or products (what times will these occur?); **(4)** existing facilities at the proposed site. Will there be the need to add or reduce the facilities (this includes parking spaces and square footage of the building/space occupied or outdoor storage); **(5)** what additional licenses are required to operate? A copy of all licenses will be required to be submitted with the occupancy application; **(6)** please include any other pertinent information.

Has the operational plan been attached?

Does the operational plan include ALL the required components listed above?

Yes No

Yes No

SITE PLAN REQUIRED

A site plan shall be submitted with this application. The site plan showing the following features: legal description of the property; subject site with lot dimensions, buildings, uses, fences, and other structures; easements; streets, railroads and other public right-of-ways; off-street parking areas and total number of available parking spaces; loading areas and driveways; outdoor storage areas; highway access restrictions and other restrictions where applicable; water ways, wetlands and floodplain boundaries; existing and proposed front, interior and rear yard setbacks. Some parcel information and maps may be obtained via the Marathon County Land Information Mapping System. For new construction, building additions and accessory structures this requirement is waived for this application. A separate **Commercial Site Plan Application** will be issued once this application has been approved by staff.

Has the site plan been attached?

Does the site plan include ALL the required components listed above?

Yes No N/A

Yes No N/A

OTHER REQUIREMENTS

A copy or description of any prior rezoning, conditional use permit, site plan, variance or other Village actions may be required to be submitted before a zoning permit may be issued. The Zoning Administrator or appointed designee will review the zoning compliance requirements with the applicant as necessary.

Has the required information been attached?

Yes No N/A

REIMBURSEMENT FOR DEVELOPMENT REVIEW SERVICES

The Village Planner, Village Engineer, Public Works Director, Village Attorney, and other Village staff and consultants may expend time in the administration, investigation, and processing of development review applications. In addition, the Village may retain the services of other professional consultants—including but not limited to landscape architects, architects, environmental specialists, and recreation specialists—in the investigation and processing of such applications.

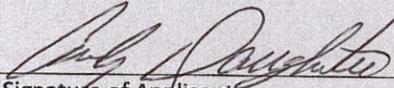
Reinforcing the requirements of Section 94.16.18(4) of the Village zoning ordinance, the signing and submittal of this application or petition for development review shall be construed as an agreement to pay for professional consulting services associated with the administration, investigation, and processing of this application or petition. The Village Administrator shall retain sole discretion in determining when and to what extent it is necessary to involve one or more professional consultants in the review of each application or petition.

The Applicant shall be responsible for the costs for such professional consulting services. The Applicant shall pay such costs upon receipt of one or more invoices from the Village, following the execution of the development review services associated with the application. In the event the Applicant fails to pay such costs, the responsibility shall pass to the property owner, if different, under

the same terms. Development review fees that are assigned to the Applicant or property owner, but that are not actually paid, may then be imposed by the Village as a special charge on the affected property.

STATEMENT OF UNDERSTANDING AND SIGNATURES

By signing and dating below, I acknowledge that I have reviewed and understand the Village of Weston zoning ordinance and its standards of approval related to this application; read, understand, and accept my responsibilities under the reimbursement section above; submitted an application that is true, correct, and complete to the best of my knowledge; acknowledge that Village officials and/or employees may, in the performance of their functions, enter upon the subject property to inspect or gather information necessary to process this application; understand that all meeting dates are tentative and may be postponed by the Village for the reason of incomplete submittals or other administrative reasons; if this application is approved, agree to abide by this application, approved plans, and required conditions associated with plan approval in the development of the subject property; and understand that the Village's zoning ordinance and/or the conditions of development approval may specify timeframes within which I must take certain actions related to the development of the subject property, or risk having the approval being nullified. Failing to attach all the required components will deem the status of this application as incomplete. Incomplete applications will not be reviewed and shall be discarded within 30-days if the application status remains incomplete. Any fees collected will not be refunded. **ALL FINALIZED PERMITS WILL BE SENT VIA EMAIL OR BE PICKED UP AT THE MUNICIPAL CENTER. Permits will not be sent by mail.** Work on the proposed project cannot begin without the issuance of a permit. Permits filled after the face shall be subject to double the fee and a \$50.00 fine.



Signature of Applicant

8/2/16
Date

Property Owner Project/Business Owner Project Manager

STAFF REVIEW

PIN: 192-2808-164-0111

Zoning: LI + WHPA Village ETZ

Filed After the Fact: Yes No

Fine Imposed: Yes No Amount: _____

Conditional Use: Yes No Reason: N/A
Use: _____

Proposed PC/ETZ Meeting Date: _____ CUP Number: _____

Rezoned: Yes No Reason: N/A
Requested Zone: _____

Proposed PC/ETZ Meeting Date: _____ Rezone Number: _____

Variance: Yes No Reason: N/A
Requested Variance: _____

Proposed ZBA Meeting Date: _____ Variance Number: _____

Site Plan Application No. _____ Approval Date: _____

Building Permit No. _____ Approval Date: _____

Sign Permit No. _____ Permanent / Temp Date: _____

Code Section: 44.2.02(3)(f) LI-Limited Industrial / 44.6.03 WHP (Wellhead Protection Area overlay)

Comments: 44.4.05(8) Outdoor and Vehicle Repair + Maintenance, which is permitted within the LI District.

Jennifer L Higgins
Signature of Zoning Administrator or Designee

8/29/16
Date

Permit Number ZONE-8-16-6960

Approved Denied

LRS10801
LRS108I

Land Records
Browse

8/16/16
15:05:59

PIN 192 2808 164 0111 Village of WESTON
Parcel 62 082300 003 005 00 00 Status: **ACTIVE**
Adr 1 5907 HILGEMANN ST WESTON 54476 0000
Own 1 EAST WAUSAU LLC B

General Parcel Information:

PIN. : 37 192 4 2808 164 0111 Village of WESTON
Parcel Number : 62 0823 003 005 00 00 Parcel Status: ACTIVE
Sale Date. . . : 1/30/2012 Sale Type. . : Blank
Sale Amount. . : 160,000 Transfer Tax : 480.00
Deed Type. . . : Warranty Deed
Deed Reference: 1613270
MAILING ADDRESS EAST WAUSAU LLC
7306 ZINSER ST
WESTON WI 54476 0000 USA

F2=Owners F3=Exit F4=Prompt F7=Previous F8=Next F24=More

LRS10801 Land Records 8/16/16
LRS108I Browse 14:56:01

PIN 192 2808 164 0111 Village of WESTON
Parcel 62 082300 003 005 00 00 Status: **ACTIVE**
Adr 1 5907 HILGEMANN ST WESTON 54476 0000
Own 1 EAST WAUSAU LLC B

Parcel Addresses:

3 Parcel Address(es) on File

#	House	Street	Unit	City	Zip
1	5907	HILGEMANN ST		WESTON	54476 0000
2	5905	HILGEMANN ST		WESTON	54476 0000
3	5909	HILGEMANN ST		WESTON	54476 0000

Bottom

F2=Description F3=Exit F4=Prompt F7=Previous F8=Next F24=More

LRS10801
LRS108I

Land Records
Browse

8/16/16
15:28:57

PIN 192 2808 164 0111

Village of WESTON

Parcel 62 082300 003 005 00 00

Status: **ACTIVE**

Adr 1 5907 HILGEMANN ST

WESTON

54476 0000

Own 1 EAST WAUSAU LLC

B

Zoning

4 Zoning Records on File.

Year	Flood Plain	Wetlands	Zoning	Zone Use	Ordinance
2015			1) LI	LIMITED INDUSTRIAL	
			2)		
			3) WHP-A	WELLHEAD PROTECT-ZONE A	
			4)		
2009			1) M-1	MANUFACTURING & WAREHOUSE	
			2) OWP	WELLHEAD PROTECTION OVERL	
			3)		
			4)		

+

F2=Sanitary Permits

F3=Exit F4=Prompt F7=Previous F8=Next F24=More

Hodge Material Handling

5907 Hilgeman

Weston WI

Operational Plan Requirements

1) *Hodge is a Material Handling & Logistics Company offers a broad base of integrated products and services that support multiple functions across the supply chain. The Wausau division services include:*

Material Handling Distributor offering a variety of material handling equipment and systems. Hodge represents a full-line of forklift equipment offering equipment service, sales, parts and rental.

2) *Hodge will not be storing any items outside except portable loading ramp; we will have forklifts on display on a daily basis.*

3) *There will not be an impact on neighboring parcels. There will be three full time employees with vehicles. We do not anticipate much walk in traffic. Standard UPS deliveries and Semi van deliveries on occasion.*

4) *Hodge does not plan on added or reducing the current facilities.*

5) *There are no additional licenses required.*

6) *Please visit our website www.hodgemh.com for more info*



Permit

Permit NO. **ZONE-8-16-6983**

Permit Type: **Zoning**

Work Classification: **Commercial**

Permit Status: **Active**

Issue Date: **8/30/2016**

Expiration: on Change of Use

Project Address 4002 SCHOFIELD AVE WESTON, WI 54476	Project Name <NONE>	Applicant Jason Lowman Becca's Cafe
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Parcel Number 19228081740894	Subdivision CSM#11806, Vol. 50, Pg. 94	Block / Lot 0 / 1	Zoning B-2
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Owner Information Lokre Development	Address PO Box 215 Plover, WI 54467	Phone	Cell (715)574-1677
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Proposed Land Use: Indoor Commercial Entertainment - Sec. 94.4.5(10).

ZONING:
 Base District: B-2 -- Highway Business
 Overlay District: D-WM -- Weston Marketplace Overlay
 Conditional Uses: None

Description of Work: Restaurant and meeting space.

FEE SUMMARY

Fees Due	Amount	Total	Amt Paid	Amt Due
C.O. Change of Use/Owner COMMERCIAL	\$25.00	\$25.00	\$25.00	\$50.00
Certificate of Occupancy Fee	\$50.00			
Total:	\$75.00	Payment Type: Check / Number: 8191		

Comments: Permitted use-by-right within the B-2 district per Figure 3.05. Please note, any outdoor seating with the serving of alcohol shall require the approval of a conditional use permit.

I HEREBY UNDERSTAND THAT THIS PERMIT DOES NOT GRANT ANY RIGHT OR PRIVILEGE TO ERECT ANY STRUCTURE OR TO USE ANY PREMISE HEREIN DESCRIBED FOR ANY PURPOSE OR IN ANY MANNER PROHIBITED BY THE VILLAGE OF WESTON ZONING ORDINANCE. SPECIAL CONDITIONS AND/OR PROVISIONS STATED ON THIS BUILDING PERMIT SUPERCEDE ANY OTHER INFORMATION PROVIDED BY THE APPLICANT, INCLUDING INFORMATION PROVIDED ON THE PLANS. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS PERMIT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HERIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signature of Owner / Applicant / Contractor / Agent _____ **August 30, 2016** _____
Date

Jared Wehner
Issued By: Village of Weston, WI

Jared Wehner
Authorized Signature

August 30, 2016 _____
Date

Customer Copy

Commercial Zoning and Pre-Application

Permit
 Village of Weston/ETZ
 Date: 8/16/16

Permit No. : ZONE-8-16-6983

Payment: Cash Check No. 8191 PDM

FULL COMPLETION OF THIS FORM IS REQUIRED FOR PROCESSING



5500 Schofield Ave
 Weston, WI 54476

-- PLEASE USE THE ONLINE FILLABLE PDF --

ZONING FEES

Zoning Permit **\$25.00 FEE** [43/4343]

EXPLANATION OF PROCESS

No new building and no existing building which is to be remodeled or relocated shall be issued a building permit until a zoning permit has been issued to certify that such construction or change would comply with the provisions of Chapter 94 of the Village of Weston Municipal Code, Wisconsin Uniform Building Code, and Village Building Codes. Buildings or spaces within buildings are not allowed to be occupied without a Certificate of Occupancy issued in the name of the tenant occupying that building or space. Applications for a Zoning Permit shall be made to the Department of Planning and Development prior to the submittal of an application for a site plan review, commercial rezone, conditional use, building permit and/or certificate of occupancy. THIS IS AN APPLICATION AND NOT A PERMIT TO OCCUPY THE BUILDING. Permits filled after the fact shall be subject to double the fee and a \$50.00 fine.

APPLICANT INFORMATION

Business Name:	<u>Becca's Cafe, Bistro & Catering</u>	Contact Name:	<u>Jason Lowman</u>
Business Owner:	<u>Jason Lowman</u>	Mailing Address:	<u>3845 Rib Mountain Dr.</u>
Business Address:	<u>4002 Schofield Ave. #3</u>		<u>Wausau, WI 54401</u>
	<u>Weston, WI 54476</u>	Phone:	<u>715-432-9324</u>
Website:	<u>www.BeccasCafe.com</u>	Email:	<u>jason_lowman@charter.net</u>
Date Opening:	<u>Fall 2016</u>	Applicant will:	<input type="checkbox"/> Rent <input checked="" type="checkbox"/> Lease <input type="checkbox"/> Own

Property Owner:	<u>Lokre Companies (SEE ATTACHED)</u>	Contact Name:	<u>Victor Anderson</u>
Mailing Address:	<u>P.O. Box 215</u>	Phone:	<u>715-342-9200</u>
	<u>PLAQUE, WI 54467</u>	Email:	<u>victor@lokre.com</u>

EXISTING AND PROPOSED USES

Current and proposed use of subject property (check all applicable uses, and whether each is a current use, proposed use, or both):

- | | | |
|---|---|--|
| Multiple Family Residential – 3 or more units | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Mixed Commercial/Residential | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Office | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Commercial Retail/Service | <input checked="" type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Industrial and Warehousing | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Institutional | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Parking | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Excavation/Mining/Significant Earth Movement | <input type="checkbox"/> Current Use | <input type="checkbox"/> Proposed Use |
| Other: <u>RESTAURANT</u> | <input type="checkbox"/> Current Use | <input checked="" type="checkbox"/> Proposed Use |

PROJECT SITE SPECIFICATIONS

Project Type: New Use Project Address: 4002 Schofield Ave. #3
(or PIN if no address)
Building Size (ft²): 3000 Weston, WI 54476
Lot Size(ft² & Acres): 3000 Property Zone: B-3 - General Business
Legal Description: 4002 Schofield Ave. #3, Weston, WI 54476

OPERATIONAL PLAN REQUIRED

The following components are required in the operational plan: **(1)** detailed description of the activities and process which will be taking place on the above stated property. This includes all principal uses, accessory uses and temporary uses (please see the use chart in Chapter 94 [Article 3 of the zoning code](#)); **(2)** a statement regarding outdoor storage and a detailed description of the materials being proposed to be stored (are there hazardous materials?); **(3)** a statement regarding the impacts on the neighboring parcels. What is the anticipated increase in traffic? The number of employees working on site. Drop-off and/or pick-up of materials and/or products (what times will these occur?); **(4)** existing facilities at the proposed site. Will there be the need to add or reduce the facilities (this includes parking spaces and square footage of the building/space occupied or outdoor storage); **(5)** what additional licenses are required to operate? A copy of all licenses will be required to be submitted with the occupancy application; **(6)** please include any other pertinent information.

Has the operational plan been attached? Yes No
Does the operational plan include ALL the required components listed above? Yes No

SITE PLAN REQUIRED

A site plan shall be submitted with this application. The site plan showing the following features: legal description of the property; subject site with lot dimensions, buildings, uses, fences, and other structures; easements; streets, railroads and other public right-of-ways; off-street parking areas and total number of available parking spaces; loading areas and driveways; outdoor storage areas; highway access restrictions and other restrictions where applicable; water ways, wetlands and floodplain boundaries; existing and proposed front, interior and rear yard setbacks. Some parcel information and maps may be obtained via the [Marathon County Land Information Mapping System](#). For new construction, building additions and accessory structures this requirement is waived for this application. A separate **Commercial Site Plan Application** will be issued once this application has been approved by staff.

Has the site plan been attached? Yes No N/A
Does the site plan include ALL the required components listed above? Yes No N/A

OTHER REQUIREMENTS

A copy or description of any prior rezoning, conditional use permit, site plan, variance or other Village actions may be required to be submitted before a zoning permit may be issued. The Zoning Administrator or appointed designee will review the zoning compliance requirements with the applicant as necessary.

Has the required information been attached? Yes No N/A

REIMBURSEMENT FOR DEVELOPMENT REVIEW SERVICES

The Village Planner, Village Engineer, Public Works Director, Village Attorney, and other Village staff and consultants may expend time in the administration, investigation, and processing of development review applications. In addition, the Village may retain the services of other professional consultants—including but not limited to landscape architects, architects, environmental specialists, and recreation specialists—in the investigation and processing of such applications.

Reinforcing the requirements of Section 94.16.18(4) of the Village zoning ordinance, the signing and submittal of this application or petition for development review shall be construed as an agreement to pay for professional consulting services associated with the administration, investigation, and processing of this application or petition. The Village Administrator shall retain sole discretion in determining when and to what extent it is necessary to involve one or more professional consultants in the review of each application or petition.

The Applicant shall be responsible for the costs for such professional consulting services. The Applicant shall pay such costs upon receipt of one or more invoices from the Village, following the execution of the development review services associated with the application. In the event the Applicant fails to pay such costs, the responsibility shall pass to the property owner, if different, under

the same terms. Development review fees that are assigned to the Applicant or property owner, but that are not actually paid, may then be imposed by the Village as a special charge on the affected property.

STATEMENT OF UNDERSTANDING AND SIGNATURES

By signing and dating below, I acknowledge that I have reviewed and understand the Village of Weston zoning ordinance and its standards of approval related to this application; read, understand, and accept my responsibilities under the reimbursement section above; submitted an application that is true, correct, and complete to the best of my knowledge; acknowledge that Village officials and/or employees may, in the performance of their functions, enter upon the subject property to inspect or gather information necessary to process this application; understand that all meeting dates are tentative and may be postponed by the Village for the reason of incomplete submittals or other administrative reasons; if this application is approved, agree to abide by this application, approved plans, and required conditions associated with plan approval in the development of the subject property; and understand that the Village's zoning ordinance and/or the conditions of development approval may specify timeframes within which I must take certain actions related to the development of the subject property, or risk having the approval being nullified. **Failing to attach all the required components will deem the status of this application as incomplete. Incomplete applications will not be reviewed and shall be discarded within 30-days if the application status remains incomplete. Any fees collected will not be refunded. ALL FINALIZED PERMITS WILL BE SENT VIA EMAIL OR BE PICKED UP AT THE MUNICIPAL CENTER. Permits will not be sent by mail.** Work on the proposed project cannot begin without the issuance of a permit. Permits filled after the face shall be subject to double the fee and a \$50.00 fine.



8/16/16

Signature of Applicant

Date

Property Owner Project/Business Owner Project Manager

STAFF REVIEW

PIN: 19228081740894 Zoning: B2 w/ D-WM OVERLAY Village ETZ
Filed After the Fact: Yes No Fine Imposed: Yes No Amount: 0.00

Conditional Use: Yes No Reason: _____
Use: _____

Proposed PC/ETZ Meeting Date: _____ CUP Number: _____

Rezoning: Yes No Reason: _____
Requested Zone: _____

Proposed PC/ETZ Meeting Date: _____ Rezoning Number: _____

Variance: Yes No Reason: _____
Requested Variance: _____

Proposed ZBA Meeting Date: _____ Variance Number: _____

Site Plan Application No. N/A Approval Date: _____

Building Permit No. _____ Approval Date: _____

Sign Permit No. SGN-8-16-6984 Permanent / Temp Date: 8/22 - 9/22/16

Code Section: SECTION 94.4.05 (10) INDOOR COMMERCIAL ENTERTAINMENT

Comments: PERMITTED USE-BY-RIGHT WITHIN B-2 DISTRICTS PER FIGURE 3.05.
PLEASE NOTE, ANY OUTDOOR SEATING WOULD REQ. WITH THE SERVING OF
ALCOHOL SHALL REQUIRE A CONDITIONAL USE PERMIT.

James Wilkey Signature of Zoning Administrator or Designee 8/30/2016 Date

Permit Number ZONE-8-16-6983 Approved Denied

Village of Weston Operational Plan

8/16/16

Becca's Cafe is a fast-casual food service business offering fresh made wraps, salads, sandwiches, etc. The principal use taking place on premises will relate to making food and general guest services.

Becca's Cafe, does not anticipate the storage of any materials outside of the premises.

Becca's Cafe will offer Breakfast, Lunch and Dinner with hours estimated to be between 7:00am - 8:00pm. We anticipate lunch time being our busiest time of the day, resulting in an increase of traffic into the area. We anticipate staffing 6-8 employees through lunch and 4-6 during the evening. Food deliveries will occur 1-2 times per week and are typically delivered before 9am. Additional smaller (non-semi) deliveries of supplies do occur from time to time.

Becca's Cafe will be applying for an operators license for Class B and C Alcohol. We will also be applying for a permanent sign on the front of the building. Becca's Cafe will also be working with Marathon County Health Department to obtain a Restaurant License.

Becca's Cafe will be contracting with Advance Disposal to provide two trash receptacles, one for general trash and another for cardboard recycling.



Jason Lowman
Becca's Cafe, Bistro & Catering

BUILDING OWNER PARTNERSHIP BELOW

THIS MULTI TENANT BUILDING LEASE ("Lease") is made as of May 12, 2016 by and between 3910 Schofield Avenue, LLC; MH Properties of Wisconsin, LLC; Blue Water of Weston, LLC; MPH Schofield Avenue, LLC; RS Holdings of Wisconsin, LLC; Golden Pacific Holdings, LLC; JFrank Properties, LLC and Christopher S. Connor as tenants in common ("Landlord") and JRSA Group, LLC ("Tenant").