



Village of Weston, Wisconsin

Meeting of the PLAN COMMISSION

During the 28th legislative session of the elected

Board of Trustees (2024 – 2025)

Monday, April 14, 2025, at 6:00 P.M.

Packet Prepared By:

Jennifer Higgins, Director of Planning & Development



Village of Weston, Wisconsin MEETING NOTICE

- Meeting of: **PLAN COMMISSION**
- Commissioners: **Cronin {c}, Zeyghami {vc}, Diesen, Guerndt, Hoffman, Jordan, Mumper**
- Staff: **Jennifer Higgins, Director of Planning & Development**
- Date/Time: **Monday, April 14, 2025, 6:00 p.m.**
- Location: **Weston Municipal Center (4747 Camp Phillips Road) – Board Room**
- Agenda: **The agenda packet will be sent out at least 3 days prior to the meeting.**
- Attendance: **All Village officials are encouraged to attend. Commissioners, Committee members, Department Directors, and guests, please indicate if you will, or will not, be attending so we may determine in advance if there will be a quorum by sending an RSVP to the assigned Administrative Support person:**
- RSVP: **Valerie Parker, Plan Commission Secretary**
(715) 241-2613
vparker@westonwi.gov
- Questions: **Jennifer Higgins, Director of Planning & Development**
(715) 241-2638
jhiggins@westonwi.gov

This notice was posted at the Municipal Center, 4747 Camp Phillips Road, Weston and was e-mailed to local media outlets (Print, TV, and Radio) on 04/07/2025.

A quorum of members from other Village governmental bodies (boards, commissions, and committees) may attend the above-noticed meeting in order to gather information. No actions will be taken by any other board, commission, or committee of the Village, aside from the Village Plan Commission. Should a quorum of other government bodies be present, this would constitute a meeting pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis.2d 553,494 N.W.2d 408 (1993).

Wisconsin State Statutes require all agendas for Committee, Commission, or Board meetings be posted in final form, 24 hours prior to the meeting. Any posted agenda is subject to change up to 24 hours prior to the date and time of the meeting. All final agendas will be posted on the Village's website at www.westonwi.gov and a hard copy posted at the Village Municipal Center.

Any person who has a qualifying disability, as defined by the Americans with Disabilities Act, that requires the meeting or the materials to be in an accessible location or format, must contact the Weston Clerk's Department, by 12 noon, the Friday prior to the meeting, so any necessary arrangements can be made to accommodate each request.



VILLAGE OF WESTON, MARATHON COUNTY, WISCONSIN
REGULAR MEETING AGENDA OF THE PLAN COMMISSION
Weston Municipal Center - Board Room
4747 Camp Phillips Road, Weston, WI 54476

Monday, April 14, 2025, at 6:00 p.m.

Some or all of the members of the Plan Commission, applicants, or members of the public, may participate in the meeting remotely by teleconference or videoconference via the Zoom links listed below.

Join Zoom Meeting by Computer:

<https://zoom.us/j/5445915099>

Join Zoom Meeting by Phone:

+1 312 626 6799 US (Chicago)

Meeting ID: 544 591 5099

If the public wishes to speak under public comment or any hearings listed on the agenda, please fill out a [Public Comment form](#) (external web link) and register it with the Clerk prior to the start of the meeting, or please log in using the Zoom meeting information listed above and raise your hand to be recognized to speak.

1. Call to Order – Roll Call & Declaration of Quorum.
 - Plan Commission – Cronin {C}, Zeyghami {VC}, Diesen, Guerndt, Hoffman, Jordan, Mumper.
2. Open public comment period for items that do not appear on this agenda noted as public hearings.
3. Written Communications, Disclosures and Recusals. Members of the body should make any required disclosures or recusals during this time.
4. [Minutes from March 10, 2025, Meeting.](#)
5. [Public Hearing – Project #20250100 - Rezone 4803 Mesker Street from SF-S \(Single Family Residential – Small Lot\) & 2F \(Two Family Residential\)](#)
 - a. Open Public Hearing.
 - b. Presentation by Applicant and/or Staff.
 - c. Take Public Comment
 - d. Close Public Hearing.
 - e. Recommendation from Staff
 - f. Discussion & Recommendation to Board of Trustees by the Plan Commission.
6. [Project #20250149 - Site Plan Review for Yellowbanks Park Kayak Launch.](#)
7. [Project #20250151 – Site Plan Review for Kennedy Park Construction Plans of Phase 1-BB1 and Phase 1-BB2 Fields](#)
8. [March 2025 Staff-Approved Certified Survey Maps and Site Plans.](#)
9. [March 2025 Building Permits.](#)



VILLAGE OF WESTON, MARATHON COUNTY, WISCONSIN OFFICIAL MEETING AGENDA OF THE PLAN COMMISSION

10. [Planning & Development Department Project Update Report.](#)
11. Announcements & Committee/Commissioner Remarks
12. Next Regular Meeting Date - Monday, May 12, 2025, at 6 pm
13. Future Agenda Items or Staff Referrals
14. Adjourn Plan Commission

A quorum of members from other Village governmental bodies (boards, commissions, and committees) may/might attend the above-noticed meeting to gather information. Should a quorum of other government bodies be present, this would constitute a meeting pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis.2d 553,494 N.W.2d 408 (1993). No official actions other than those of the Plan Commission and Joint Village & Town of Weston Extraterritorial Zoning Committee shall take place.

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 (ADA), the Village will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs or activities. If you need assistance or reasonable accommodations in participating in this meeting or event due to a disability as defined under the ADA, please call the Village Clerk at 715-359-6114 or clerks@westonwi.gov to discuss your accessibility needs. We ask your request be provided a minimum of 72 hours before the scheduled event or meeting. If a request is made less than 72 hours before the event the Village will make a good faith effort to accommodate your request.

This Agenda was posted at the Village Municipal Center, on www.westonwi.gov and transmitted to media partners on 4/09/2025. Questions can be directed to the Planning & Development Department at (715) 241-2613 or plandev@westonwi.gov.

Village of Weston, Wisconsin
OFFICIAL PROCEEDINGS OF THE VILLAGE PLAN COMMISSION MEETING
held on Monday, March 10, 2025, at 6:00 p.m., in the Board Room, at 4747 Camp Phillips Road

AGENDA ITEMS.

1. Meeting called to order by Plan Commission Chair and Village Trustee Steve Cronin at approximately 6:02 p.m. Roll Call of Village Plan Commission (PC) by Secretary Parker.

Roll call indicated 5 PC members present.

<u>Member</u>	<u>Present</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	YES
Diesen, Dave	EXCUSED
Guerndt, Gary	YES (ZOOM)
Hoffman, Travis	EXCUSED
Jordan, Joe	YES
Mumper, Roy	YES

Village Staff in attendance, in-person: Gebert, Higgins, Meverden, and Parker

Village Staff in attendance, via Zoom: None

Other Village Representatives in attendance, in-person: SAFER Fire Marshal Christiansen

Other Village Representatives in attendance, via Zoom: None

Audience Members in attendance, in-person: There were 3 audience members present, in-person.

Audience Members in attendance, via Zoom: There was 1 audience members present, via Zoom.

2. Open Public Comment Period for items that do not appear on this agenda noted as public hearings. [0:00:30 Zoom Recording]

None.

3. Written Communications, Disclosures, and Recusals. [0:00:47 Zoom Meeting Recording]

Higgins stated our only written communication is a project update document (attached) from Maguire, who is unable to attend tonight, and is related to the Unfinished Business item on tonight's agenda.

4. Minutes from February 10, 2025, PC/ETZ Meeting. [0:01:32 Zoom Recording]

Motion by Mumper, second by Jordan: to approve the February 10, 2025, PC meeting minutes.

Yes Vote: 5 No Votes: 0 Abstain: 0 Not Voting: 2 Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	YES
Diesen, Dave	-----
Guerndt, Gary	YES
Hoffman, Travis	-----
Jordan, Joe	YES
Mumper, Roy	YES

5. Public Hearing – Project #20250077 – Rezone Prohaska Park from AR (Agriculture and Residential) and RR-5 (Rural Residential – 5 Acres) to PR (Parks & Recreation). [0:02:05 Zoom Meeting Recording]

a. Open Public Hearing.

Cronin opened at 6:04 p.m.

b. Presentation by Applicant and/or Staff

Higgins stated this rezone has been on hold as we were waiting for the Comprehensive Plan Amendment to take place which happened late last year. She explained one of the lots (zoned AR) was purchased from the Prohaska Family and the other lot (zoned RR-5) was acquired through a land swap in the Business Park – South. This request is to rezone both to PR Parks and Recreation, to allow them to be used for parkland. She stated this overall land being rezoned tonight, will be known as Prohaska Park.

c. Take Public Comment

None.

d. Close Public Hearing

Cronin closed at 6:05 p.m.

e. Recommendation from Staff

Higgins pointed out the Plan Commission Determination document that they needed to go through prior to making their final decision.

f. Discussion & Recommendation to Board of Trustees by the Plan Commission

Determination (attached):

1. Yes
2. Yes
3. #2
4. Yes

Motion by Mumper, second by Guerndt: to recommend approval to the Board of Trustees at their 03/17/2025 meeting.

Yes Vote: 5 No Votes: 0 Abstain: 0 Not Voting: 2 Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	YES
Diesen, Dave	----
Guerndt, Gary	YES
Hoffman, Travis	----
Jordan, Joe	YES
Mumper, Roy	YES

6. Unfinished Business – Project #20230188 Revocation of Site Plan Approvals and a Conditional Use Permit Issued to Allow for a Personal Storage Facility to be Constructed and Operated at 8211 & 8311 Schofield Avenue. (Deferred from 02/10/25 Meeting). [0:07:13 Zoom Meeting Recording]

a. Update by Applicant and/or Staff

Owen Jones, property owner of the site, was present via Zoom.

Higgins explained action was deferred by PC at the last meeting to give staff and property owner time to work through some of the issues. She referred to Maguire's report, based off of last week's inspection with the State Building Inspector, electrician, and Tatro. She stated that Tatro deemed the electrical to be in compliance, and both inspectors have agreed there is enough light for that portion of the development to be safe.

Higgins stated that about half of the overall project is completed, and how Maguire had asked what Plan Commission's expectations are as far as paving. As far as if Plan Commission wants them to pave the first layer of asphalt on the entire site before the occupancy can be issued, or not. Higgins stated that Maguire recommended removing the Stop Work Order, based on his findings with the State Inspector and Tatro. She stated that Maguire is comfortable with letting them continue with the construction of the buildings but wants to know from PC what they want for pavement, as it will probably be a month or so before the asphalt plants start back up and summer before the entire site construction is complete. Higgins stated we could issue a Temporary Occupancy.

Jordan questioned if Jones has the paving scheduled yet. Jones stated they don't have pavement scheduled yet, but he was thinking of holding off until June, for when the rest of the buildings are erected. Jones confirmed with Cronin that ideally, their goal is to have the buildings finished, plus all blacktopping and gates, by July.

Cronin stated that he feels it does not make a difference to him if they pave half now and other half later, or just waiting and do all the paving at once. Guerndt is also fine with holding off until they are ready for all at once.

Cronin brought up, from Maguire's report, how the units with passage doors are not accessible, due to threshold height, and asked if this needs to be corrected now, or if it can wait until pavement. Higgins stated that because this went through State review, it does need to be accessible for people with disabilities, before we can even issue occupancy. She would need to check with Maguire if it needed to be done before a temporary occupancy was issued.

Guerndt stated they could temporarily ramp up some road base to make them flush and accessible.

Jones stated their engineer from Walters stated they will have to have 11 units that are ADA accessible. Higgins stated we can give a Temporary Occupancy, and then general occupancy once the entire site is completed if that is allowed per State codes.

Higgins stated staff there is no need to proceed with CUP revocation. She can work with Maguire on Temporary Occupancy.

Higgins stated if PC and staff are comfortable with where this project is at, that we simply not proceed with CUP revocation and work to lift the stop work order.

b. Recommendation from Staff

c. Discussion & Recommendation by the Plan Commission

Motion by Mumper, second by Guerndt: to recommend staff to lift the Stop Work Order related to 8211 & 8311 Schofield Avenue.

Yes Vote: 6 No Votes: 0 Abstain: 0 Not Voting: 2 Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	YES

Diesen, Dave	----
Guerndt, Gary	YES
Hoffman, Travis	----
Jordan, Joe	YES
Mumper, Roy	YES

7. Discussion and Action on Special Exception for Aspirus Weston Clinic Signage [0:17:05 Zoom Meeting Recording]

Higgins explained that within the Aspirus Clinic building, there are technically two businesses – Aspirus Weston Clinic and Open MRI. She stated they are doing some sign replacements, and a Special Exception review is required because the Aspirus sign is too big and exceeds the sign code maximums for wall signage. She stated that the two new signs are technically smaller than what was there. She stated this just needs a Special Exception from Plan Commission because it exceeds the allowable wall signage.

Higgins explained to Jordan that they are just updating their signage. She stated this project has been on hold for some time (from the client), and finally coming through.

Motion by Zeyghami, second by Jordan: to recommend approval of the Special Exception for Aspirus Weston Clinic.

Yes Vote: 6 No Votes: 0 Abstain: 0 Not Voting: 2 Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	YES
Diesen, Dave	----
Guerndt, Gary	YES
Hoffman, Travis	----
Jordan, Joe	YES
Mumper, Roy	YES

8. Discussion and Action on the Re-Plat of Green Tree Acres Subdivision [0:20:25 Zoom Meeting Recording]

Dustin Vreeland, Vreeland Associates, was present. He explained that this came up when they were staking the property line pins along the west side of the new subdivision properties, and a neighbor came out there and informed them that the pins were 4 feet off his property line. They checked the original property lines, and discovered that something happened between them transferring the information from their field equipment and office equipment, where the points got deleted. Vreeland stated that the west side had to be adjusted to match the existing subdivision. He stated the surveyor of the original subdivision told them that the lot lines were along the 40, but it turned out it was not. Now they just need to adjust the lot lines to correct them. He stated this does not affect acreage of the lots.

Vreeland stated that DOA explained to simply replat is the best option in this situation. He stated the north end was adjusted by less than a foot and the south end was adjusted by about four feet.

Motion by Guerndt, second by Mumper: to recommend approval of the Re-Plat of Green Tree Acres Subdivision.

Yes Vote: 6 No Votes: 0 Abstain: 0 Not Voting: 2 Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	YES
Diesen, Dave	----

Guerndt, Gary	YES
Hoffman, Travis	----
Jordan, Joe	YES
Mumper, Roy	YES

9. February 2025 Staff-Approved Certified Survey Maps and Site Plans. [0:23:30 Zoom Meeting Recording]

Motion by Zeyghami, second by Jordan: to acknowledge the February 2025 Staff Approvals.

Yes Vote: 6 No Votes: 0 Abstain: 0 Not Voting: 2 Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	YES
Diesen, Dave	----
Guerndt, Gary	YES
Hoffman, Travis	----
Jordan, Joe	YES
Mumper, Roy	YES

10. February 2025 Building Permits [0:23:56 Zoom Meeting Recording]

Motion by Mumper, second by Zeyghami: to acknowledge the February 2025 Building Permits.

Yes Vote: 6 No Votes: 0 Abstain: 0 Not Voting: 2 Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	YES
Diesen, Dave	----
Guerndt, Gary	YES
Hoffman, Travis	----
Jordan, Joe	YES
Mumper, Roy	YES

11. Planning & Development Department Project Update Report. [0:24:14 Zoom Recording]

Higgins referred to her report, included in the packet. Explaining that there are a few projects that we are working on that will come forward later. She stated we held an initial meeting with MDROffers to start discussions on the Comprehensive Plan update. She stated we held four interviews last week on the Assistant Zoning Administrator/Code Enforcement Officer. Our goal is to start second interviews with some of the candidates next week, with the hopes of hiring someone very soon. She stated the upcoming Evolve upgrade should be good for us. She gave examples of what the new system will look like and do, versus the old system. Higgins stated Maguire is still working towards becoming certified in commercial building inspections.

12. Announcements & Committee/Commissioner Remarks/Staff Referrals [0:27:50 Zoom Recording]

Guerndt questioned the scheduled start for Weston Avenue. Gebert stated we are working with WPS on the utility work now, she is unsure if there is a scheduled start for paving yet. She stated there are a couple Special Assessments to finalize along there too. Mumper stated there is a public hearing coming up in a couple of weeks for the assessments.

13. Next Regular Meeting Date– Monday, April 14, 2025, at 6pm.

14.Future Agenda Items or Staff Referrals

15. Adjourn Plan Commission

Motion by Mumper, second by Jordan: to adjourn at 6:31 p.m.

Steve Cronin, Village Trustee and Plan Commission Chair

Jennifer Higgins, Director of Planning & Development

Valerie Parker, Recording Secretary

3/10/25

Roman Maguire

Project Update: MWMS/Bearded Kaptain Mini Storage 8211 Schofield Ave.

On 3/6/25 an Inspection was conducted with Jon M. from DSPS, Cody from Croker Electric and Inspectors Tatro & Maguire.

Inspector Tatro deemed the electrical as not having any issues to note. Thus, the west side of the site has sufficient illumination covering areas where unit renters will be accessing units.

There are a few items that Jon from DSPS would like to see taken care of. My recommendation is that the Stop Work Order should be lifted, and the construction permit should be issued so that work may proceed by Walters and others. I believe lifting the SWO and issuing the permit is the cleanest way to do this. When communicating with Chuck from Walters he would like to schedule his crew to be onsite as soon as possible. Once they are back onsite, I don't feel it should be an issue to have the crew fix the building items in C & D then proceed to finishing buildings E-F. I have attached the inspection notes from last week for reference.

Once the items are corrected Occupancy Certificates can be issued for buildings A-D. Once the OC are issued, I don't see a major issue with the operation being able to continue. Discussion should take place as to at what point would the PC like to see the asphalt installed on the site The asphalt plant is a way out from opening, I'm sure. However, I do not know if Mr. Jones has the pavement installation scheduled yet. I believe that previously they wanted to pave the whole site at one time, but I think it should be done in a phased approach. However, there are a few items like bollards and curbing that also need to be considered with the paving portion of the project.

****This inspection is only for buildings A-D.****

1. Smoke membranes shall be completed with Draft stopping so that the smoke compartment areas are limited to 3000sq ft.
2. The units containing passage doors for "Accessible" units are not accessible due to threshold height at the doors. The road base is not an approved surface on the outside of the doors to allow for wheelchair usage. This shall be corrected with either asphalt or concrete pads installed outside of the doors. Or grind down the lip at the overhead door threshold transition and install accessible access hardware on the overhead doors. And then installing the asphalt to eliminate the transition issue at the overhead door.
3. The excavation hole in front of the electrical pedestal needs to be filled in as this is 12"-18" deep and 3'-4' in length.



Application for Rezone
**REZONE DETERMINATION BY THE VILLAGE OF WESTON
 PLAN COMMISSION**

Application/Petition No.: **20250077**

Hearing Date: **March 10, 2025**

Applicant: **Village of Weston**

Property Location: **Lot 1 of Certified Survey Map 17439, as recorded in Volume 83 Page 96 at the Marathon County Register of Deeds Office, Wisconsin. Consisting of 72.2230 acres and currently zoned AR Agriculture and Residential. (PIN 192 2808 224 0990)**

Parcel 1 of Certified Survey Map 10226, as recorded in Volume 42 Page 49 at the Marathon County Register of Deeds Office, Wisconsin. Consisting of 10.1290 acres and currently zoned RR-5 Rural Residential – 5 acre minimum. (PIN 192 2808 233 0953).

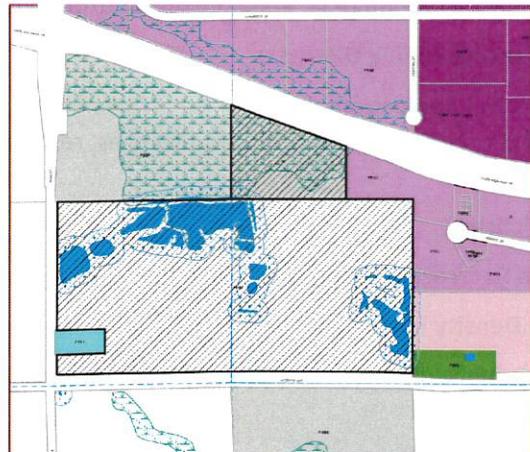
Property Owner: **Village of Weston**

Description: **A rezoning of 7.422 acres from INT to B-3.**

The Department of Planning and Development of the Village of Weston, pursuant to the Village of Weston Zoning Code, Article 16 Processes, Section 94.16.03 Amendments to the Official Zoning Map (Rezoning), hereby makes the following findings and evaluation to the Village of Weston Plan Commission:

GENERAL INFORMATION:

Current Zoning: **RR-5 (Rural Residential 5-Acre) Zoning District and AR (Agriculture and Residential) Zoning District**



Definition: 94.2.02(1)(d) *RR-5 Rural Residential 5 Acres.* The RR-5 district is intended for mainly single family detached residential development on minimum five acre sized rural lots, along with compatible home occupations, small-scale institutional and recreational uses, and low-intensity agricultural uses. Development within this district may be served by private on-site wastewater treatment systems (POWTS), and roadways within a rural cross section. The RR-5 district is intended for areas planned for rural residential development within the Comprehensive Plan. (Predecessor districts: RR Rural Residential; SR Suburban Residential)

Definition: 94.2.02(1)(b) *AR Agriculture and Residential.* The AR district is primarily intended to preserve agricultural, forested, and other open lands until ripe for non-agricultural development, including residential, commercial, and industrial development, and to allow for very low density residential development. The AR district is also intended for areas planned for denser

development in the Comprehensive Plan, but not yet suited for such denser development due to lack of public utilities or services in the area, inadequate roads, a sufficient supply of lands zoned for development elsewhere, and other factors. (Predecessor districts: AG, RR-10)

PR Parks and Recreation

Definition: 94.2.02(1)(e)

PR Parks and Recreation. The PR district is intended to accommodate parks, public recreational areas, public open spaces, and private lands and buildings available for public recreation and/or conservation. (Predecessor districts: PUL Public and Utility Lands, OC-1 Conservancy Overlay)

Future Land Use: Parks and Recreation



FLU Description: Parks, public recreational areas, public open spaces, and private lands and buildings available for public recreation (e.g., golf courses) and/or conservation.

Typical Implementing Zoning Districts:

- PR Parks and Recreation
- For smaller scale parks and recreational uses, residential zoning districts may also be appropriate

Development Policies:

1. See Parks and Recreation chapter.

Lot Size and/or Density Range:

Per associated zoning district. See also park master plans for proposed lot sizes and densities for village parks.

DETERMINATION (To be Completed by Plan Commission):

1. Is the proposed rezoning consistent with the Comprehensive Plan, as is required by Wisconsin Statutes?

2. Does the rezoning further the purpose and intent of this Chapter?

3. Does rezoning address any of the following that are not properly addressed on the current Official Zoning Map?

1. A mistake was made in mapping on the Official Zoning Map. That is, an area is or has developed in a manner and purpose different from that for which it is mapped. If this reason is cited, it must be demonstrated that the discussed inconsistency between actual land use and designated zoning is not intended, as the Village may intend to stop an undesirable land use pattern from being perpetuated.

2. Factors have changed, such as the availability of new data, the presence of new roads or other infrastructure, additional development, annexation, or other zoning changes, making the subject property more appropriate for a different zoning district.
 3. Growth patterns or rates have changed, thereby creating the need for a rezoning.
4. Does the proposed zoning district maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the surroundings of the subject property?

BACKGROUND INFORMATION:

The Village purchased the AR zoned property from the Prohaska Family a number of years ago to be used for a new park for the Village. We also acquired some adjacent land which was zoned RR-5 during a Business Park land swap. The Village Comprehensive Outdoor Recreation Plan (CORP) and the Village Comprehensive Plan both show these properties being combined to create Prohaska Park. We were waiting for the CORP and Comp plan to be revised last year so now the next step is the rezone to formalize the park on the Village official zoning map.

CURRENT PROPERTY CONDITIONS:

The Village has done some recent work on maintaining and opening to the public a passive use trail throughout the properties.

STAFF RECOMMENDATION:

Staff recommends approval based on the submittal and information currently available to us.

PLAN COMMISSION ACTION OPTIONS: (Process is outlined in Sec. 94.16.03(6))

- 1) **RECOMMEND APPROVAL:** Plan Commission recommends approval of the rezone request and forwards the recommendation on to the Village Board 3/17/25 meeting agenda.
- 2) **RECOMMEND DENIAL:** Plan Commission recommends denial of the rezone request and forwards the recommendation on to the Village Board 3/17/25 meeting agenda.
- 3) **NO RECOMMENDATION:** Plan Commission takes no action and the request moves on to the Village Board 3/17/25 meeting agenda.
- 4) **DEFER ACTION:** Plan Commission can defer action until the next meeting date. The Plan Commission has 45 days following the public hearing per code to take action.

ACTION:

Plan Commission Determination on 3/17/25:	RECOMMEND APPROVAL/DENIAL
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VILLAGE BOARD POLICY CHOICES: (Process is outlined in Sec. 94.16.03(8))

- 1) Board approves the rezone request per the PC recommendation by adopting Ord. No. 25-0XX as written. (simple majority required)
- 2) Board approves the rezone request with modifications to Ord. No. 25-0XX – Sec. 94.16.03(8)(b) Requires affirmative vote of ¾ or greater of the full Village Board.
- 3) Board denies the rezone request. – Sec. 94.16.03(8)(b) Requires affirmative vote of ¾ or greater of the full Village Board.

Board of Trustees Determination on 3/17/25:	APPROVE / DENY
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NOTICE OF PUBLIC HEARING BEFORE THE VILLAGE OF WESTON PLAN COMMISSION

NOTICE IS HEREBY GIVEN that an application Project #20250100 has been filed by property owner Luke Cleveland, requesting a rezone from SF-S (Single Family Residential – Small Lot) Zoning District, to 2F (Two Family Residential) Zoning District, to allow for a duplex to be constructed at 4803 Mesker Street. The property to be rezoned is legally described as follows:

Lot 1, Block 4 of Kellyland's 1974 Addition, located in Section 16, Township 28 North, Range 8 East, Village of Weston, Marathon County, Wisconsin, as recorded in Plat Cabinet 1, Envelope 498, Document No. 682960, in the Register's Office of Marathon County, Wisconsin.

Notice is hereby given that the Plan Commission will hear said request at a public hearing to be held at its meeting scheduled to begin at 6:00 p.m., on Monday, April 14, 2025, in the Board Room of the Weston Municipal Center, 4747 Camp Phillips Road. Dated March 24, 2025. Valerie Parker, Commission Clerk
Run: March 31, 2025, and April 7, 2025.



**VILLAGE OF WESTON
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that a public hearing will be held before the Village of Weston Plan Commission, on Monday, April 14, 2025, at approximately, 6:00 p.m., or shortly thereafter, at the Weston Municipal Center, 4747 Camp Phillips Road, Weston, WI 54476, to take testimony relative to the following:

Project # 20250100 – Property owner Luke Cleveland, requesting a rezone from SF-S (Single Family Residential – Small Lot) Zoning District, to 2F (Two Family Residential) Zoning District, to allow for a duplex to be constructed at 4803 Mesker Street. The property to be rezoned is legally described as follows:

Lot 1, Block 4 of Kellyland's 1974 Addition, located in Section 16, Township 28 North, Range 8 East, Village of Weston, Marathon County, Wisconsin, as recorded in Plat Cabinet 1, Envelope 498, Document No. 682960, in the Register's Office of Marathon County, Wisconsin.

The hearing notice with application materials are available for public inspection on the Village of Weston website located at <http://westonwi.gov/421/Public-Hearing-Notices>.

Written testimony submitted by noon on the date of the hearing to the Village of Weston Plan Commission, Valerie Parker, Plan Commission Secretary, 4747 Camp Phillips Road, Weston, WI 54476, or emailed to vparker@westonwi.gov, will be brought to the hearing and entered into the hearing record.

All interested persons wishing to provide oral or written testimony during the Public Hearing will be given an opportunity to be heard.

Any person with questions or planning to attend needing additional special accommodation in order to participate, should call Valerie Parker, Planning Technician, Planning and Development Department, at 715-241-2607.

Dated this 24th day of March, 2025

Valerie Parker
Plan Commission Secretary

Published as a legal ad in the Wausau Daily Herald on Monday, March 31, 2025, and Monday, April 7, 2025.

REQUEST FOR CONSIDERATION

Public Mtg/Date:	Plan Commission, April 14, 2025
Description:	Public Hearing - Project #20250100 - Rezone 4803 Mesker Street from SF-S (Single Family Residential – Small Lot) & 2F (Two Family Residential).
From:	Jennifer Higgins, Planning & Development Director/Zoning Administrator
Question:	Should the Plan Commission recommend to the Board of Trustees to approve the rezone of 4803 Mesker Street from SF-S (Single Family Residential – Small Lot) & 2F (Two Family Residential)?

BACKGROUND

Mr. Cleveland purchased the vacant lot from a recent Sheriff's sale at Marathon County. The property had been abandoned by the previous owner and there were back taxes and fees associated with the village razing the fire damaged home on the site and mowing the grass the last 3-4 years.

Per Mr. Cleveland his intentions are as follow:

My intention is to construct a premium side-by-side duplex, with plans to occupy one side with my family. Each unit will feature approximately 1,500 square feet of living space on the main level, with additional square footage in a partially finished basement. In consideration of community needs, I plan to make the property handicap accessible to accommodate disabled and elderly tenants. The location is ideal, offering convenient access to essential services and being situated near the Mountain Bay Trail, providing an area conducive to walking and recreation. Furthermore, there is a limited supply of handicapped-accessible rental properties in the area, making this development a valuable addition to the neighborhood.

The property is located across the street from Old Castle Glass (LI Limited Industrial zoned property). There is also duplexes located down the street not far from this property.

The Village Comprehensive Plan Future Land Use Map show this property as Low Density Village Residential. This FLU is described as *Predominately single family detached residences, but may also include two family, townhome, and accessory dwelling units where the overall development falls within density range to the right. May also include home occupations, family childcare, small community facilities, parks, and other compatible uses allowed in associated zoning districts.*

Typical Implementing Zoning Districts:

- Predominately SF-S and SF-L Single Family Residential, or N Neighborhood where the village approves a unique design, layout, theme, or lot sizes.
- May also include limited 2F Two Family Residential zoning and possibly MF Multiple Family zoning at village discretion where development gross density to right is maintained.

The public hearing was duly noticed as a Class 2 notice on March 31 and April 7. Notices were also mailed out to all property owners within 300 feet of the property. To date, no written correspondence has been received. If any are received, they will be brought to the meeting.

A more detailed staff report has been included in the Draft Determination Form attached.

REQUEST FOR CONSIDERATION

Attached Docs: Hearing Notice, Draft Determination Form, Current Zoning Map,

Committee Action: None

Fiscal Impact: TBD.

Recommendation: Staff report provided in the Rezone Determination Document included. Based on the information we have received to date, Staff recommends approval.

RECOMMENDED LANGUAGE FOR OFFICIAL ACTION

- 1) **RECOMMEND APPROVAL:** Plan Commission recommends approval of the rezone request and forwards the recommendation on to the Village Board 4/14/25 meeting agenda.
- 2) **RECOMMEND DENIAL:** Plan Commission recommends denial of the rezone request and forwards the recommendation on to the Village Board 4/14/25 meeting agenda.
- 3) **NO RECOMMENDATION:** Plan Commission takes no action, and the request moves on to the Village Board 4/14/25 meeting agenda.
- 4) **DEFER ACTION:** Plan Commission can defer action until the next meeting date. The Plan Commission has 45 days following the public hearing per code to take action.

ADDITIONAL ACTION: Forward recommendation to the Board of Trustees for 4/21/25 meeting
Consideration of Ordinance to Amend Zoning Map
Update Zoning Map
Notify Applicant (Staff)

Project Narrative/Description

I am requesting a rezoning of the vacant lot located at 4803 Mesker Street from Single Family Residential to Two-Family Residential. My intention is to construct a premium side-by-side duplex, with plans to occupy one side with my family. Each unit will feature approximately 1,500 square feet of living space on the main level, with additional square footage in a partially finished basement.

In consideration of community needs, I plan to make the property handicap accessible to accommodate disabled and elderly tenants. The location is ideal, offering convenient access to essential services and being situated near the Mountain Bay Trail, providing an area conducive to walking and recreation. Furthermore, there is a limited supply of handicap-accessible rental properties in the area, making this development a valuable addition to the neighborhood.

Village of Weston Marathon County, WI



ZONING MAP



Map Date: 3/25/2025
Adoption Date: 2/17/2025



LEGEND

4803 Mesker St

MUNICIPAL FEATURES

Sections (Polygons)

Village of Weston Incorporated Boundary

Right-of-Way

Wetland Presence

ZONING DISTRICTS

PR - Parks and Recreation

RR-5 - Rural Residential-5 Acre

SF-S - Single Family Residential-Small Lot

2F - Two Family Residential

MF - Multiple Family Residential

LI - Limited Industrial

Shoreland Zone (Town)

OVERLAY DISTRICTS

D-CO



ROBERT J CHAMBERLAIN
4823 CHADWICK ST
WESTON WI 54476

LUKE A CLEVELAND
POLINA O CLEVELAND
5009 MESKER ST
WESTON WI 54476

JACOB DAWSON
4711 MESKER ST
WESTON WI 54476

TOM GRAWAY
4907 MESKER ST
WESTON WI 54476

DAVID A HROBSKY
1001 STARK ST
WAUSAU WI 54403

JOSEPH AND JANET THEISEN
4907 CHADWICK ST
WESTON WI 54476

CHUE KHANG
BLA T KHANG
4714 MESKER ST
WESTON WI 54476

WESLEY D LATIMER
CHERYL L LATIMER
4903 CHADWICK ST
WESTON WI 54476

RICHARD P LUCHT
SHARI L LUCHT
4723 CHADWICK ST
WESTON WI 54476

DANIEL MACDONALD
SUSAN MACDONALD
4713 MESKER ST
WESTON WI 54476

JAMES L MAGUIRE
JULIE R MAGUIRE
4710 CHADWICK ST
WESTON WI 54476

OLDCASTLE BUILDING ENVELOPE INC
5005 L B J FREEWAY STE 1050
DALLAS TX 75244

CATHERINE E RADKE
GREGORY D RADKE
4719 CHADWICK ST
WESTON WI 54476

STEVEN P SETHER
JILL M ROMBERG
4802 CHADWICK ST
WESTON WI 54476

ADAM M TESCH
4714 CHADWICK ST
WESTON WI 54476

PAUL VAN DEN HEUVEL
HANNAH M VAN DEN HEUVEL
4718 MESKER ST
WESTON WI 54476

CHONG VANG
VISAY YANG
4903 MESKER ST
WESTON WI 54476

XAI VANG AKA MOUA
5202 JANICE AVE
WESTON WI 54476

FLOYDELL WILLIAMS
SHARON J WILLIAMS
4906 CHADWICK ST
WESTON WI 54476

KA Y YANG
4902 CHADWICK ST
WESTON WI 54476

REQUEST FOR CONSIDERATION

Public Mtg/Date:	Plan Commission – 4/14/2025
Description:	Project #20250149 - Site Plan Review for Yellowbanks Park Kayak Launch.
From:	Shawn Osterbrink, Director of Parks, Recreation & Forestry Jennifer Higgins, Director of Planning and Development / Zoning Administrator Michael Wodalski, Director of Public Works
Question:	Should the Plan Commission recommend approval of the plans for the development of the kayak launch at Yellowbanks Park?

Background

The Village has been working on plans to improve access to the river at Yellowbanks Park. In April of 2024, the Village Board approved a resolution allowing staff to apply for a grant for these improvements. The Village applied for and received notification in September 2024 that we were awarded a \$48,000, 50/50 matching grant through the WDNR. Total cost is estimated at just under \$96,000. Based on the initial cost estimate the Village would be able to cover its portion of the grant utilizing force labor, equipment and materials. Since then, unfortunately prices have gone up, but we have also received additional grants along with the donation of some services. We have received additional grants of \$2,500 from the Wausau Noon Kiwanis Club, \$5,000 from the Wausau/Marathon County Parks Foundation, and a \$15,000 Impact Grant through the Community Foundation of North Central Wisconsin. Also, Dan Higginbotham from Plover River Land Co., Inc has donated surveying and engineering, and he is working with an excavation contractor that may be willing to donate equipment and labor for two days to work on the project.

Osterbrink and Wodalski have been involved in the design of the site plan. Due to costs and type of project, curb is not being proposed for this project and therefore requires Plan Commission review and approval. The section of the zoning code where the exemption is needed is listed below. Staff feels #2 highlighted is a justifiable option for the modification of the standard as it will be a lightly traveled access drive for the river with some limited parking for launch users.

Sec. 9412.09(6)(c). Curbing
For developments that require site plan approval under this Chapter, construction of concrete curb and gutter shall be required around all parking lots, driveways, other vehicular access areas, and landscaped islands and peninsulas within such areas. The site plan approval authority may modify this standard in one or more of the following circumstances:

REQUEST FOR CONSIDERATION

1. To facilitate a unique stormwater management approach or condition.
2. For lightly traveled service or emergency access drives.
3. At the edges of a phase of development of a parking area.
4. Around paved areas primarily used for the storage of waste, snow, or other materials, as opposed to vehicle parking or circulation.
5. For approved gravel surfaced areas.
6. Within industrial zoning districts, where the public street providing access to the site does not have curb and gutter or where the parking lot, driveway, other vehicular access area, and landscaped islands and peninsulas will not be visible or accessible to the public.
7. For reconstruction or resurfacing of existing parking lots, or expansion of existing parking lots where the size of the expansion plus any other expansions in the previous five years does not exceed 50% of the parking lot area before such expansion(s).

Attached Docs: **Yellowbanks Site and Grading Plan.**

Committee Action: **No prior review of site plans. Project is included in the CORP and the Comp Plan.**

Fiscal Impact: **Estimated costs are currently \$98,500 with the updated costs for the dock, which increased over \$12,000 from the initial estimate due to the original design not being ADA accessible, minus the \$9,500 for engineering and surveying that is being donated. We will also have a reduction due to the donated equipment and labor with costs to be determined. The Village portion with all the grants will be approximately \$28,000, which the majority will be covered with force labor, equipment and materials.**

Recommendation: **Staff recommends approval with the modification to not require curb on the project.**

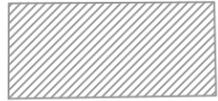
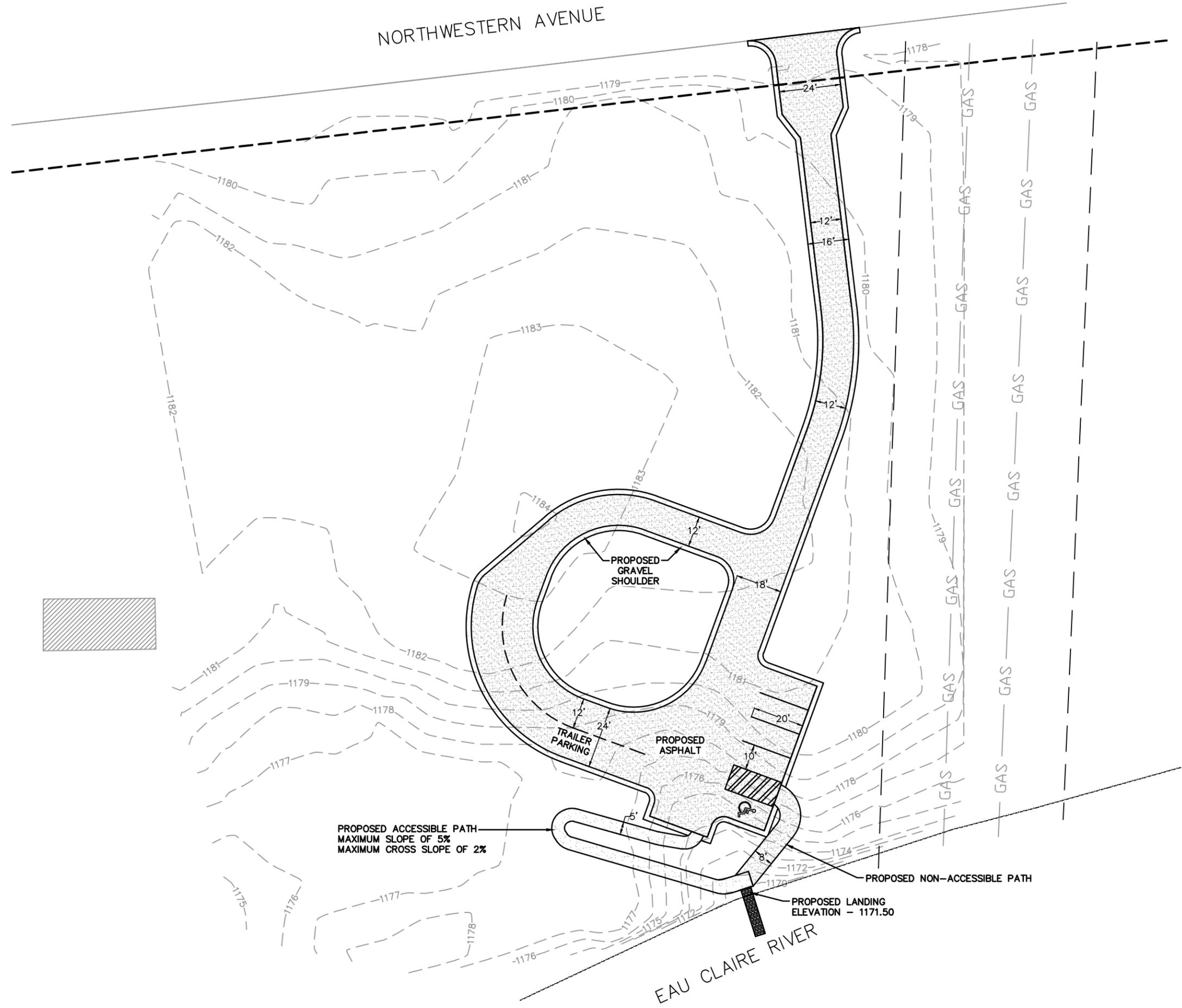
Recommended Language for Official Action

I move to approve the Yellowbanks Park Kayak Launch plans with the modification not to require curb on the project.

Or

Something else.

Additional action:



PROPOSED ACCESSIBLE PATH
 MAXIMUM SLOPE OF 5%
 MAXIMUM CROSS SLOPE OF 2%

PROPOSED LANDING
 ELEVATION - 1171.50

MARATHON TECHNICAL SERVICES LLC
 CONSULTING ENGINEERS
 1699 SCHOFIELD AVE, SUITE 115
 SCHOFIELD, WI 54476
 PHONE - (715)843-7292

REVISION DATE
 03/14/2025
 04/04/2025

SURVEYED: PRLCO
 DESIGNED: MTS
 DRAWN BY: NSB
 APPROVED:

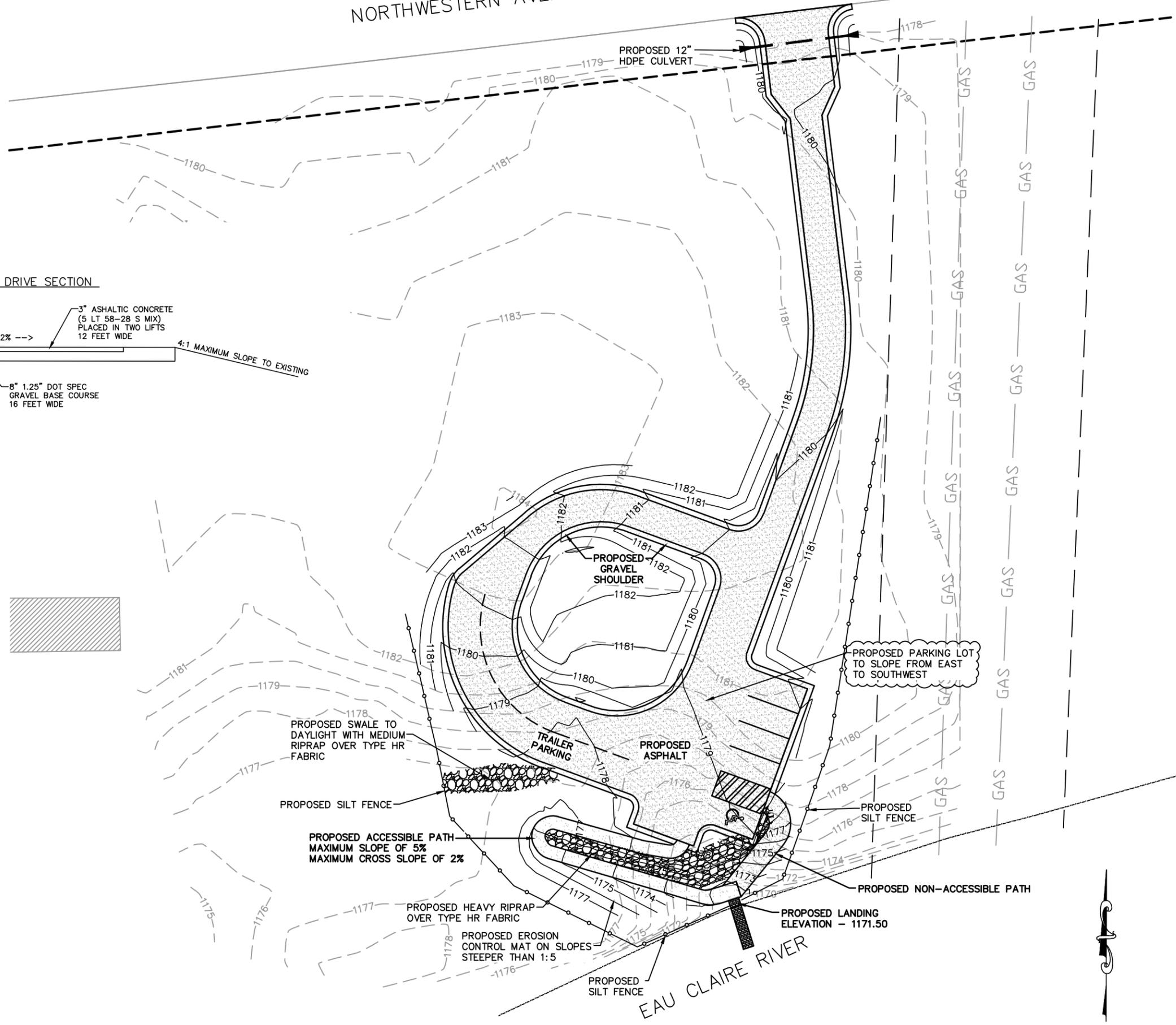
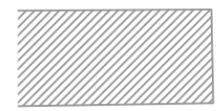
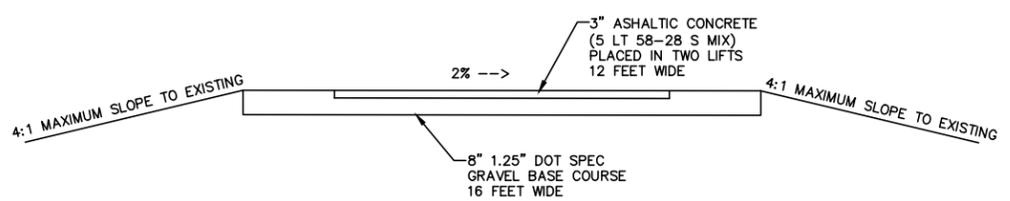
PROPOSED SITE PLAN
 KAYAK LAUNCH
 YELLOW BANKS PARK

SCALE
 1" = 40'
 SHEET NO.
 1

NORTHWESTERN AVENUE

PROPOSED 12" HDPE CULVERT

TYPICAL DRIVE SECTION



MARATHON TECHNICAL SERVICES LLC
CONSULTING ENGINEERS
1699 SCHOFIELD AVE, SUITE 115
SCHOFIELD, WI 54476
PHONE - (715)843-7292

REVISION DATE
03/14/2025
04/04/2025

SURVEYED: PRLCO
DESIGNED: MTS
DRAWN BY: NSB
APPROVED:

PROPOSED GRADING PLAN

KAYAK LAUNCH
YELLOW BANKS PARK

SCALE
1" = 40'

SHEET NO.
2

REQUEST FOR CONSIDERATION

Public Mtg/Date:	Plan Commission – 4/14/2025
Description:	Project #20250151 – Site Plan Review Kennedy Park Construction Plans of Phase 1-BB1 and Phase 1-BB2 Fields
From:	Shawn Osterbrink, Director of Parks, Recreation & Forestry Jennifer Higgins, Director of Planning and Development / Zoning Administrator Michael Wodalski, Director of Public Works
Question:	Should the Plan Commission recommend approval of the plans for the development of Phase 1-BB1 and Phase 1-BB2 fields as part of the Kennedy Park Renovation Project?

Background

The Village has been working on the renovation of Kennedy Park since the development and approval of the master plan in 2023. In 2024, the Village designated the remaining ARPA funds towards the Kennedy Park Renovation Project along with securing an engineering firm to develop construction plans, a marketing firm to assist with fundraising, development of the Friends of Kennedy Park and Memorandum of Understanding with this group and several other items to make this plan a reality. Attached is the plan set for the construction of two fields to take place in 2025.

Directors Osterbrink & Wodalski and Administrator Gebert have been involved with master planning the site along with the Parks & Recreation Committee. The project is included in the Village CORP and Comprehensive Plan.

Attached Docs:	Kennedy Park Plan.
Committee Action:	Reviewed monthly at the Parks & Recreation Committee meetings. The project is included in the Village CORP and Comp Plan.
Fiscal Impact:	Funds have been designated for the construction of the Phase 1-BB1 field and \$500,000 is being donated to the Friends of Kennedy Park through the Community Foundation for the construction of the Phase 1-BB2 field.
Recommendation:	Staff recommends approval.

Recommended Language for Official Action

REQUEST FOR CONSIDERATION

I move to approve the Kennedy Park Phase 1-BB1 and Phase 1-BB2 fields plan,

Or

Something else.

Additional action:

SITE PLAN PACKAGE FOR: KENNEDY PARK - PHASE I-H, I-BBI, & I-BB2

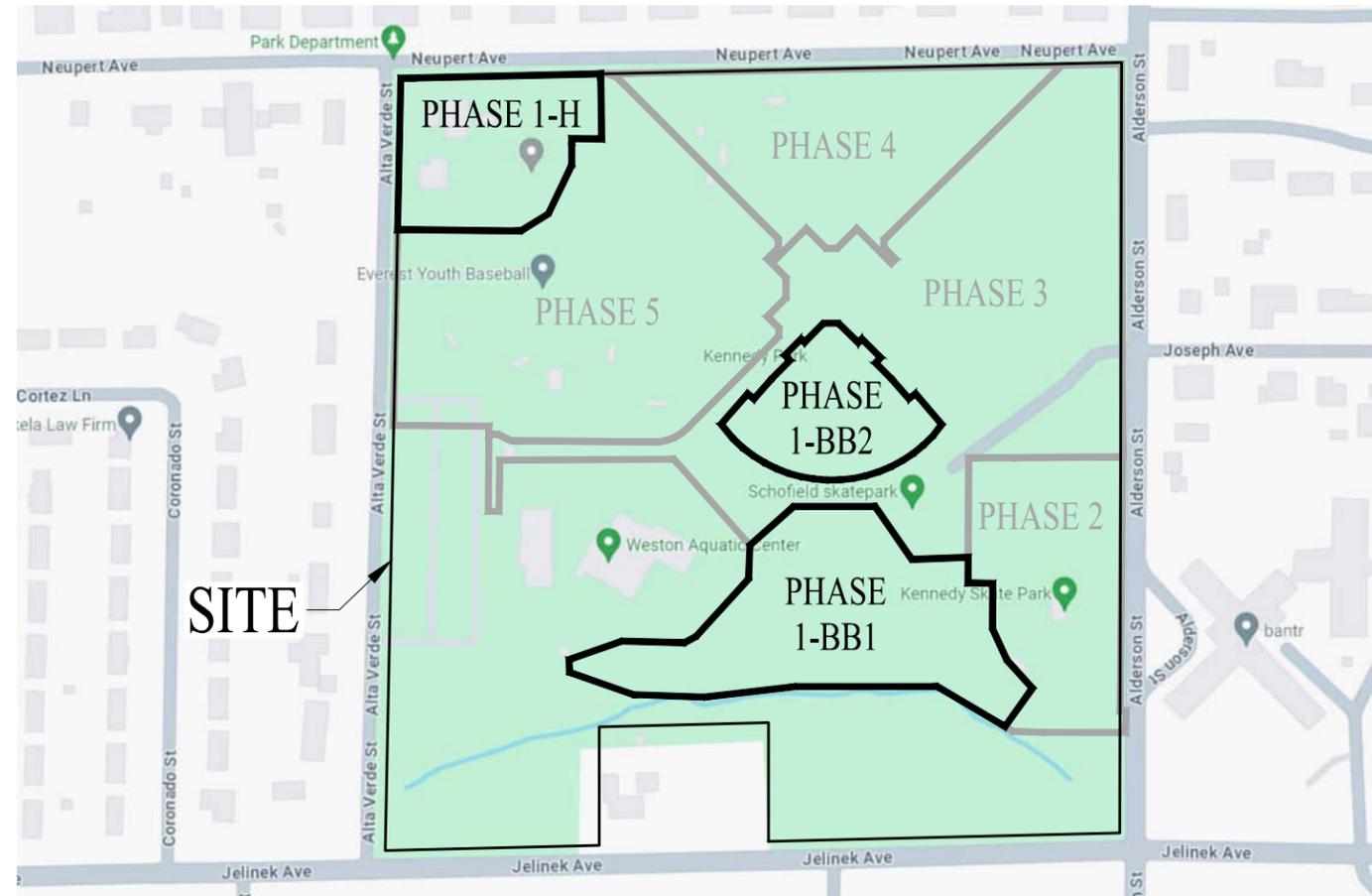
VILLAGE OF WESTON, MARATHON COUNTY, WISCONSIN

INDEX OF SHEETS

SHEET C001	TITLE SHEET
SHEET C010	EXISTING SITE CONDITIONS - NORTH
SHEET C011	EXISTING SITE CONDITIONS - SOUTH
SHEET C020	OVERLAY SITE PLAN
SHEET C031.1	DEMO PLAN - PHASE I-H
SHEET C031.2	DEMO PLAN - PHASE I-BB
SHEET C101.1	SITE PLAN - PHASE I-H
SHEET C101.2	SITE PLAN - PHASE I-BBI
SHEET C101.3	SITE PLAN - PHASE I-BB2
SHEET C200	GRADING PLAN - OVERALL - PHASE I
SHEET C201.1	GRADING & EROSION CONTROL PLAN - PHASE I-H
SHEET C201.2	GRADING & EROSION CONTROL PLAN - PHASE I-BBI
SHEET C201.3	GRADING & EROSION CONTROL PLAN - PHASE I-BB2
SHEET C301.1	UTILITY PLAN - PHASE I-H
SHEET C301.2	UTILITY PLAN - PHASE I-BBI & I-BB2
SHEET C800	SITE DETAILS
SHEET C801	SITE DETAILS
SHEET C810	EROSION CONTROL DETAILS
SHEET C811	STORMWATER DETAILS
SHEET C820	UTILITY DETAILS
SHEET C900	SITE SPECIFICATIONS
SHEET 1 OF 2	LIGHTING PLAN - PHASE I
SHEET 2 OF 2	LIGHTING PLAN - PHASE I
SHEET S0.0 - S6.1	STRUCTURAL PLANS

TOTAL SHEETS = 30

TITLE WORK REQUIRED
TITLE WORK FOR THE PROJECT SITE
WAS NOT PROVIDED TO REI FOR
REVIEW, THEREFORE REI WAS
UNABLE TO VERIFY THE EXISTENCE
OF EASEMENTS OR USE
ENCUMBRANCES.



INFORMATION SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES IS BASED ON INFORMATION AND DATA FURNISHED BY THE OWNER OF SUCH UNDERGROUND FACILITIES. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXACT LOCATIONS OF ALL UNDERGROUND FACILITIES PRIOR TO COMMENCING ANY WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITY FACILITIES.

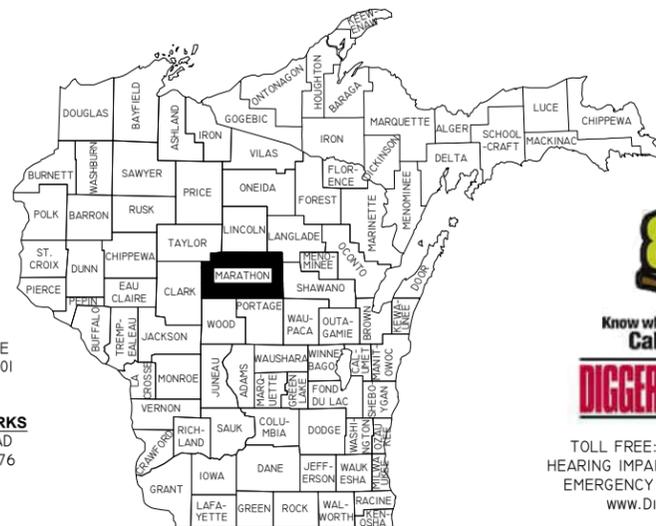
LIST OF STANDARD ABBREVIATIONS

AB	AND	MEG	MATCH EXISTING GRADE
ADT	AUGER BORING	MH	MANHOLE
BC	AVERAGE DAILY TRAFFIC	(N)	NORTH
BM	BOTTOM OF CURB	(NE)	NORTHEAST
BOC	BENCHMARK	(NW)	NORTHWEST
BR	BACK OF CURB	OH	OVERHEAD
BS	BOTTOM OF RAMP	PC	POINT OF CURVATURE
BW	BOTTOM OF STEPS	PE	POLYETHYLENE PIPE
CB	BOTTOM OF WALL	P/L	PROPERTY LINE
CMAC	CATCH BASIN	PP	POWER POLE
CMBC	CORRUGATED METAL ARCH CULVERT	PT	POINT OF TANGENCY
CMP	CORRUGATED METAL BOX CULVERT	PVC	POLYVINYL CHLORIDE PIPE
CO	CLEANOUT	RCB	REINFORCED CONCRETE BOX CULVERT
CONC.	CONCRETE	RCP	REINFORCED CONCRETE PIPE
CPP	CORRUGATED PLASTIC PIPE	RR	RAIL ROAD
DGB	DENSE GRADED BASE	R/W	RIGHT OF WAY
DIP	DUCTILE IRON PIPE	(S)	SOUTH
D/S	DOWNSTREAM	SAN	SANITARY SEWER
(E)	EAST	SB	SOIL BORING
ELEV.	ELEVATION	SS	STORM SEWER
EOG	EDGE OF GRAVEL	STM	STORM
FFE	FINISHED FLOOR ELEVATION	(SW)	SOUTHWEST
FG	FINISH GRADE	TC	TOP OF CURB
F.O.	FIBER OPTIC	TBR	TO BE REMOVED
INL	INLET	TLE	TEMPORARY LIMITED EASEMENT
HDPE	HIGH DENSITY POLYETHYLENE PIPE	TNH	TOP NUT FIRE HYDRANT
HMA	HOT MIX ASPHALT	TP	TEST PIT
HP	HIGH POINT	TR	TOP OF RAMP
IE	INVERT ELEVATION	TYP.	TYPICAL
LF	LINEAL FEET	TS	TOP OF STEPS
LP	LOW POINT	TW	TOP OF WALL
		U/S	UPSTREAM
		VAR.	VARIABLES
		(W)	WEST

MEG	MATCH EXISTING GRADE
MH	MANHOLE
(N)	NORTH
(NE)	NORTHEAST
(NW)	NORTHWEST
OH	OVERHEAD
PC	POINT OF CURVATURE
PE	POLYETHYLENE PIPE
P/L	PROPERTY LINE
PP	POWER POLE
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE PIPE
RCB	REINFORCED CONCRETE BOX CULVERT
RCP	REINFORCED CONCRETE PIPE
RR	RAIL ROAD
R/W	RIGHT OF WAY
(S)	SOUTH
SAN	SANITARY SEWER
SB	SOIL BORING
SS	STORM SEWER
STM	STORM
(SW)	SOUTHWEST
TC	TOP OF CURB
TBR	TO BE REMOVED
TLE	TEMPORARY LIMITED EASEMENT
TNH	TOP NUT FIRE HYDRANT
TP	TEST PIT
TR	TOP OF RAMP
TYP.	TYPICAL
TS	TOP OF STEPS
TW	TOP OF WALL
U/S	UPSTREAM
VAR.	VARIABLES
(W)	WEST

DNR SERVICE CENTER
5301 RIB MOUNTAIN DRIVE
WAUSAU, WISCONSIN 54401
(715) 359-2872

DIRECTOR OF PUBLIC WORKS
4747 CAMP PHILLIPS ROAD
WESTON, WISCONSIN 54476
(715) 241-2636



TOLL FREE: 811 OR (800) 242-8511
HEARING IMPAIRED: TDD (800)542-2289
EMERGENCY ONLY: (877) 500-9592
WWW.DIGGERSHOTLINE.COM

OWNER:
VILLAGE OF WESTON

SURVEYOR:
REI ENGINEERING, INC.
4080 N. 20TH AVENUE
WAUSAU, WI 54401
(715) 675-9784

ENGINEER:
REI ENGINEERING, INC.
4080 N. 20TH AVENUE
WAUSAU, WI 54401
(715) 675-9784
PROJECT ENGINEER
CORY S. SCHLOSSER

APPROVING AUTHORITIES:
VILLAGE OF WESTON
WDNR

LEGEND	
	BENCHMARK
	1" IRON BAR
	EXISTING MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING HYDRANT
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING WATER SHUTOFF
	EXISTING DECIDUOUS TREE
	EXISTING CONIFEROUS TREE
	EXISTING GAS VALVE
	EXISTING CURB INLET
	EXISTING WELL
	TEST PIT LOCATION
	SOIL BORING
	EXISTING AIR CONDITIONING UNIT
	EXISTING GAS METER
	EXISTING ELECTRIC METER
	EXISTING UTILITY PEDESTAL
	EXISTING RAILROAD TRACKS
	EXISTING TREE LINE
	EXISTING GUY POLE
	EXISTING CABLE TV
	EXISTING FIBER OPTIC CABLE
	EXISTING UNDERGROUND GAS
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	EXISTING OVERHEAD UTILITIES
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING PROPERTY LINE
	PROPOSED HANDICAP PARKING
	PROPOSED CURB STOP
	PROPOSED HYDRANT
	PROPOSED WATER VALVE
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED FORCE MAIN
	PROPOSED SANITARY SEWER LATERAL
	PROPOSED WATER LATERAL
	PROPOSED WATER MAIN
	PROPOSED PUMP STATION
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM MANHOLE
	PROPOSED CURB INLET
	PROPOSED CATCH BASIN
	PROPOSED CLEANOUT
	PROPOSED DRAINAGE FLOW
	PROPOSED SLOPE
	PROPOSED CURB & GUTTER
	PROPOSED REJECT CURB & GUTTER
	PROPOSED MOUNTABLE CURB & GUTTER
	EXISTING GROUND CONTOUR (INTERVAL-1 FT.)
	PROPOSED GROUND CONTOUR (INTERVAL-1 FT.)
	PROPOSED SPOT ELEVATION (TOP OF CURB)
	PROPOSED SPOT ELEVATION (BOTTOM OF CURB)
	PROPOSED SILT FENCE
	PROPOSED INLET PROTECTION
	PROPOSED RIPRAP
	PROPOSED EROSION MAT
	PROPOSED SAWCUT
	PROPOSED VEGETATIVE DRAINAGE SWALE
	PROPOSED ASPHALT DRAINAGE SWALE

REI Engineering, INC.
4080 N. 20TH AVENUE
WAUSAU, WISCONSIN 54401
PHONE: 715.675.9784, FAX: 715.675.4060
EMAIL: MAIL@REIENGINEERING.COM



**CIVIL & ENVIRONMENTAL
ENGINEERING, SURVEYING**

NO SCALE

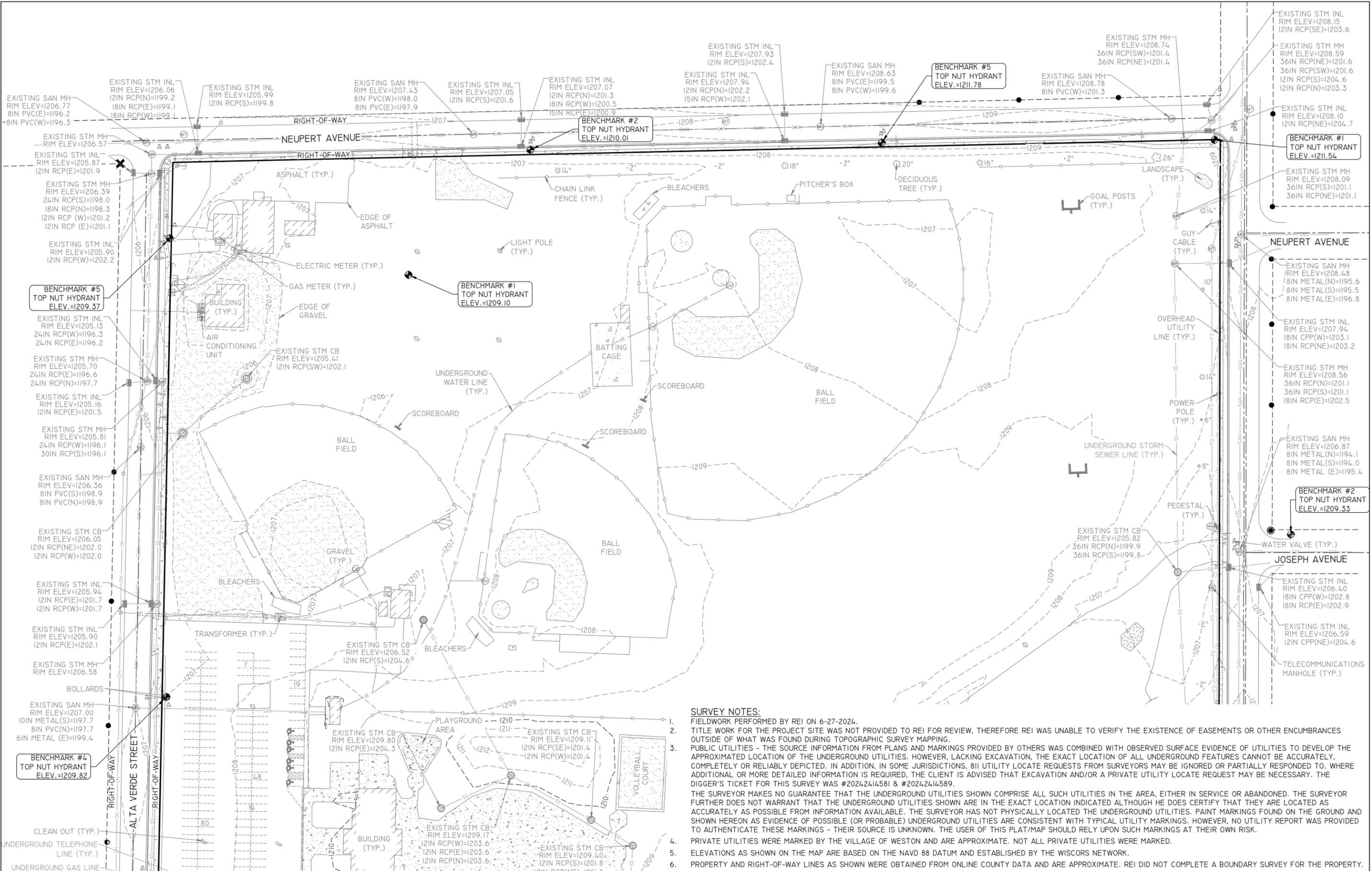


DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
03/26/25	BID SET ISSUANCE	NAP	KS	AJB	CSS	7-2-2024
				JLR	JJB	03-26-2025
				JLR	JJB	

TITLE SHEET
KENNEDY PARK
5815 ALTA VERDE STREET
WESTON, WI

REI
REI No. 11600
SHEET C001

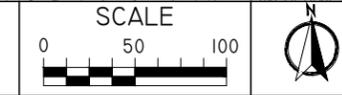
DRAWING FILE: Q:\11600-11699\11600 - VILLAGE OF WESTON - KENNEDY PARK - 6002 ALDERSON STREET - VILLAGE OF WESTON - MARATHON COUNTY DRAWING\PLANS\11600-C010-EXISTING.DWG LAYOUT: C010
 PLOTTED: MAR 27, 2025 - 9:50AM PLOTTED BY: NATHANP



SURVEY NOTES:

- FIELDWORK PERFORMED BY REI ON 6-27-2024.
- TITLE WORK FOR THE PROJECT SITE WAS NOT PROVIDED TO REI FOR REVIEW, THEREFORE REI WAS UNABLE TO VERIFY THE EXISTENCE OF EASEMENTS OR OTHER ENCUMBRANCES OUTSIDE OF WHAT WAS FOUND DURING TOPOGRAPHIC SURVEY MAPPING.
- PUBLIC UTILITIES - THE SOURCE INFORMATION FROM PLANS AND MARKINGS PROVIDED BY OTHERS WAS COMBINED WITH OBSERVED SURFACE EVIDENCE OF UTILITIES TO DEVELOP THE APPROXIMATED LOCATION OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF ALL UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY OR RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR PARTIALLY RESPONDED TO. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY. THE DIGGER'S TICKET FOR THIS SURVEY WAS #20242414581 & #20242414589.
- THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. PAINT MARKINGS FOUND ON THE GROUND AND SHOWN HEREON AS EVIDENCE OF POSSIBLE (OR PROBABLE) UNDERGROUND UTILITIES ARE CONSISTENT WITH TYPICAL UTILITY MARKINGS. HOWEVER, NO UTILITY REPORT WAS PROVIDED TO AUTHENTICATE THESE MARKINGS - THEIR SOURCE IS UNKNOWN. THE USER OF THIS PLAT/MAP SHOULD RELY UPON SUCH MARKINGS AT THEIR OWN RISK.
- PRIVATE UTILITIES WERE MARKED BY THE VILLAGE OF WESTON AND ARE APPROXIMATE. NOT ALL PRIVATE UTILITIES WERE MARKED.
- ELEVATIONS AS SHOWN ON THE MAP ARE BASED ON THE NAVD 88 DATUM AND ESTABLISHED BY THE WISCONSIN NETWORK.
- PROPERTY AND RIGHT-OF-WAY LINES AS SHOWN WERE OBTAINED FROM ONLINE COUNTY DATA AND ARE APPROXIMATE. REI DID NOT COMPLETE A BOUNDARY SURVEY FOR THE PROPERTY.

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 EMAIL: MAIL@REIENGINEERING.COM



DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
03/26/25	BID SET ISSUANCE	NAP	KS	AJB	CSS	7-2-2024
				JLR	JJB	03-26-2025
				JLR	JJB	

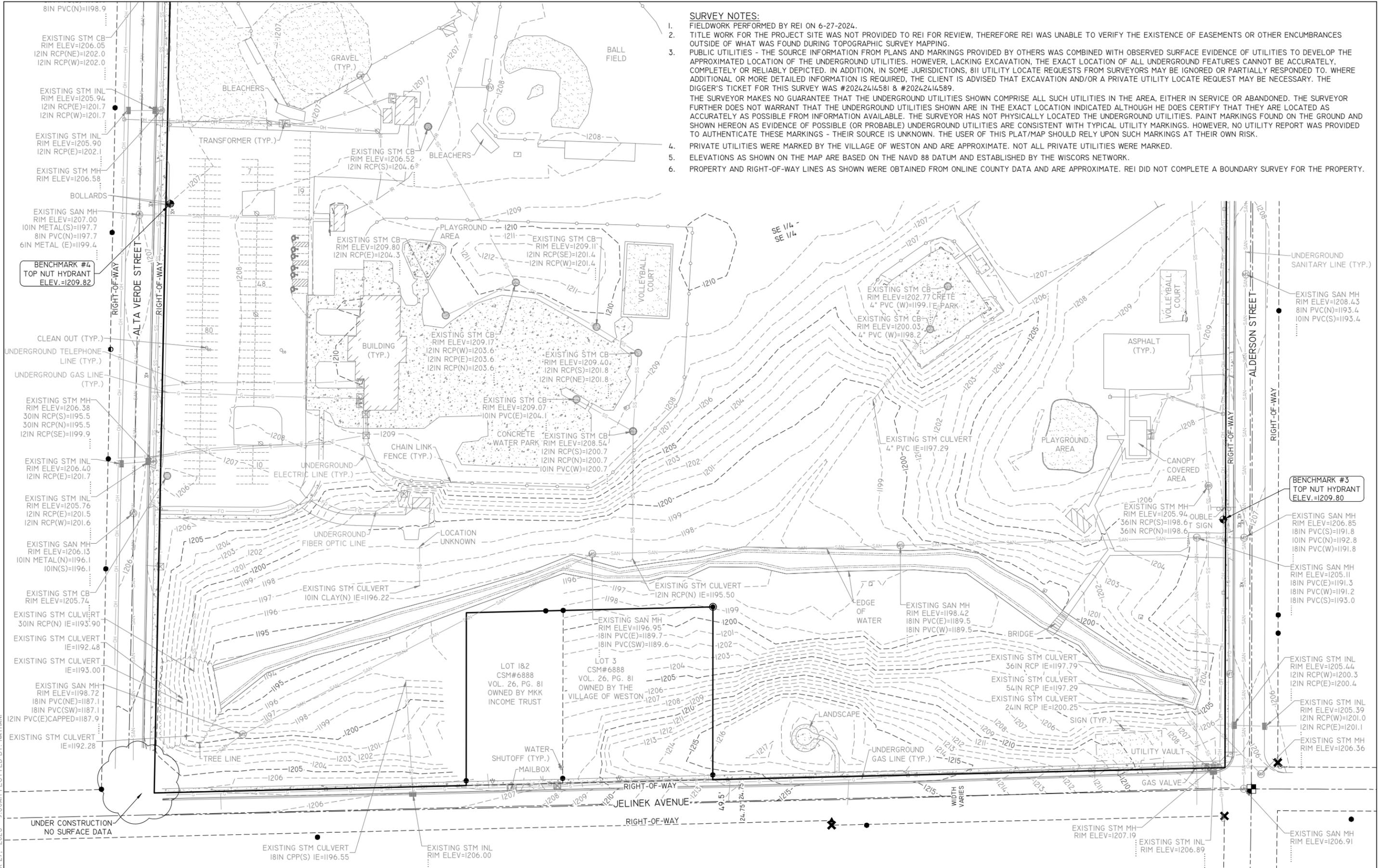
EXISTING SITE CONDITIONS - NORTH
 KENNEDY PARK
 5815 ALTA VERDE STREET
 WESTON, WI

REI
 REI No. 11600
 SHEET C010

DRAWING FILE: Q:\11600-11699\11600 - VILLAGE OF WESTON - KENNEDY PARK - 6002 ALDERSON STREET - VILLAGE OF WESTON - MARATHON COUNTY DRAWING\PLANS\11600-C010-EXISTING.dwg LAYOUT: C011
 PLOTTED: MAR 27, 2025 - 9:50AM PLOTTED BY: NATHAN

SURVEY NOTES:

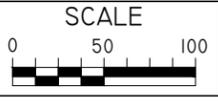
1. FIELDWORK PERFORMED BY REI ON 6-27-2024.
2. TITLE WORK FOR THE PROJECT SITE WAS NOT PROVIDED TO REI FOR REVIEW, THEREFORE REI WAS UNABLE TO VERIFY THE EXISTENCE OF EASEMENTS OR OTHER ENCUMBRANCES OUTSIDE OF WHAT WAS FOUND DURING TOPOGRAPHIC SURVEY MAPPING.
3. PUBLIC UTILITIES - THE SOURCE INFORMATION FROM PLANS AND MARKINGS PROVIDED BY OTHERS WAS COMBINED WITH OBSERVED SURFACE EVIDENCE OF UTILITIES TO DEVELOP THE APPROXIMATED LOCATION OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF ALL UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY OR RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR PARTIALLY RESPONDED TO. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY. THE DIGGER'S TICKET FOR THIS SURVEY WAS #2024244581 & #2024244589.
 THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. PAINT MARKINGS FOUND ON THE GROUND AND SHOWN HEREON AS EVIDENCE OF POSSIBLE (OR PROBABLE) UNDERGROUND UTILITIES ARE CONSISTENT WITH TYPICAL UTILITY MARKINGS. HOWEVER, NO UTILITY REPORT WAS PROVIDED TO AUTHENTICATE THESE MARKINGS - THEIR SOURCE IS UNKNOWN. THE USER OF THIS PLAT/MAP SHOULD RELY UPON SUCH MARKINGS AT THEIR OWN RISK.
4. PRIVATE UTILITIES WERE MARKED BY THE VILLAGE OF WESTON AND ARE APPROXIMATE. NOT ALL PRIVATE UTILITIES WERE MARKED.
5. ELEVATIONS AS SHOWN ON THE MAP ARE BASED ON THE NAVD 88 DATUM AND ESTABLISHED BY THE WISCONSIN NETWORK.
6. PROPERTY AND RIGHT-OF-WAY LINES AS SHOWN WERE OBTAINED FROM ONLINE COUNTY DATA AND ARE APPROXIMATE. REI DID NOT COMPLETE A BOUNDARY SURVEY FOR THE PROPERTY.



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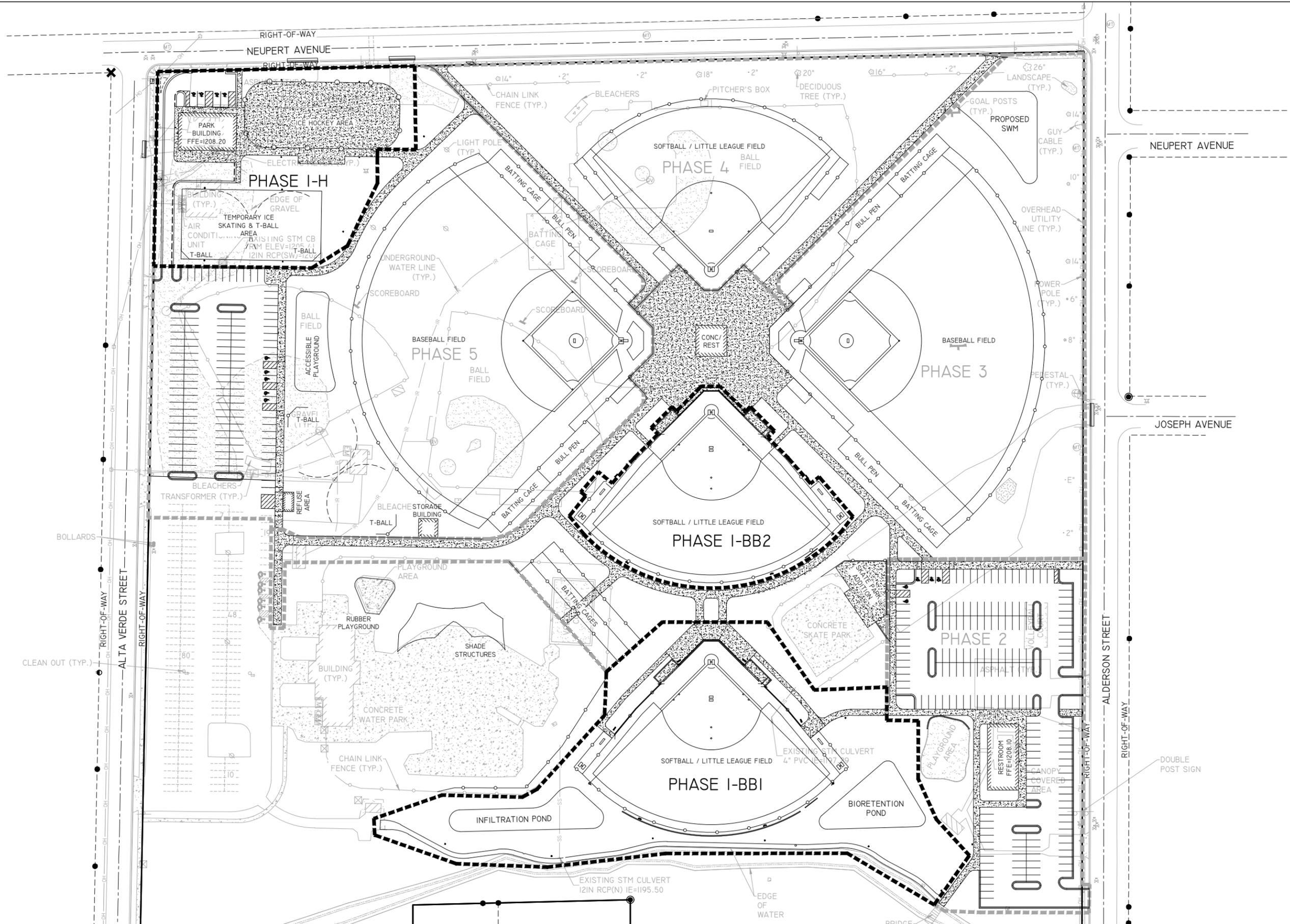


DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
03/26/25	BID SET ISSUANCE	NAP	KS	AJB	CSS	7-2-2024
				JLR	JJB	03-26-2025
				JLR	JJB	

EXISTING SITE CONDITIONS - SOUTH
 KENNEDY PARK
 5815 ALTA VERDE STREET
 WESTON, WI

REI
 REI No. 11600
 SHEET C011

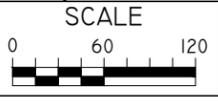
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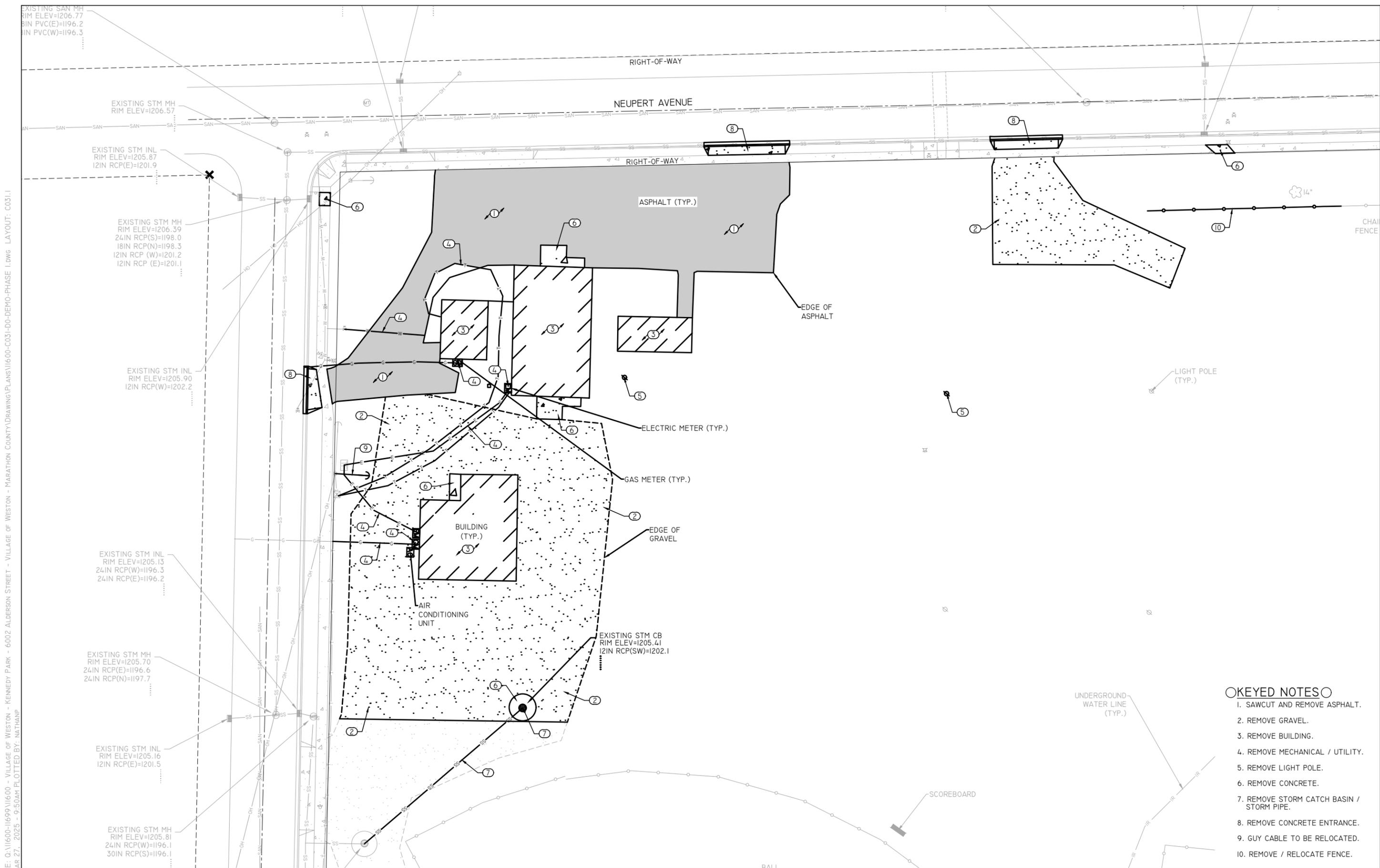
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 ENGINEERING, SURVEYING**



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03/26/25	BID SET ISSUANCE	NAP	KS	AJB	CSS	7-2-2024
				JLR	JJB	03-26-2025
				JLR	JJB	

OVERLAY SITE PLAN
 KENNEDY PARK
 5815 ALTA VERDE STREET
 WESTON, WI

REI
 REI No. 11600
 SHEET C020



EXISTING SAN MH
RIM ELEV=1206.77
8IN PVC(E)=1196.2
12IN PVC(W)=1196.3

EXISTING STM MH
RIM ELEV=1206.57

EXISTING STM INL
RIM ELEV=1205.87
12IN RCP(E)=1201.9

EXISTING STM MH
RIM ELEV=1206.39
24IN RCP(S)=1198.0
18IN RCP(N)=1198.3
12IN RCP (W)=1201.2
12IN RCP (E)=1201.1

EXISTING STM INL
RIM ELEV=1205.90
12IN RCP(W)=1202.2

EXISTING STM INL
RIM ELEV=1205.13
24IN RCP(W)=1196.3
24IN RCP(E)=1196.2

EXISTING STM MH
RIM ELEV=1205.70
24IN RCP(E)=1196.6
24IN RCP(N)=1197.7

EXISTING STM INL
RIM ELEV=1205.16
12IN RCP(E)=1201.5

EXISTING STM MH
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24IN RCP(W)=1196.1
30IN RCP(S)=1196.1

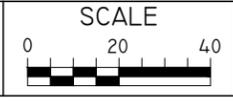
EXISTING STM CB
RIM ELEV=1205.41
12IN RCP(SW)=1202.1

- KEYED NOTES**
1. SAWCUT AND REMOVE ASPHALT.
 2. REMOVE GRAVEL.
 3. REMOVE BUILDING.
 4. REMOVE MECHANICAL / UTILITY.
 5. REMOVE LIGHT POLE.
 6. REMOVE CONCRETE.
 7. REMOVE STORM CATCH BASIN / STORM PIPE.
 8. REMOVE CONCRETE ENTRANCE.
 9. GUY CABLE TO BE RELOCATED.
 10. REMOVE / RELOCATE FENCE.

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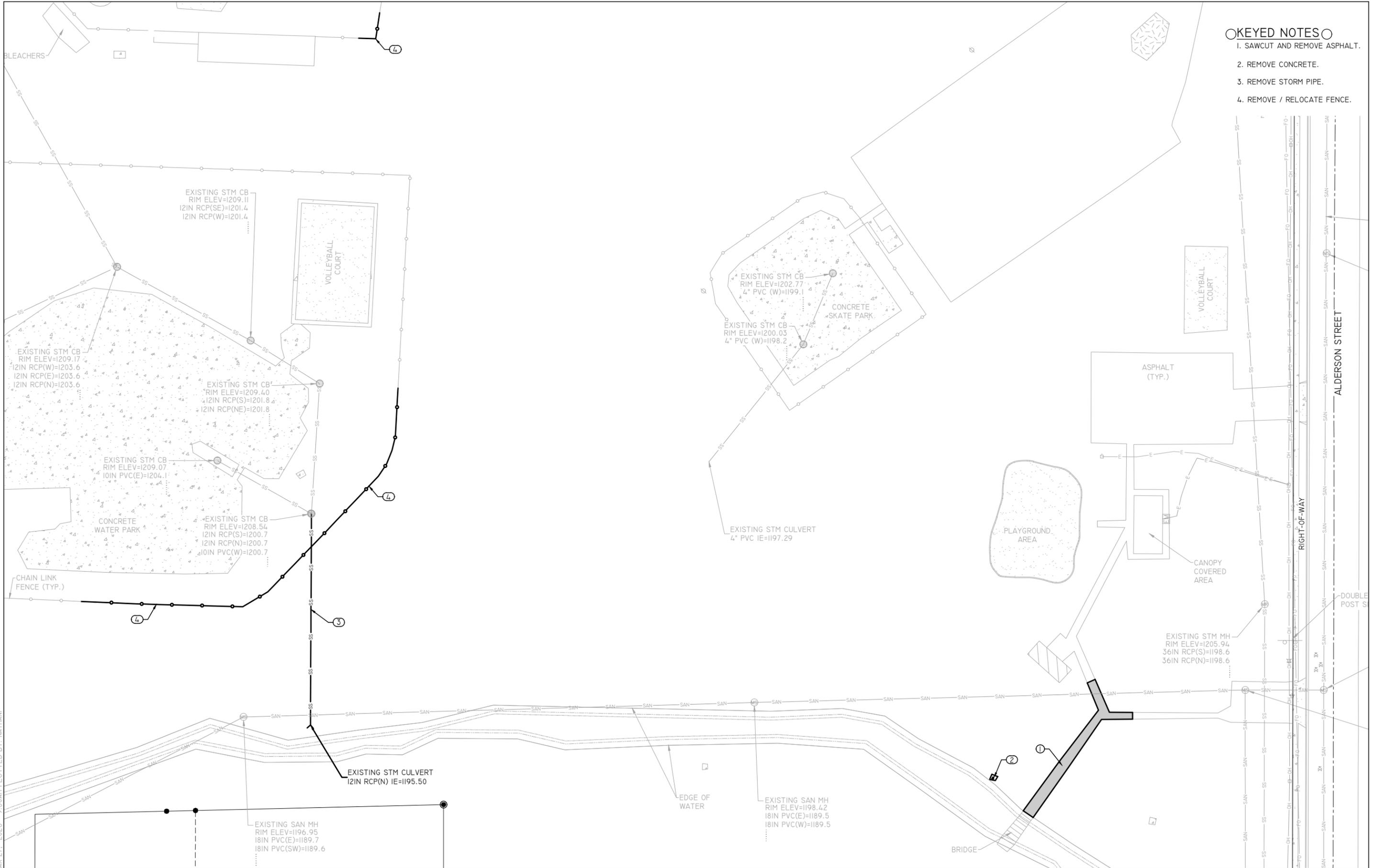


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03/26/25	BID SET ISSUANCE	NAP	KS	AJB	CSS	7-2-2024
				JLR	JJB	03-26-2025
				JLR	JJB	

DEMO PLAN - PHASE I-H
KENNEDY PARK
5815 ALTA VERDE STREET
WESTON, WI

REI
REI No. 11600
SHEET C031.1

DRAWING FILE: Q:\11600-11699\11600 - VILLAGE OF WESTON - KENNEDY PARK - 6002 ALDERSON STREET - MARATHON COUNTY\DRAWING\PLANS\11600-C031-D0-DEMO-PHASE 1.DWG LAYOUT: C031.2
 PLOTTED: MAR 27, 2025 - 9:50AM PLOTTED BY: NATHANP

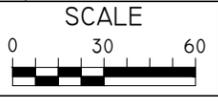


- KEYED NOTES**
1. SAWCUT AND REMOVE ASPHALT.
 2. REMOVE CONCRETE.
 3. REMOVE STORM PIPE.
 4. REMOVE / RELOCATE FENCE.

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**CIVIL & ENVIRONMENTAL
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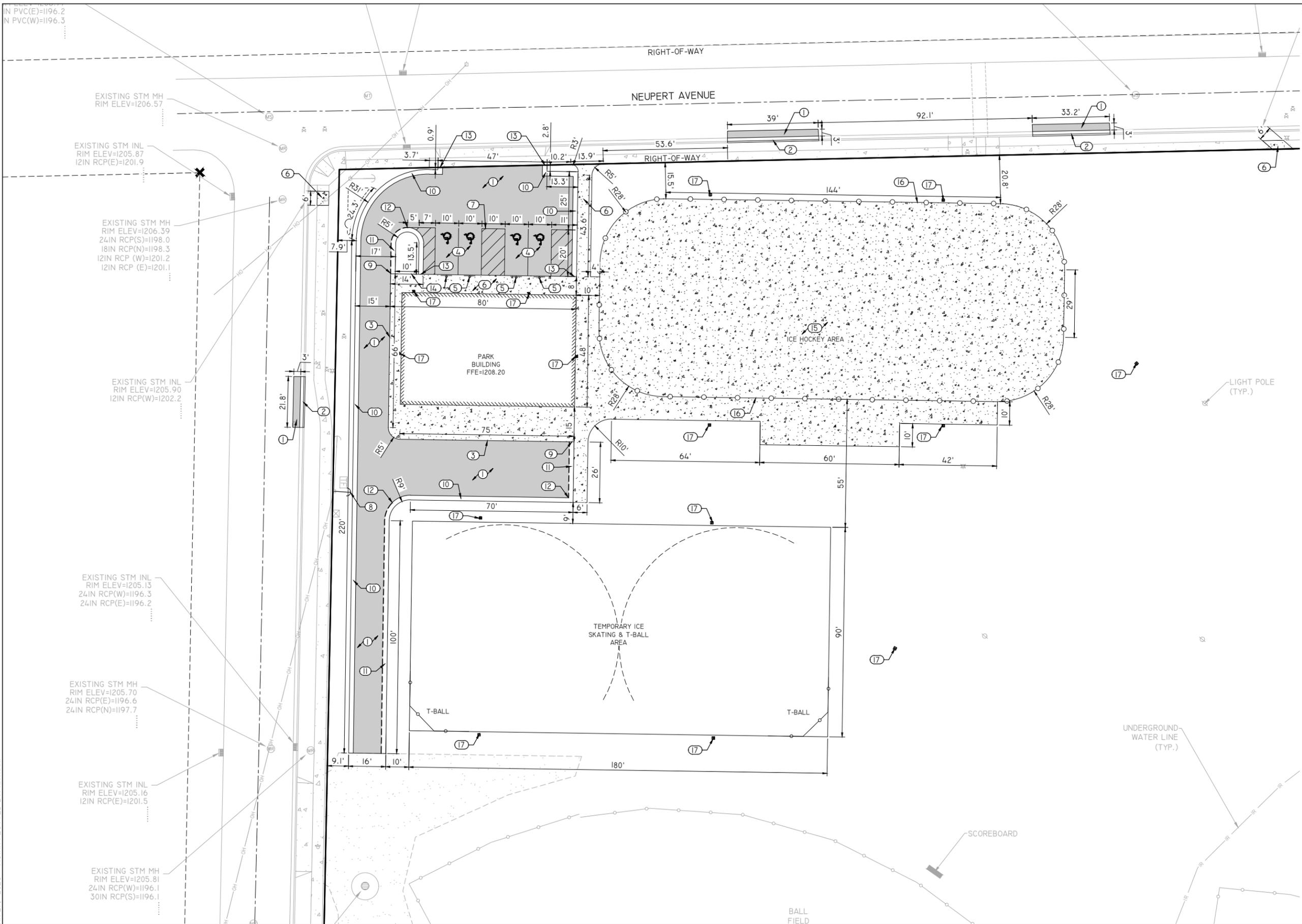


DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
03/26/25	BID SET ISSUANCE	NAP	KS	AJB	CSS	7-2-2024
				JLR	JJB	03-26-2025
				JLR	JJB	

DEMO PLAN - PHASE I-BB
 KENNEDY PARK
 5815 ALTA VERDE STREET
 WESTON, WI

REI
 REI No. 11600
 SHEET C031.2

DRAWING FILE: Q:\11600-11699\11600 - VILLAGE OF WESTON - KENNEDY PARK - 6002 ALDERSON STREET - VILLAGE OF WESTON - MARATHON COUNTY\DRAWING\PLANS\11600-C101-SITE-PHASE I.DWG LAYOUT: C101.I
 PLOTTED: MAR 27, 2025 - 9:51AM PLOTTED BY: NATHANP



KEYED NOTES

1. ASPHALT PAVEMENT. SEE DETAIL A/C800.
2. 24" CURB AND GUTTER. SEE DETAIL B/C800.
3. SIDEWALK WITH INTEGRAL CURB. SEE DETAIL C/C800.
4. HANDICAP PARKING SPACES & STRIPING. SEE DETAIL D/C800.
5. VAN ACCESSIBLE HANDICAP SIGN. SEE DETAIL E/C800.
6. 4" CONCRETE SIDEWALK. SEE DETAIL F/C800.
7. PAINTED STRIPING, YELLOW. (TYPICAL)
8. RELOCATED GUY WIRE.
9. CURB TYPE CHANGE.
10. 24" RIBBON CURB. SEE DETAIL H/C800.
11. 24" REJECT RIBBON CURB. SEE DETAIL H/C800.
12. TRANSITION CURB & GUTTER. SEE DETAIL I/C800.
13. TRANSITION RIBBON CURB OVER LAST 3' FROM SLOPED TO FLAT (4% TO 0%).
14. TRANSITION INTEGRAL CURB FROM FULL HEIGHT TO FLUSH ACROSS ISLAND.
15. 4" FINISHED CONCRETE HOCKEY AREA WITH RINK STRIPING.
16. HOCKEY BOARDS, RINK SYSTEMS, PARKS & REC-LEGACY PRO, ALUMINUM WITH NYLON MESH NETTING. (INSTALL PER MANUFACTURERS SPECIFICATIONS)
17. PROPOSED LIGHTING. SEE PHOTOMETRIC PLAN.

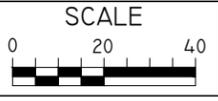
NOTES:

- (A) BUILDINGS AND PARKING SPACES ARE PARALLEL AND PERPENDICULAR TO REFERENCE LINE LABELED, N89°08'49"W, AS TAKEN FROM THE SURVEY.
- (B) ALL DIMENSIONS ARE TO THE BACK OF CURB OR FACE OF INTEGRAL CURB, UNLESS OTHERWISE NOTED.
- (C) PRIVATE & PUBLIC UTILITY COORDINATION INCLUDING GAS, ELECTRIC, AND TELECOMMUNICATIONS SHALL BE COORDINATED BY THE CONTRACTOR.

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**CIVIL & ENVIRONMENTAL
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DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
03/26/25	BID SET ISSUANCE	NAP	KS	AJB	CSS	7-2-2024
				JLR	JJB	03-26-2025
				JLR	JJB	

SITE PLAN - PHASE I-H
 KENNEDY PARK
 5815 ALTA VERDE STREET
 WESTON, WI

REI
 REI No. 11600
 SHEET C101.I

KEYED NOTES

1. KAFKA GRANITE WAX POLYMER PATHWAY MIX. COLOR TO BE DETERMINED BY OWNER. INSTALL PER MANUFACTURER SPECIFICATIONS.
 2. 4" CONCRETE SIDEWALK. SEE DETAIL F/C800.
 3. CONCRETE RETAINING WALL. REFER TO STRUCTURAL PLANS.
 4. TEMPORARY GRAVEL PATH. SEE DETAIL G/C800.
 5. ARTIFICIAL TURF (SPRINTURF - GRANDSLAM), BROWN COLOR. SEE DETAIL E & F/C801. (INSTALL PER MANUFACTURERS SPECIFICATIONS)
 6. ARTIFICIAL TURF (SPRINTURF - GRANDSLAM), GREEN COLOR WITH STRIPING PATTERN. SEE DETAIL E & F/C801. (INSTALL PER MANUFACTURERS SPECIFICATIONS)
- ALTERNATE BID - NATURAL GRASS SOD WITH IRRIGATION SYSTEM. (IRRIGATION SYSTEM DESIGNED BY OTHERS)

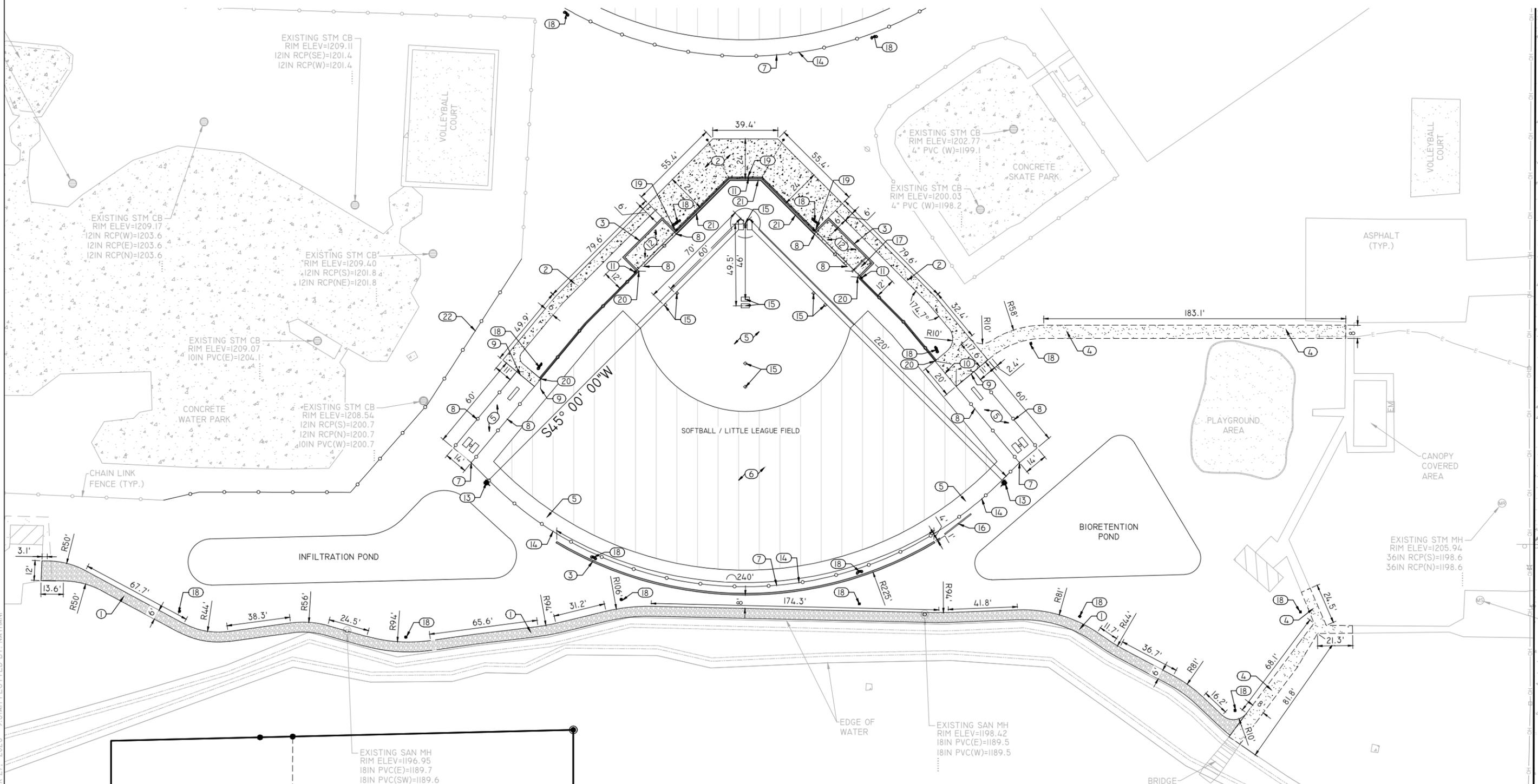
7. CHAIN LINK FENCE, BLACK VINYL, 6' HEIGHT. SEE DETAIL A/C801.
8. CHAIN LINK FENCE, BLACK VINYL, 8' HEIGHT. SEE DETAIL A/C801.
9. CHAIN LINK GATE, BLACK VINYL, 4' HEIGHT, 4' WIDTH. SEE DETAIL B/C801.
10. CHAIN LINK SERVICE GATE, BLACK VINYL, 6' HEIGHT, 20' WIDTH (DUAL SWING). SEE DETAIL C/C801.
11. BARRIER NETTING, NSP (NATIONAL SPORTS PRODUCTS) RUGGED DOUGLAS® STANDARD BACKSTOP CABLE SYSTEM. (INSTALL PER MANUFACTURER SPECIFICATIONS)
ALTERNATE BID - BLACK VINYL CHAIN LINK BACKSTOP.
12. DUGOUTS. REFER TO STRUCTURAL PLANS.
13. FOUL POLE, NSP (NATIONAL SPORTS PRODUCTS) POWDER COATED STEEL HEAVY DUTY PROFESSIONAL FOUL POLE, YELLOW COLOR, 15' HT. (INSTALL PER MANUFACTURERS SPECIFICATIONS)

14. FENCE GUARD, NSP (NATIONAL SPORTS PRODUCTS) POLY CAP, PROTECTIVE FENCE CAP FOR CHAIN-LINK FENCE, YELLOW COLOR.
15. BASE ANCHORS. SEE DETAIL D/C801.
16. ELECTRONIC SCOREBOARD. DAKTRONICS BA-2030. (INSTALL PER MANUFACTURERS SPECIFICATIONS)
17. STORAGE / EQUIPMENT AREA. REFER TO STRUCTURAL PLANS.
18. PROPOSED LIGHTING. SEE PHOTOMETRIC PLAN.
19. CHAIN LINK FENCE, BLACK VINYL, 4' HEIGHT (ON CONCRETE). SEE DETAIL A/C801.
20. CHAIN LINK FENCE, BLACK VINYL, 4' HEIGHT (ON RETAINING WALL). SEE DETAIL J/C800.
21. DOUGLAS® CUSTOM WALL PADDING - 3IN. SPORTS PADDING, 4FT HT., FOREST GREEN. (INSTALL PER MANUFACTURERS INSTRUCTION)
22. RELOCATED FENCE.

NOTES:

- (A) PRIVATE & PUBLIC UTILITY COORDINATION INCLUDING GAS, ELECTRIC, AND TELECOMMUNICATIONS SHALL BE COORDINATED BY THE CONTRACTOR.

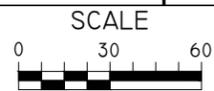
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PLOTTED: MAR 27, 2025 - 9:51AM PLOTTED BY: NATHAN



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				JLR	JJB	03-26-2025
				JLR	JJB	

SITE PLAN - PHASE I-BBI
KENNEDY PARK
5815 ALTA VERDE STREET
WESTON, WI

REI
REI No. 11600
SHEET C101.2

NOTES:

(A) PRIVATE & PUBLIC UTILITY COORDINATION INCLUDING GAS, ELECTRIC, AND TELECOMMUNICATIONS SHALL BE COORDINATED BY THE CONTRACTOR.

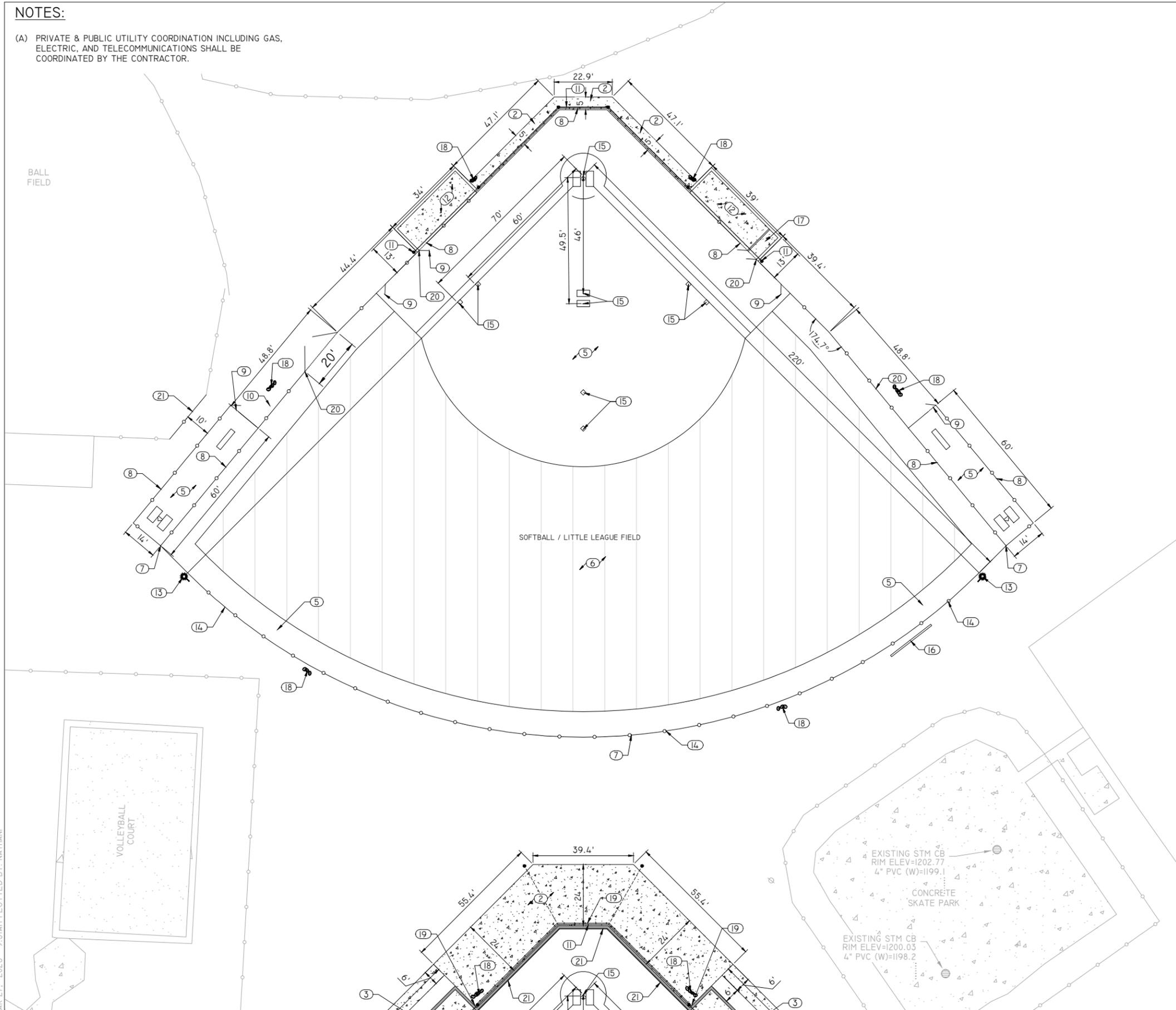
KEYED NOTES

1. NOT USED.
2. 4" CONCRETE SIDEWALK. SEE DETAIL F/C800.
3. NOT USED.
4. NOT USED.
5. ARTIFICIAL TURF (SPRINTURF - GRANDSLAM), BROWN COLOR. SEE DETAIL E & I/C801. (INSTALL PER MANUFACTURERS SPECIFICATIONS)
6. ARTIFICIAL TURF (SPRINTURF - GRANDSLAM), GREEN COLOR WITH STRIPING PATTERN. SEE DETAIL E & F/C801. (INSTALL PER MANUFACTURERS SPECIFICATIONS)

ALTERNATE BID - NATURAL GRASS SOD WITH IRRIGATION SYSTEM. (IRRIGATION SYSTEM DESIGNED BY OTHERS) SEE DETAIL G/C801.
7. CHAIN LINK FENCE, BLACK VINYL, 6' HEIGHT. SEE DETAIL A/C801.
8. CHAIN LINK FENCE, BLACK VINYL, 8' HEIGHT. SEE DETAIL A/C801.
9. CHAIN LINK GATE, BLACK VINYL, 4' HEIGHT, 4' WIDTH. SEE DETAIL B/C801.
10. CHAIN LINK SERVICE GATE, BLACK VINYL, 6' HEIGHT, 20' WIDTH (DUAL SWING). SEE DETAIL C/C801.
11. BARRIER NETTING, NSP (NATIONAL SPORTS PRODUCTS) DOUGLAS R. SPORTS BARRIER SAFETY NETTING SYSTEM, 30' HT. (INSTALL PER MANUFACTURER SPECIFICATIONS)

ALTERNATE BID - BLACK VINYL CHAIN LINK BACKSTOP.
12. DUGOUTS. REFER TO STRUCTURAL PLANS.
13. FOUL POLE, NSP (NATIONAL SPORTS PRODUCTS) POWDER COATED STEEL HEAVY DUTY PROFESSIONAL FOUL POLE, YELLOW COLOR, 15' HT. (INSTALL PER MANUFACTURERS SPECIFICATIONS)
14. FENCE GUARD, NSP (NATIONAL SPORTS PRODUCTS) POLY CAP, PROTECTIVE FENCE CAP FOR CHAIN-LINK FENCE, YELLOW COLOR.
15. BASE ANCHORS. SEE DETAIL D/C801.
16. ELECTRONIC SCOREBOARD, DAKTRONICS BA-2030. (INSTALL PER MANUFACTURERS SPECIFICATIONS)
17. STORAGE / EQUIPMENT AREA. REFER TO STRUCTURAL PLANS.
18. PROPOSED LIGHTING. SEE PHOTOMETRIC PLAN.
19. CHAIN LINK FENCE, BLACK VINYL, 4' HEIGHT (ON CONCRETE). SEE DETAIL A/C801.
20. CHAIN LINK FENCE, BLACK VINYL, 4' HEIGHT. SEE DETAIL J/C800.
21. REPOSITION EXISTING FENCE AND RELOCATE FOUL POLE IF NECESSARY TO MAINTAIN 10'-WIDE MINIMUM SEPARATION FROM PROPOSED BULLPEN.

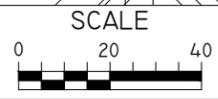
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PLOTTED: MAR 27, 2025 - 9:51AM PLOTTED BY: NATHAN



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ENGINEERING, SURVEYING**



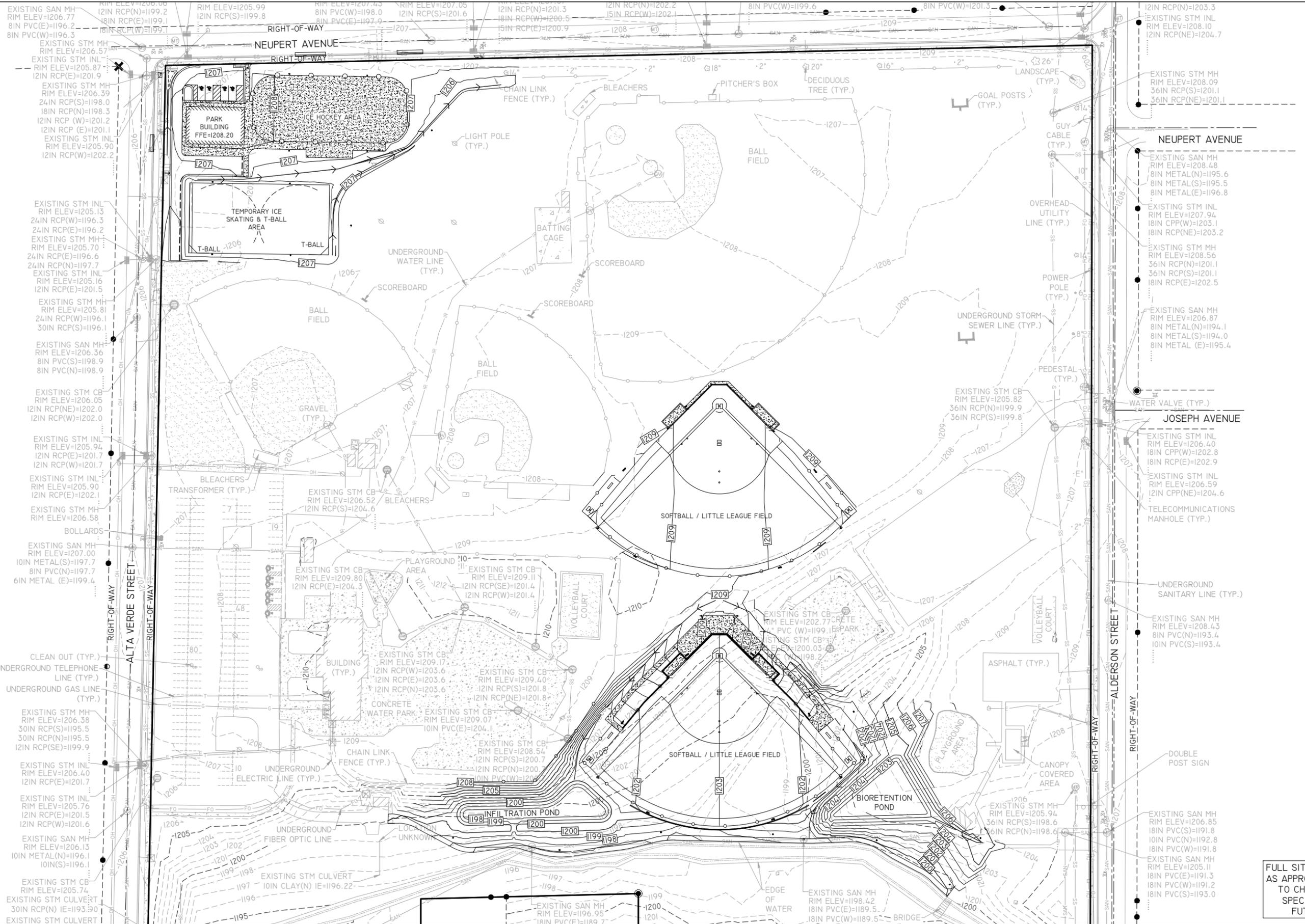
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				JLR	JJB	

SITE PLAN - PHASE I-BB2
KENNEDY PARK
5815 ALTA VERDE STREET
WESTON, WI



REI No. 11600
SHEET C101.3

DRAWING FILE: Q:\11600-11699\11600 - VILLAGE OF WESTON - KENNEDY PARK - 6002 ALDERSON STREET - VILLAGE OF WESTON - MARATHON COUNTY DRAWING\PLANS\11600-C200-GRADING-OVERALL-PHASE 1.DWG LAYOUT: C200
 PLOTTED: MAR 27, 2025 - 9:52AM PLOTTED BY: NATHANP

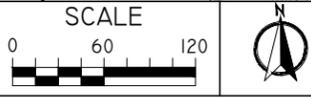


FULL SITE GRADING SHOWN AS APPROXIMATE, SUBJECT TO CHANGE BASED ON SPECIFIC DESIGN OF FUTURE PHASES

REI Engineering, Inc.
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 WAUSAU, WISCONSIN 54401
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 EMAIL: MAIL@REIENGINEERING.COM



CIVIL & ENVIRONMENTAL ENGINEERING, SURVEYING

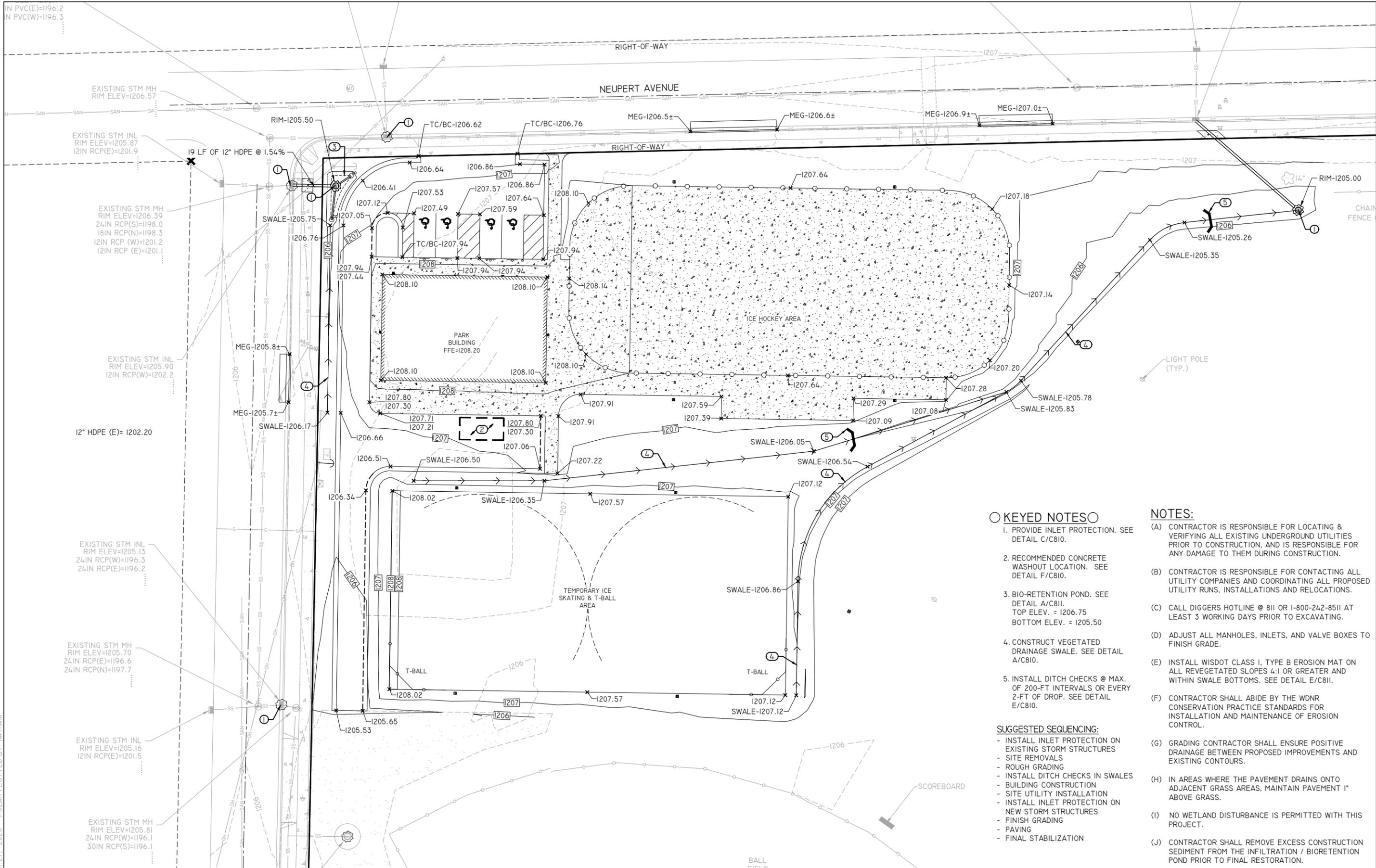


DATE	ISSUANCE	BY	CHKD	SURVEYED BY	DESIGNED BY	SURVEY DATE
03/26/25	BID SET ISSUANCE	NAP	KS	AJB	CSS	7-2-2024
				JLR	JJB	03-26-2025
				JLR	JJB	

GRADING PLAN - OVERALL - PHASE 1
 KENNEDY PARK
 5815 ALTA VERDE STREET
 WESTON, WI

REI
 REI No. 11600
 SHEET C200

DRAWING FILE: Q:\11600-11699\11600 - VILLAGE OF WESTON - KENNEDY PARK - 6002 ALDERSON STREET - MARATHON COUNTY DRAWING\PLANS\11600-C201-GRADING-EC-PHASE 1.DWG LAYOUT: C201.1
 PLOTTED: MAR 27, 2025 - 9:52AM PLOTTED BY: NATHANP



KEYED NOTES

1. PROVIDE INLET PROTECTION. SEE DETAIL C/C810.
2. RECOMMENDED CONCRETE WASHOUT LOCATION. SEE DETAIL F/C810.
3. BIO-RETENTION POND. SEE DETAIL A/C811. TOP ELEV. = 1206.75. BOTTOM ELEV. = 1205.50
4. CONSTRUCT VEGETATED DRAINAGE SWALE. SEE DETAIL A/C810.
5. INSTALL DITCH CHECKS @ MAX. OF 200-FT INTERVALS OR EVERY 2-FT OF DROP. SEE DETAIL E/C810.

SUGGESTED SEQUENCING:

- INSTALL INLET PROTECTION ON EXISTING STORM STRUCTURES
- SITE REMOVALS
- ROUGH GRADING
- INSTALL DITCH CHECKS IN SWALES
- BUILDING CONSTRUCTION
- SITE UTILITY INSTALLATION
- INSTALL INLET PROTECTION ON NEW STORM STRUCTURES
- FINISH GRADING
- PAVING
- FINAL STABILIZATION

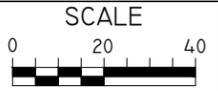
NOTES:

- (A) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (B) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.
- (C) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
- (D) ADJUST ALL MANHOLES, INLETS, AND VALVE BOXES TO FINISH GRADE.
- (E) INSTALL WISDOT CLASS I, TYPE B EROSION MAT ON ALL REVEGETATED SLOPES 4:1 OR GREATER AND WITHIN SWALE BOTTOMS. SEE DETAIL E/C811.
- (F) CONTRACTOR SHALL ABIDE BY THE WDNR CONSERVATION PRACTICE STANDARDS FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROL.
- (G) GRADING CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE BETWEEN PROPOSED IMPROVEMENTS AND EXISTING CONTOURS.
- (H) IN AREAS WHERE THE PAVEMENT DRAINS ONTO ADJACENT GRASS AREAS, MAINTAIN PAVEMENT 1" ABOVE GRASS.
- (I) NO WETLAND DISTURBANCE IS PERMITTED WITH THIS PROJECT.
- (J) CONTRACTOR SHALL REMOVE EXCESS CONSTRUCTION SEDIMENT FROM THE INFILTRATION / BIORETENTION POND PRIOR TO FINAL RESTORATION.

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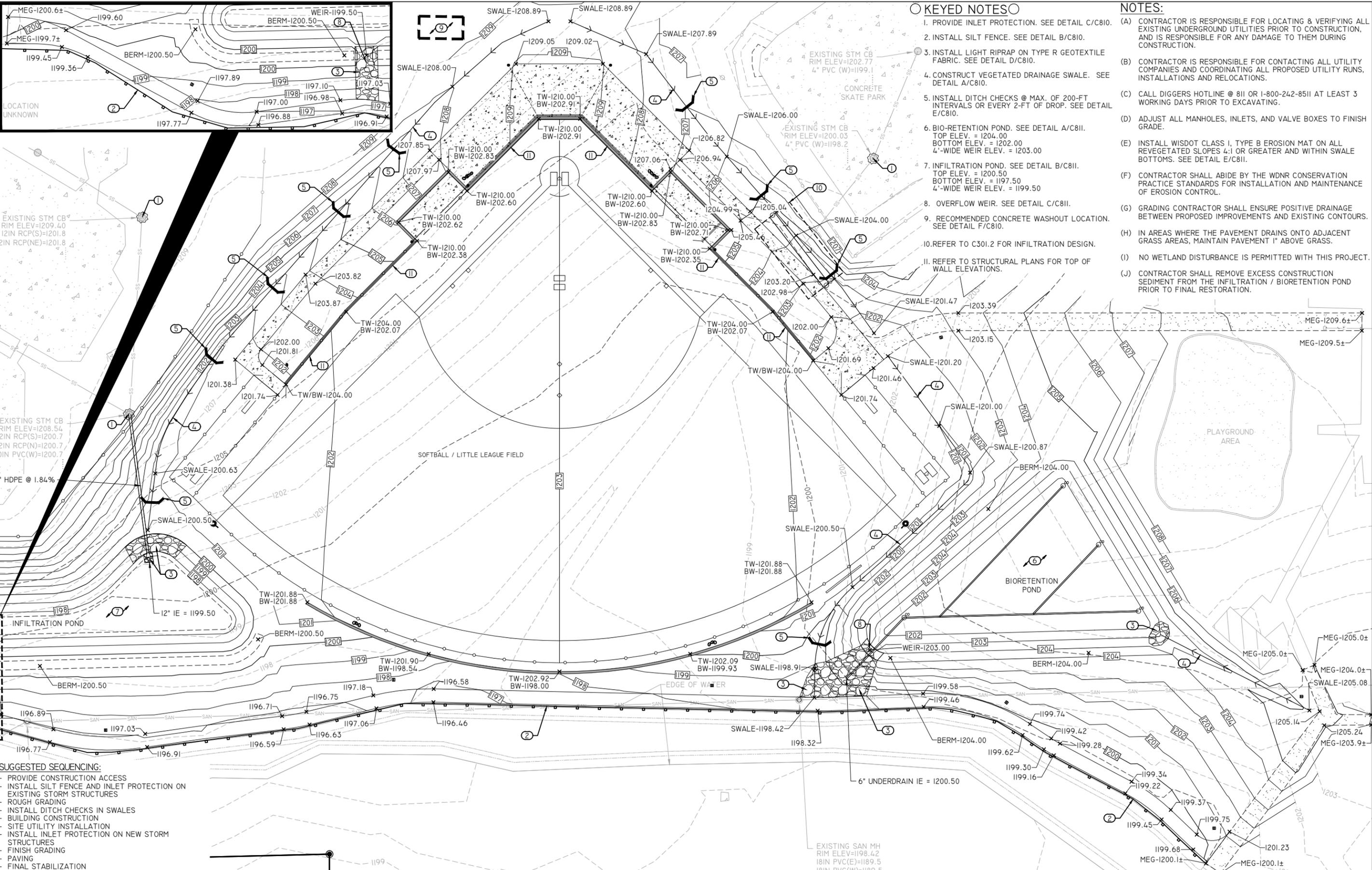


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03/26/25	BID SET ISSUANCE	NAP	KS	AJB	CSS	7-2-2024
				JLR	JJB	03-26-2025
				JLR	JJB	

GRADING & EROSION CONTROL PLAN - PHASE I-H
 KENNEDY PARK
 5815 ALTA VERDE STREET
 WESTON, WI

REI
 REI No. 11600
 SHEET C201.1

DRAWING FILE: Q:\11600-11699\11600 - VILLAGE OF WESTON - KENNEDY PARK - 6002 ALDERSON STREET - VILLAGE OF WESTON - MARATHON COUNTY DRAWING\PLANS\11600-C201-GRADING-EC-PHASE I.DWG LAYOUT: C201.2
 PLOTTED: MAR 27, 2025 - 9:53AM PLOTTED BY: NATHAN



KEYED NOTES

1. PROVIDE INLET PROTECTION. SEE DETAIL C/C810.
2. INSTALL SILT FENCE. SEE DETAIL B/C810.
3. INSTALL LIGHT RIFRAP ON TYPE R GEOTEXTILE FABRIC. SEE DETAIL D/C810.
4. CONSTRUCT VEGETATED DRAINAGE SWALE. SEE DETAIL A/C810.
5. INSTALL DITCH CHECKS @ MAX. OF 200-FT INTERVALS OR EVERY 2-FT OF DROP. SEE DETAIL E/C810.
6. BIO-RETENTION POND. SEE DETAIL A/C811.
TOP ELEV. = 1204.00
BOTTOM ELEV. = 1202.00
4'-WIDE WEIR ELEV. = 1203.00
7. INFILTRATION POND. SEE DETAIL B/C811.
TOP ELEV. = 1200.50
BOTTOM ELEV. = 1197.50
4'-WIDE WEIR ELEV. = 1199.50
8. OVERFLOW WEIR. SEE DETAIL C/C811.
9. RECOMMENDED CONCRETE WASHOUT LOCATION. SEE DETAIL F/C810.
10. REFER TO C301.2 FOR INFILTRATION DESIGN.
- II. REFER TO STRUCTURAL PLANS FOR TOP OF WALL ELEVATIONS.

NOTES:

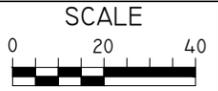
- (A) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (B) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.
- (C) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
- (D) ADJUST ALL MANHOLES, INLETS, AND VALVE BOXES TO FINISH GRADE.
- (E) INSTALL WISDOT CLASS I, TYPE B EROSION MAT ON ALL REVEGETATED SLOPES 4:1 OR GREATER AND WITHIN SWALE BOTTOMS. SEE DETAIL E/C811.
- (F) CONTRACTOR SHALL ABIDE BY THE WDNR CONSERVATION PRACTICE STANDARDS FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROL.
- (G) GRADING CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE BETWEEN PROPOSED IMPROVEMENTS AND EXISTING CONTOURS.
- (H) IN AREAS WHERE THE PAVEMENT DRAINS ONTO ADJACENT GRASS AREAS, MAINTAIN PAVEMENT 1" ABOVE GRASS.
- (I) NO WETLAND DISTURBANCE IS PERMITTED WITH THIS PROJECT.
- (J) CONTRACTOR SHALL REMOVE EXCESS CONSTRUCTION SEDIMENT FROM THE INFILTRATION / BIORETENTION POND PRIOR TO FINAL RESTORATION.

- SUGGESTED SEQUENCING:**
- PROVIDE CONSTRUCTION ACCESS
 - INSTALL SILT FENCE AND INLET PROTECTION ON EXISTING STORM STRUCTURES
 - ROUGH GRADING
 - INSTALL DITCH CHECKS IN SWALES
 - BUILDING CONSTRUCTION
 - SITE UTILITY INSTALLATION
 - INSTALL INLET PROTECTION ON NEW STORM STRUCTURES
 - FINISH GRADING
 - PAVING
 - FINAL STABILIZATION

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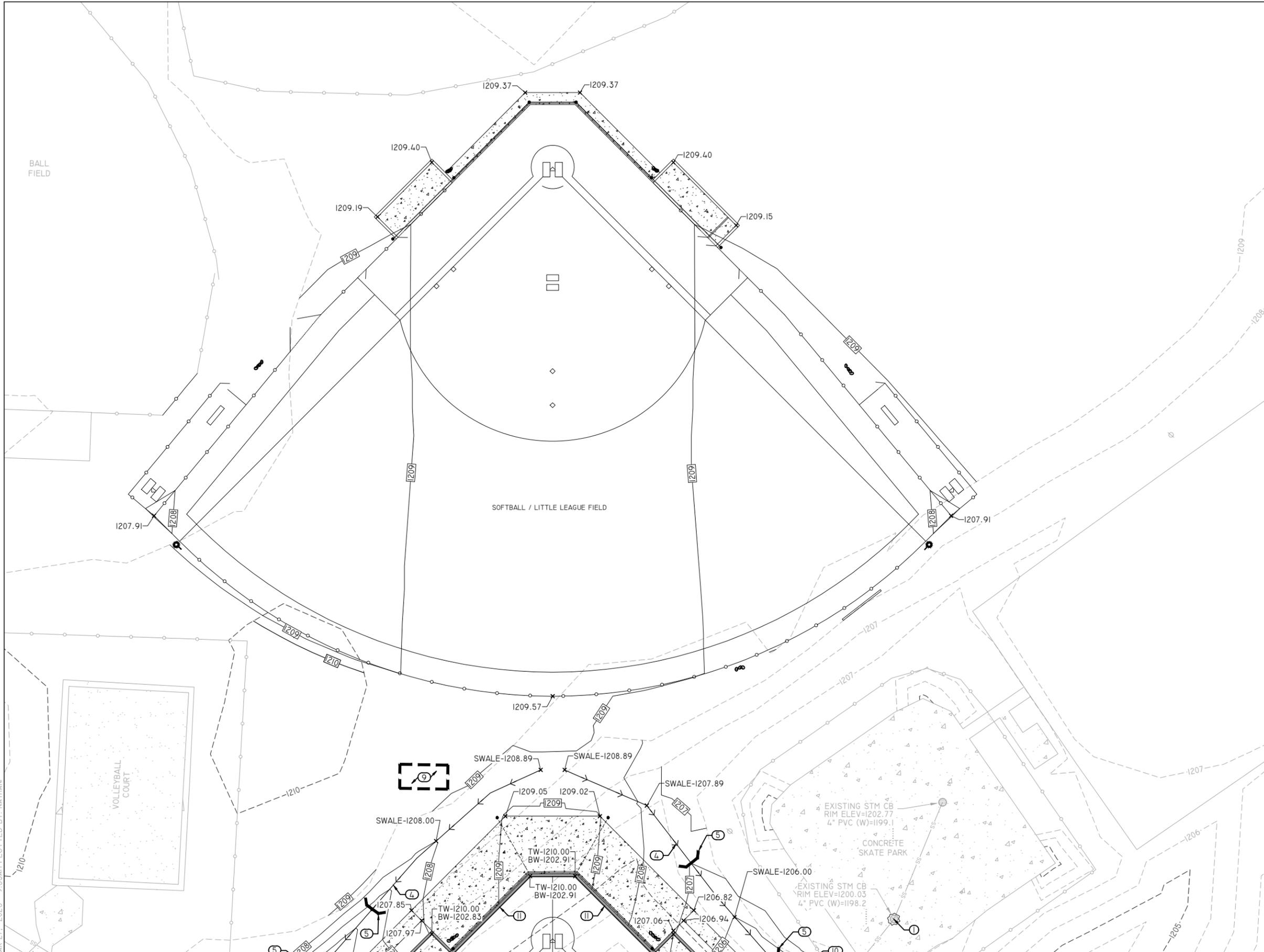


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				JLR	JJB	03-26-2025
				JLR	JJB	

GRADING & EROSION CONTROL PLAN - PHASE I-BBI
 KENNEDY PARK
 5815 ALTA VERDE STREET
 WESTON, WI

REI
 REI No. 11600
 SHEET C201.2

DRAWING FILE: Q:\11600-11699\11600 - VILLAGE OF WESTON - KENNEDY PARK - 6002 ALDERSON STREET - VILLAGE OF WESTON - MARATHON COUNTY\DRAWING\PLANS\11600-C201-GRADING-EC-PHASE 1.DWG LAYOUT: C201.3
 PLOTTED: MAR 27, 2025 - 9:53AM PLOTTED BY: NATHAN



KEYED NOTES

1. PROVIDE INLET PROTECTION. SEE DETAIL C/C810.
2. INSTALL SILT FENCE. SEE DETAIL B/C810.
3. INSTALL LIGHT RIPRAP ON TYPE R GEOTEXTILE FABRIC. SEE DETAIL D/C810.
4. CONSTRUCT VEGETATED DRAINAGE SWALE. SEE DETAIL A/C810.
5. INSTALL DITCH CHECKS @ MAX. OF 200-FT INTERVALS OR EVERY 2-FT OF DROP. SEE DETAIL E/C810.
6. BIO-RETENTION POND. SEE DETAIL A/C811.
 TOP ELEV. = 1204.00
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7. INFILTRATION POND. SEE DETAIL B/C811.
 TOP ELEV. = 1200.50
 BOTTOM ELEV. = 1197.50
 4'-WIDE WEIR ELEV. = 1199.50
8. OVERFLOW WEIR. SEE DETAIL C/C811.
9. RECOMMENDED CONCRETE WASHOUT LOCATION. SEE DETAIL F/C810.
10. REFER TO C301.2 FOR INFILTRATION DESIGN.

NOTES:

- (A) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
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- (C) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
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- (I) NO WETLAND DISTURBANCE IS PERMITTED WITH THIS PROJECT.
- (J) CONTRACTOR SHALL REMOVE EXCESS CONSTRUCTION SEDIMENT FROM THE INFILTRATION / BIORETENTION POND PRIOR TO FINAL RESTORATION.

SUGGESTED SEQUENCING:

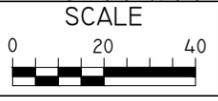
- PROVIDE CONSTRUCTION ACCESS
- INSTALL SILT FENCE AND INLET PROTECTION ON EXISTING STORM STRUCTURES
- ROUGH GRADING
- INSTALL DITCH CHECKS IN SWALES
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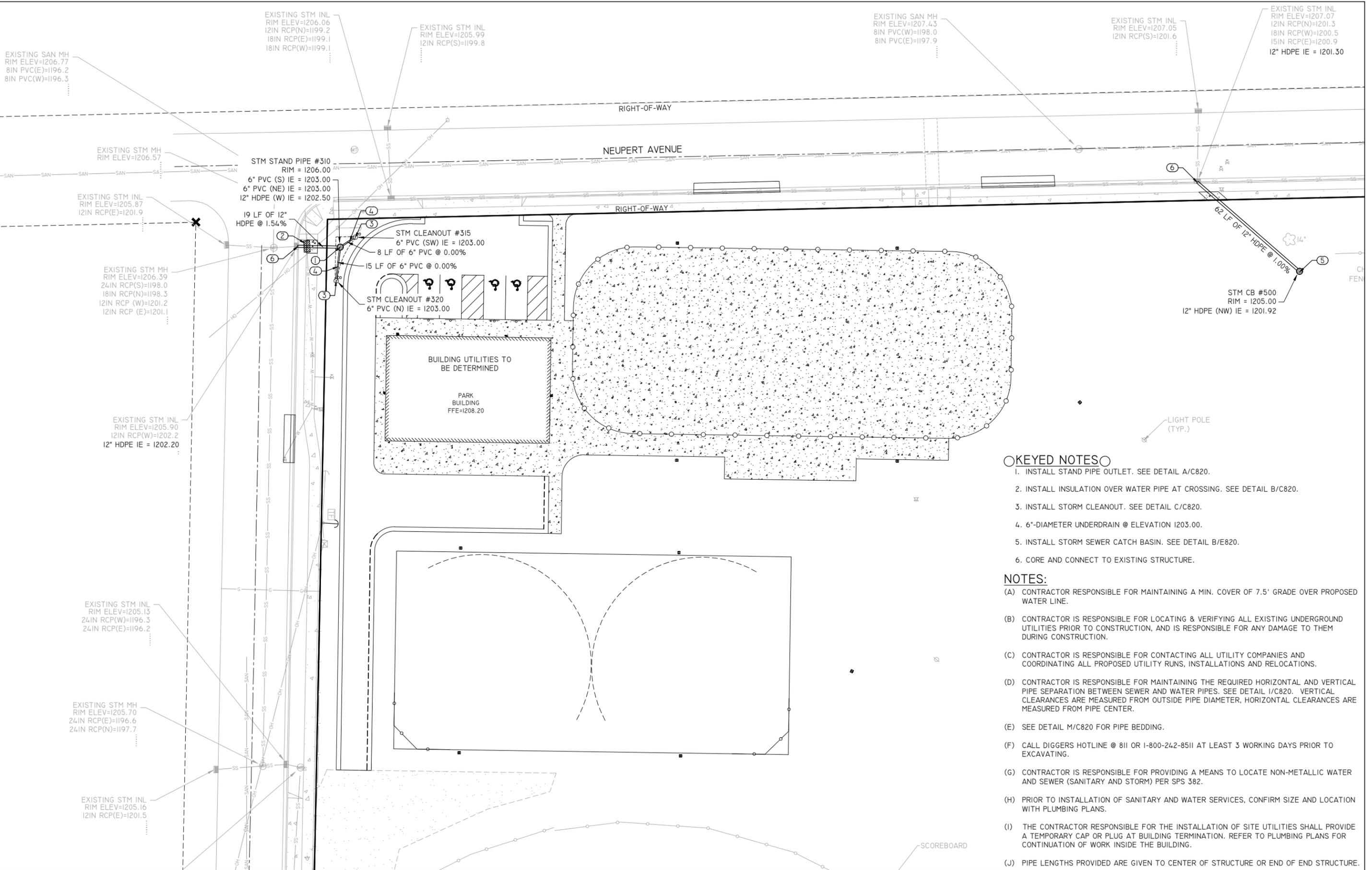


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03/26/25	BID SET ISSUANCE	NAP	KS	AJB	CSS	7-2-2024
				JLR	JJB	03-26-2025
				JLR	JJB	

GRADING & EROSION CONTROL PLAN - PHASE 1-BB2
 KENNEDY PARK
 5815 ALTA VERDE STREET
 WESTON, WI

REI
 REI No. 11600
 SHEET C201.3

DRAWING FILE: Q:\11600-11699\11600 - VILLAGE OF WESTON - KENNEDY PARK - 6002 ALDERSON STREET - MARATHON COUNTY\DRAWING\PLANS\11600-C301-UTILITIES-PHASE I.DWG LAYOUT: C301.I
 PLOTTED: MAR 27, 2025 - 9:53AM PLOTTED BY: NATHAN



KEYED NOTES

1. INSTALL STAND PIPE OUTLET. SEE DETAIL A/C820.
2. INSTALL INSULATION OVER WATER PIPE AT CROSSING. SEE DETAIL B/C820.
3. INSTALL STORM CLEANOUT. SEE DETAIL C/C820.
4. 6"-DIAMETER UNDERDRAIN @ ELEVATION 1203.00.
5. INSTALL STORM SEWER CATCH BASIN. SEE DETAIL B/E820.
6. CORE AND CONNECT TO EXISTING STRUCTURE.

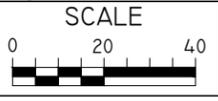
NOTES:

- (A) CONTRACTOR RESPONSIBLE FOR MAINTAINING A MIN. COVER OF 7.5' GRADE OVER PROPOSED WATER LINE.
- (B) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (C) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.
- (D) CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE REQUIRED HORIZONTAL AND VERTICAL PIPE SEPARATION BETWEEN SEWER AND WATER PIPES. SEE DETAIL I/C820. VERTICAL CLEARANCES ARE MEASURED FROM OUTSIDE PIPE DIAMETER, HORIZONTAL CLEARANCES ARE MEASURED FROM PIPE CENTER.
- (E) SEE DETAIL M/C820 FOR PIPE BEDDING.
- (F) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
- (G) CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MEANS TO LOCATE NON-METALLIC WATER AND SEWER (SANITARY AND STORM) PER SPS 382.
- (H) PRIOR TO INSTALLATION OF SANITARY AND WATER SERVICES, CONFIRM SIZE AND LOCATION WITH PLUMBING PLANS.
- (I) THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF SITE UTILITIES SHALL PROVIDE A TEMPORARY CAP OR PLUG AT BUILDING TERMINATION. REFER TO PLUMBING PLANS FOR CONTINUATION OF WORK INSIDE THE BUILDING.
- (J) PIPE LENGTHS PROVIDED ARE GIVEN TO CENTER OF STRUCTURE OR END OF END STRUCTURE.

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03/26/25	BID SET ISSUANCE	NAP	KS	AJB	CSS	7-2-2024
				JLR	JJB	03-26-2025
				JLR	JJB	

UTILITY PLAN - PHASE I-H
 KENNEDY PARK
 5815 ALTA VERDE STREET
 WESTON, WI

REI
 REI No. 11600
 SHEET C301.I

KEYED NOTES

1. SUB-SURFACE INFILTRATION BASIN. SEE DETAIL D/C820.
2. INSTALL OBSERVATION CLEANOUT. SEE DETAIL C/C820.
3. FIELD DRAIN SYSTEM. SEE DETAIL E/C801.
4. TEMPORARILY REMOVE EXISTING FENCE TO FACILITATE PIPE INSTALL.
5. CONNECT TO EXISTING STORM SYSTEM.

NOTES:

- (A) CONTRACTOR RESPONSIBLE FOR MAINTAINING A MIN. COVER OF 7.5' GRADE OVER PROPOSED WATER LINE.
- (B) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (C) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.
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- (E) SEE DETAIL M/C820 FOR PIPE BEDDING.
- (F) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
- (G) CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MEANS TO LOCATE NON-METALLIC WATER AND SEWER (SANITARY AND STORM) PER SPS 382.
- (H) PIPE LENGTHS PROVIDED ARE GIVEN TO CENTER OF STRUCTURE OR END OF END STRUCTURE.

TOTAL LENGTH = 1,046 L.F. OF 8" PERIMETER PIPE

TOTAL LENGTH = 1,231 L.F. OF 1'X12" PIPE

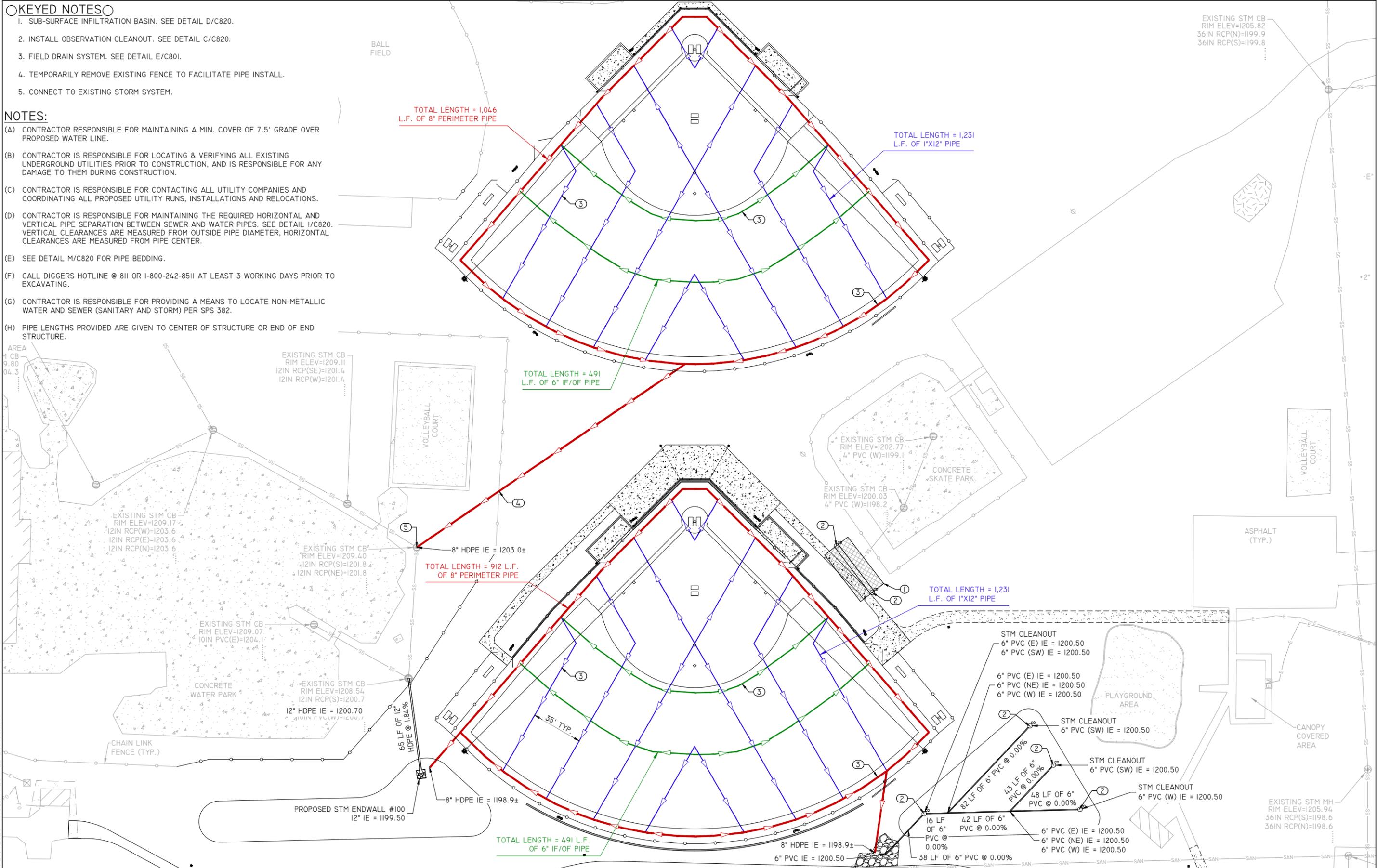
TOTAL LENGTH = 491 L.F. OF 6" IF/OF PIPE

TOTAL LENGTH = 912 L.F. OF 8" PERIMETER PIPE

TOTAL LENGTH = 1,231 L.F. OF 1'X12" PIPE

TOTAL LENGTH = 491 L.F. OF 6" IF/OF PIPE

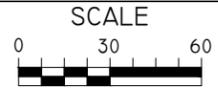
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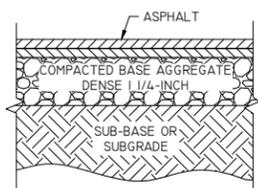
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				JLR	JJB	

UTILITY PLAN - PHASE I-BBI & I-BB2
 KENNEDY PARK
 5815 ALTA VERDE STREET
 WESTON, WI

REI
 REI No. 11600
 SHEET C301.2

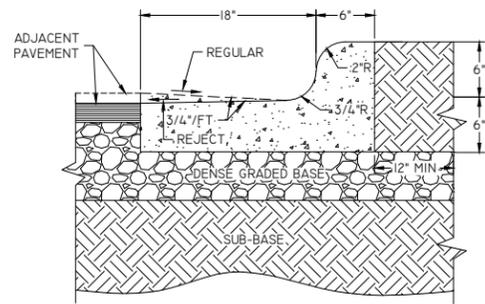
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SURFACE COURSE (4 LT 58-34S) 1.75"
 BINDER COURSE (4 LT 58-28S) 1.75"
 BASE AGGREGATE 8"



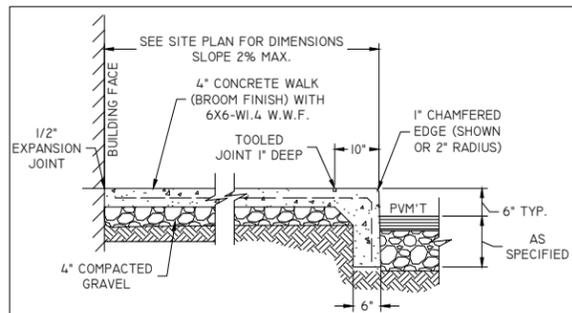
NOTES:
 1. BASE AGGREGATE TO EXTEND 12" BEYOND BACK OF CURB OR EDGE OF PAVEMENT.
 2. ASPHALT TO BE CONSIDERED LIGHT DUTY UNLESS SPECIFIED OTHERWISE.

A ASPHALT PAVEMENT
 C800 NTS

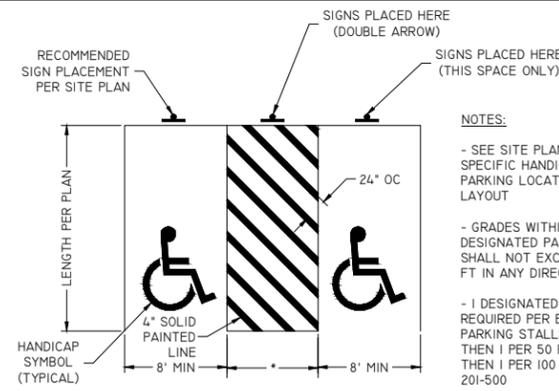


SEE SITE PLAN FOR DESIGNATION

B 24" CURB & GUTTER /
 24" REJECT CURB & GUTTER
 C800 NTS

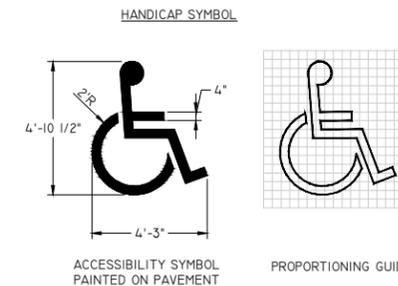


C SIDEWALK WITH INTEGRAL CURB
 C800 NTS



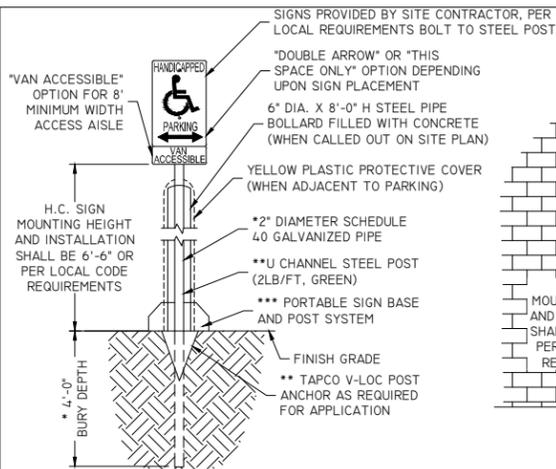
NOTES:

- SEE SITE PLAN FOR SITE SPECIFIC HANDICAPPED PARKING LOCATIONS AND LAYOUT
- GRADES WITHIN DESIGNATED PARKING AREAS SHALL NOT EXCEED 1/4" PER FT IN ANY DIRECTION
- 1 DESIGNATED STALL REQUIRED PER EVERY 25 PARKING STALLS UP TO 100, THEN 1 PER 50 FROM 101-200, THEN 1 PER 100 FROM 201-500
- 1 IN EVERY 6 DESIGNATED STALLS OR FRACTION OF 6 SHALL BE VAN-ACCESSIBLE
- ACCESS AISLES MAY BE SHARED BETWEEN DESIGNATED STALLS

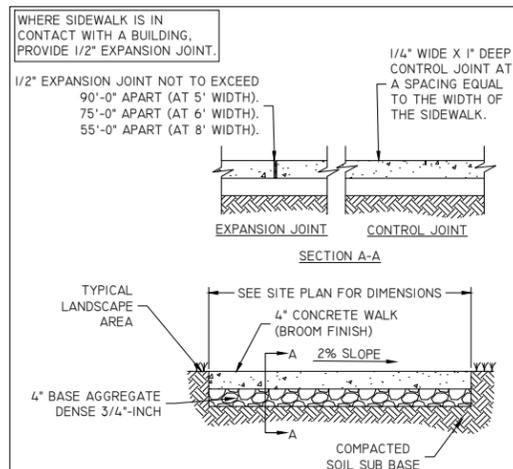
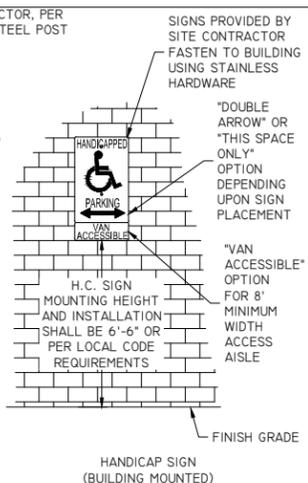


* TO BE BLUE IN COLOR, UNLESS OTHERWISE SPECIFIED.

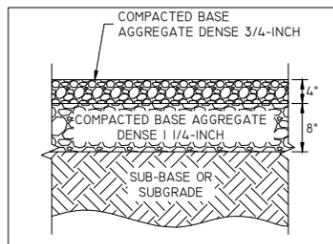
D HANDICAP PARKING SPACES & STRIPING
 C800 NTS



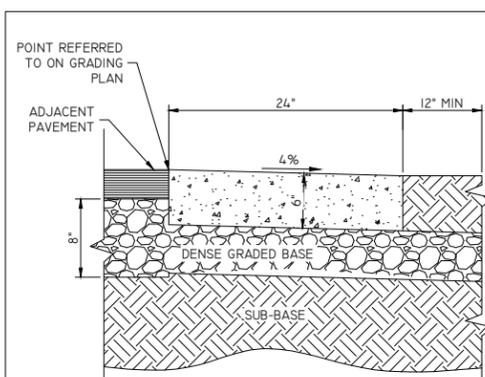
E HANDICAP SIGN
 C800 NTS



F SIDEWALK SECTION
 C800 NTS



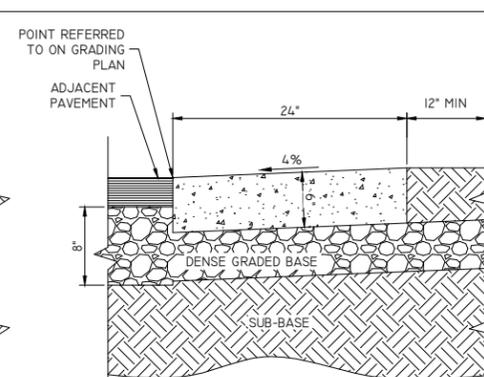
G GRAVEL SURFACE
 C800 NTS



RIBBON CURB

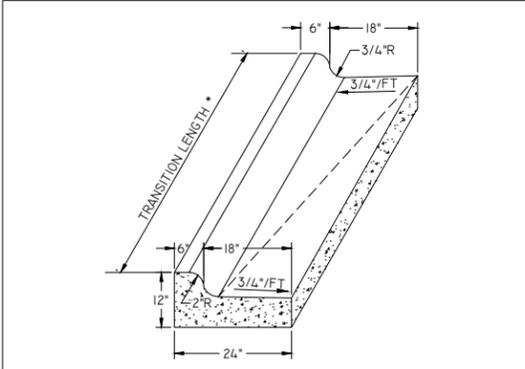
SEE SITE PLAN FOR DESIGNATION

H 24" RIBBON CURB / 24" REJECT RIBBON CURB
 C800 NTS



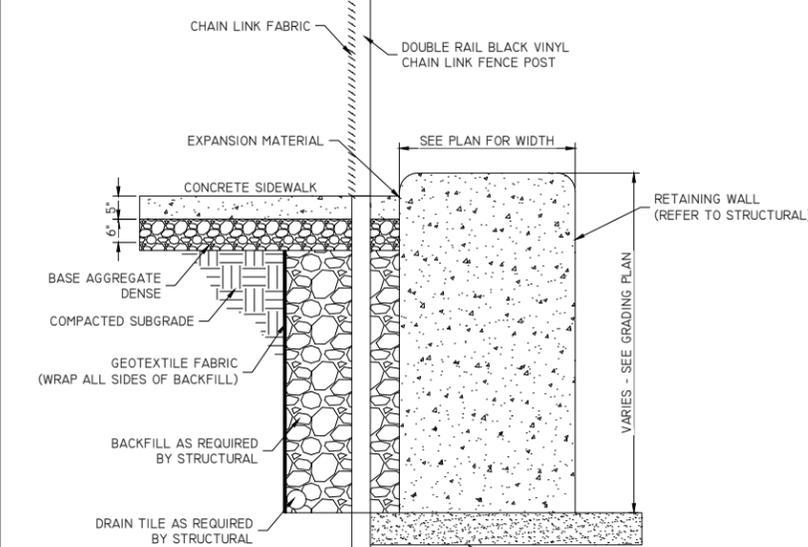
REJECT RIBBON CURB

SEE SITE PLAN FOR DESIGNATION



* TRANSITION LENGTH SHALL BE 12 LF ON TANGENTS GREATER THAN 18 LF, OR BETWEEN RADIUS POINTS ON TANGENTS LESS THAN 18 LF, OR BETWEEN RADIUS MID POINTS WHERE TANGENTS ARE LESS THAN 12 LF, OR ACROSS THE RADIUS/RADIII WHERE TANGENTS ARE LESS THAN 2 LF.

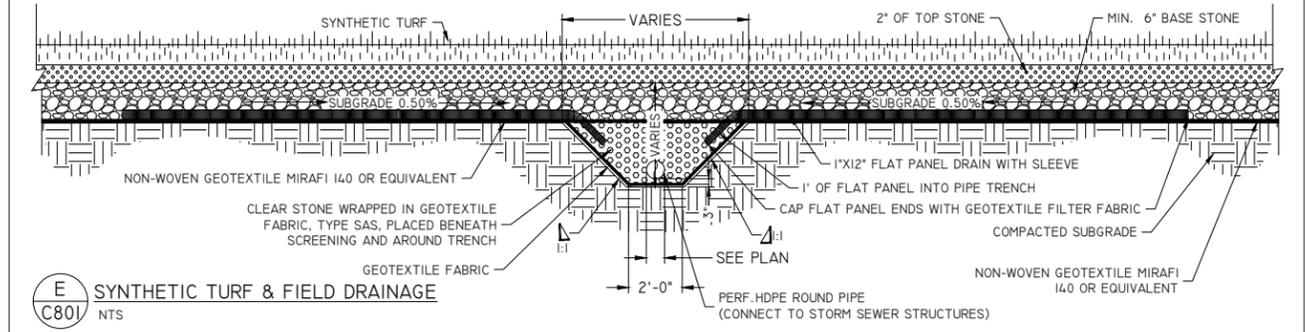
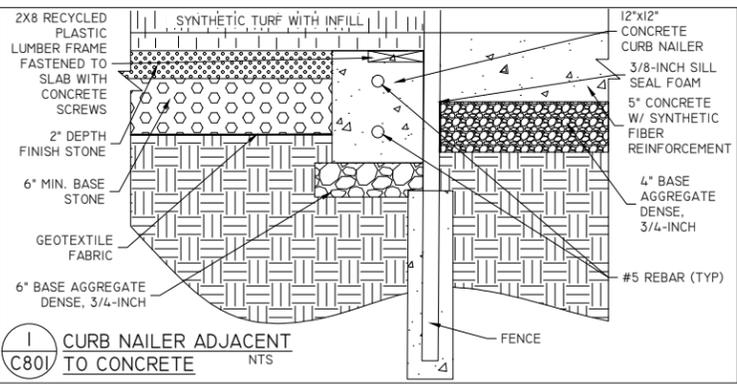
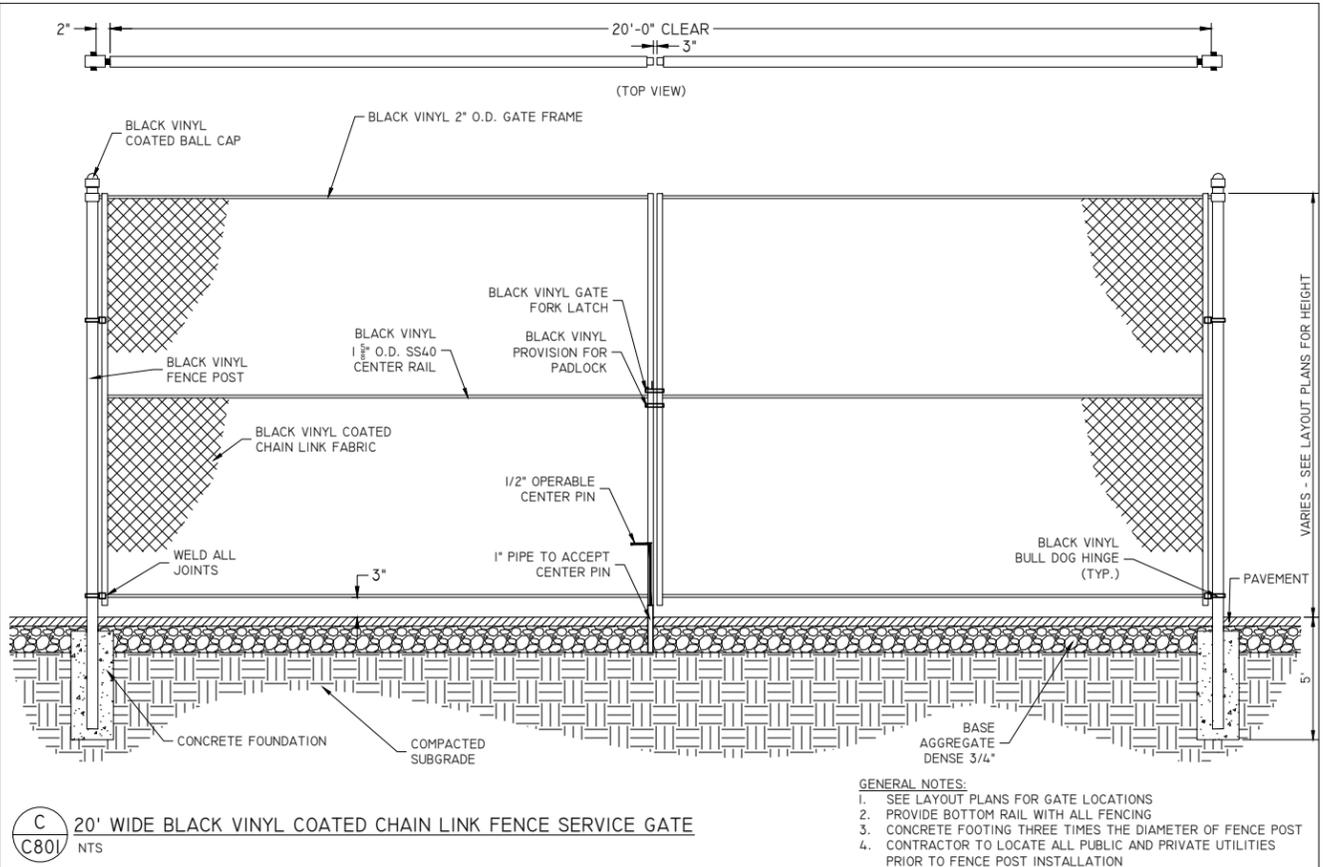
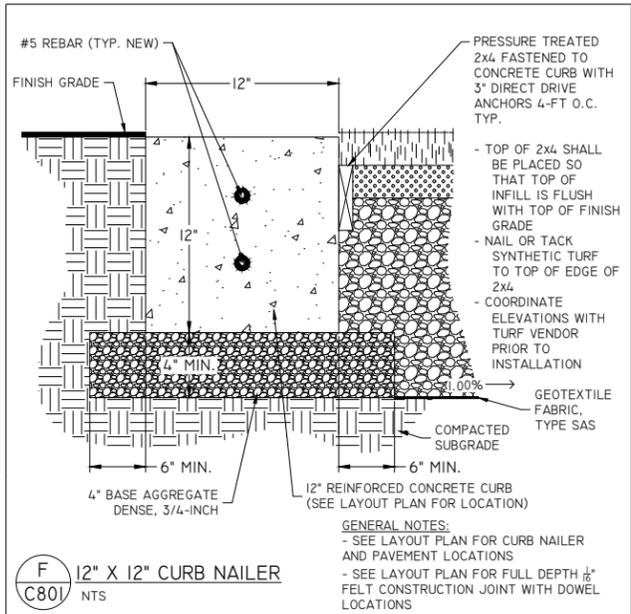
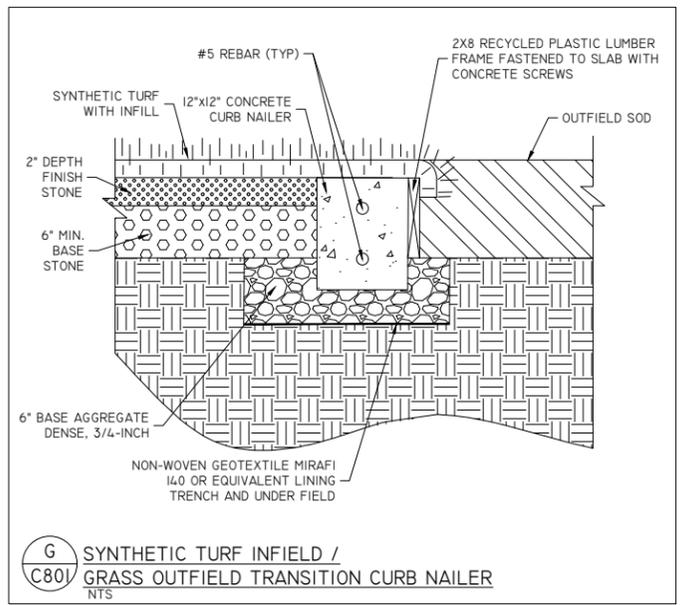
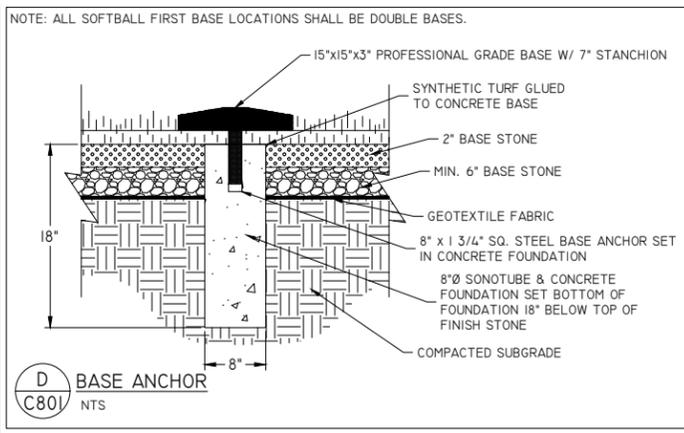
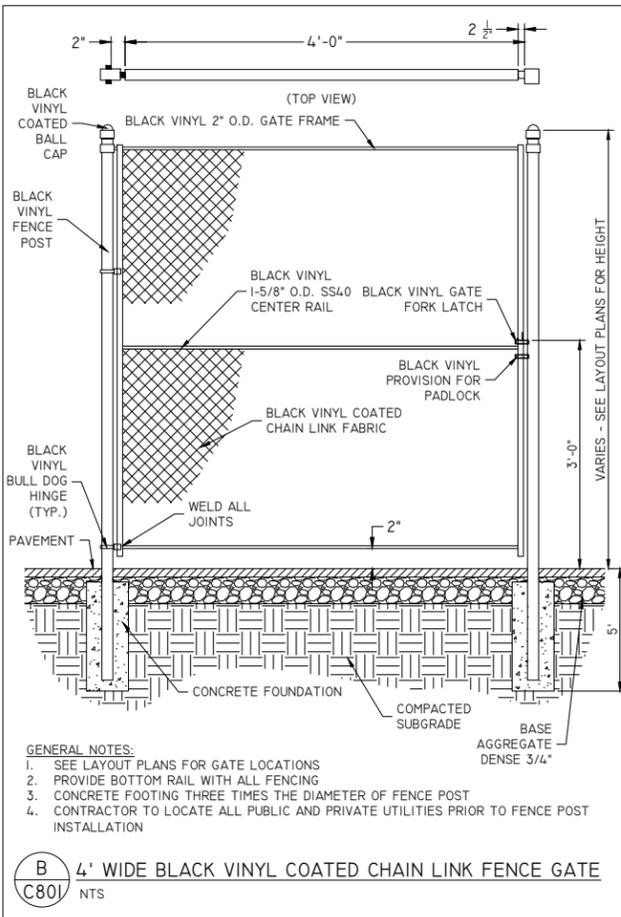
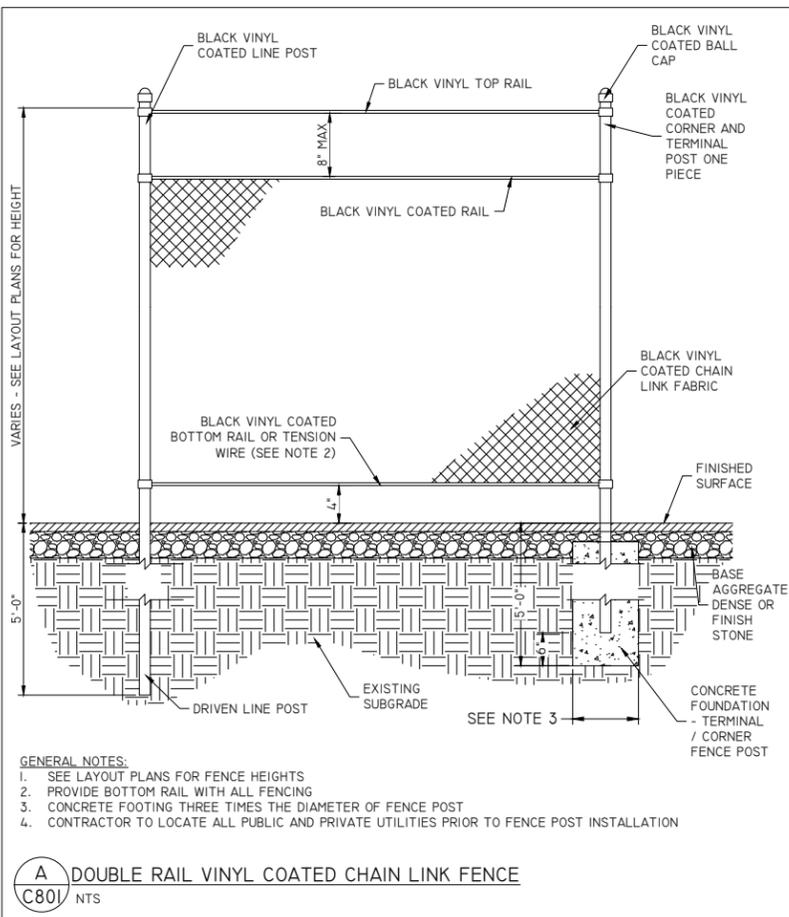
I TRANSITION CURB & GUTTER
 C800 NTS



J RETAINING WALL / FENCE: DRIVEN POST
 C800 NTS

DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
03/26/25	BID SET ISSUANCE	NAP	KS	AJB	CSS	7-2-2024
				JLR	JJB	03-26-2025
				JLR	JJB	

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REI Engineering, INC.
4080 N. 20TH AVENUE
WAUSAU, WISCONSIN 54401
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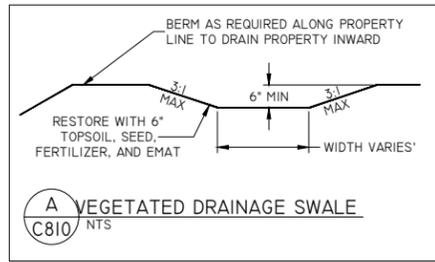
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				JLR	JJB	03-26-2025
				JLR	JJB	

SITE DETAILS
KENNEDY PARK
5815 ALTA VERDE STREET
WESTON, WI

REI
REI No. 11600
SHEET C801

DRAWING FILE: Q:\11600-11699\11600 - VILLAGE OF WESTON - KENNEDY PARK - 6002 ALDERSON STREET - VILLAGE OF WESTON - MARATHON COUNTY\DRAWING\PLANS\11600-C810-EC DETAILS-PHASE 1.DWG LAYOUT: C810 PLOTTED: MAR 27, 2025 - 9:54AM PLOTTED BY: NATHANP



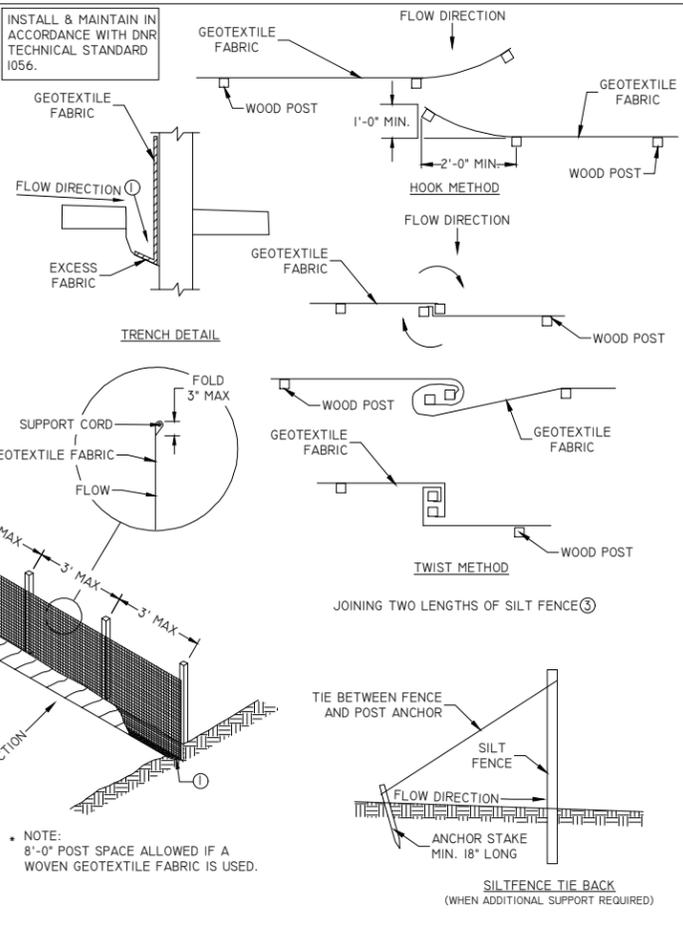
GENERAL NOTES:

- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL 7", COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS; A) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.

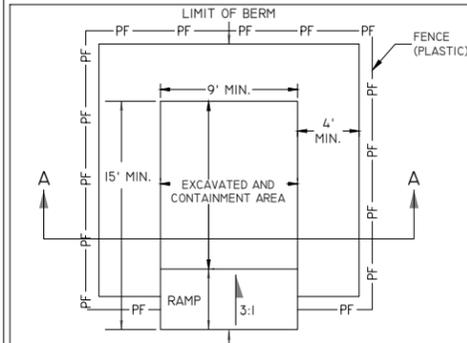
NOTE: ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS

WOOD POSTS ② LENGTH 3'-4' 20" DEPTH IN GROUND

B SILT FENCE
C810 NTS



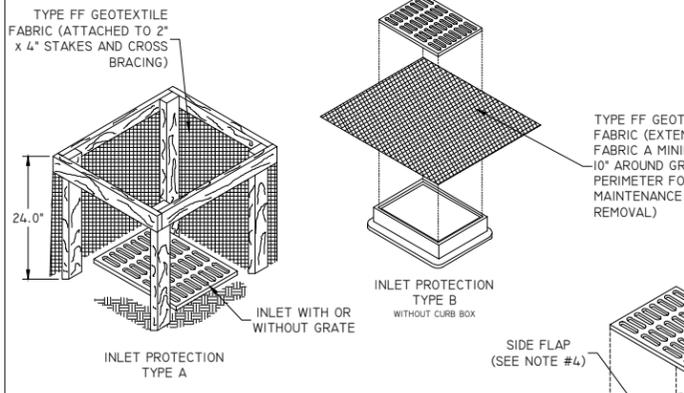
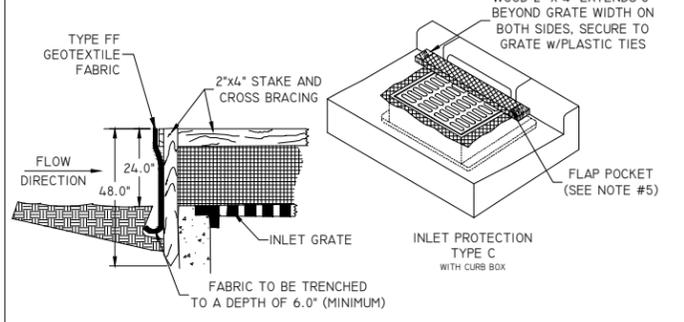
* NOTE: 8'-0" POST SPACE ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.



F CONCRETE WASHOUT STRUCTURE
C810 NTS

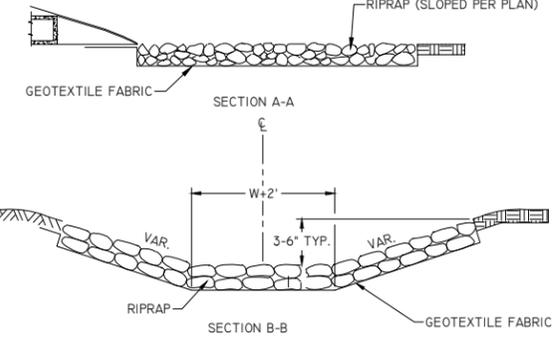
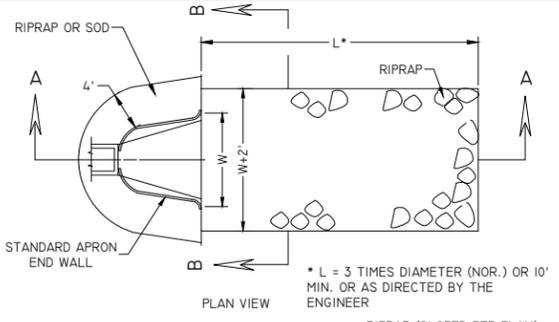
- NOTES:
- EROSION BALES MAY BE USED AS AN ALTERNATIVE FOR THE BERM.
 - A FENCE (PLASTIC) CONFORMING TO SUBSECTION 607.02 SHALL BE INSTALLED AROUND THE CONCRETE WASHOUT AREA, EXCEPT AT THE OPENING.
 - THE CONCRETE WASHOUT SIGN SHALL HAVE LETTERS AT LEAST 3-INCHES HIGH AND CONFORM TO SUBSECTION 630.02.

FIGURE 1. INLET PROTECTION TYPES A, B, C AND D



- NOTES:
- TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
 - GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG, FRONT, BACK, AND BOTTOM OF FILTER BAG BEING ONE PIECE.
 - FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
 - SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
 - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" x 4" THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
- MAINTENANCE NOTES:
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

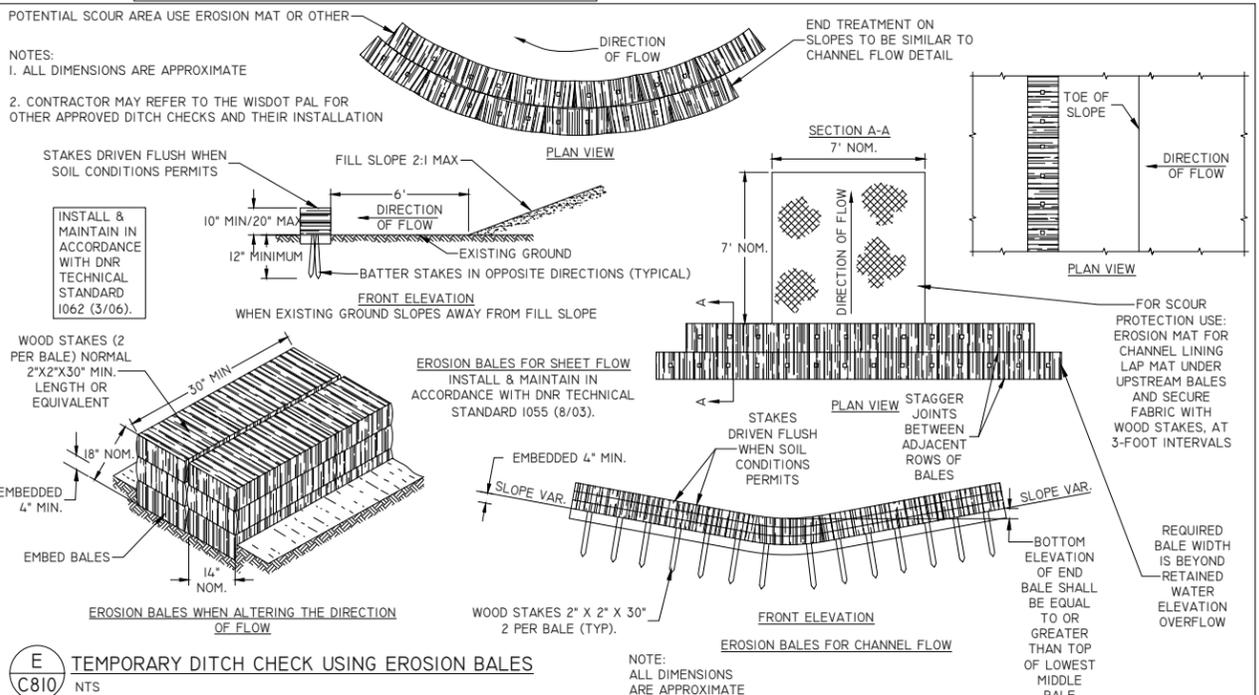
C INLET PROTECTION
C810 NTS



MINIMUM RIPRAP THICKNESS
LIGHT RIPRAP = 12 INCHES
MEDIUM RIPRAP = 18 INCHES
HEAVY RIPRAP = 24 INCHES

NOTE: RIPRAP STONE SIZING AS PER SECTION 606.2.1 OF THE WISDOT STD SPECS

D RIPRAP & GEOTEXTILE FABRIC
C810 NTS



E TEMPORARY DITCH CHECK USING EROSION BALES
C810 NTS

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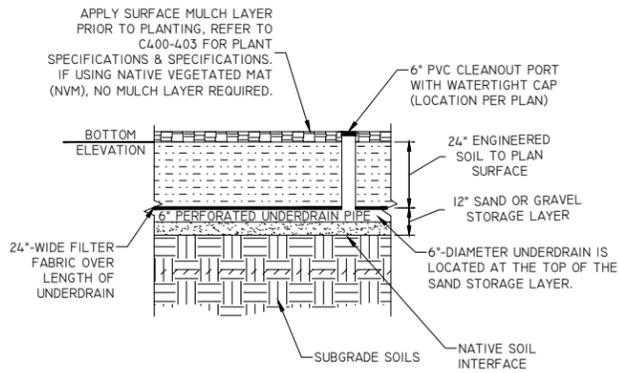
NO SCALE

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03/26/25	BID SET ISSUANCE	NAP	KS	AJB	CSS	7-2-2024
				JLR	JJB	03-26-2025
				JLR	JJB	

EROSION CONTROL DETAILS
KENNEDY PARK
5815 ALTA VERDE STREET
WESTON, WI

REI
REI No. 11600
SHEET C810

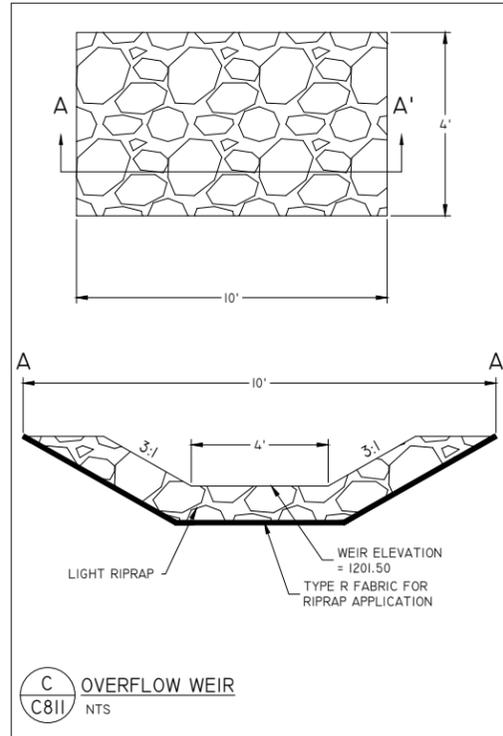
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 PLOTTED: MAR 27, 2025 - 9:55AM PLOTTED BY: NATHAN



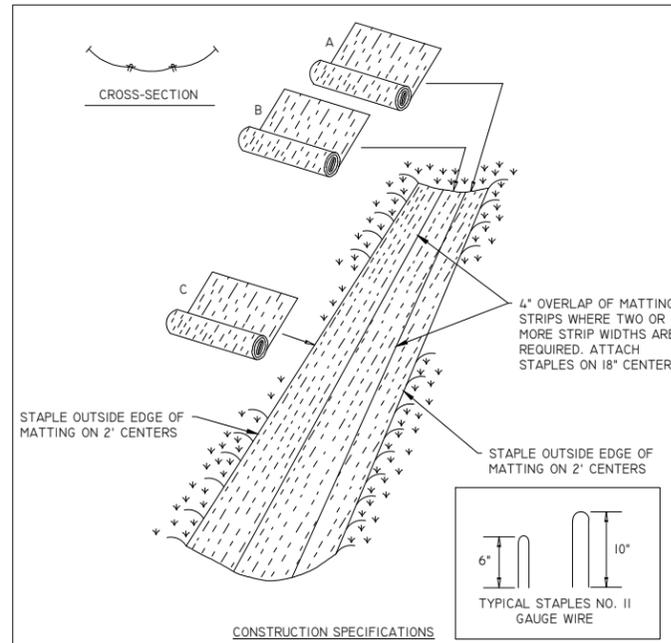
ENGINEERED SOIL COMPONENT	% COMPOSITION (BY VOLUME)
SAND	70% - 85%
COMPOST	15% - 30%

- NOTES:
- ENGINEERED SOIL SHALL BE A MIXTURE ACCORDING TO TABLE I AND PLACED IN MULTIPLE LIFTS @ APPROXIMATELY 12". WATER EACH LIFT TO COMPACT IN PLACE.
 - CONTRACTOR SHALL KEEP HEAVY EQUIPMENT OFF BIORETENTION AREAS TO PREVENT OVER COMPACTION OF SUBGRADE SOILS OR REMEDIATE SUBGRADE SOILS THROUGH CHISEL PLOWING OR DEEP TILLING PRIOR TO PLACEMENT OF ENGINEERED SOILS.
 - SURFACE OF ENGINEERED SOILS SHALL BE LEVELED TO PLAN GRADE.
 - SAND SHALL MEET STANDARDS IDENTIFIED IN WDNR TECHNICAL STANDARD 1004.
 - COMPOST SHALL MEET REQUIREMENTS OF WDNR SPECIFICATION S100.
 - GRAVEL SHALL BE DOUBLE WASHED AND MEET THE STANDARDS IDENTIFIED IN WDNR TECHNICAL STANDARD 1004.
 - IF USING PLUGS, THE SURFACE MULCH LAYER SHALL BE 2-3 INCHES OF SHREDED HARDWOOD MULCH OR CHIPS, AGED A MINIMUM OF 12 MONTHS, OR A WISDOT CLASS 2 TYPE B COCONUT FIBER EROSION CONTROL MAT. EROSION CONTROL MAT SHALL ALSO BE PLACED OVER THE HARDWOOD MULCH TO PREVENT MULCH FROM FLOATING. EROSION CONTROL MAT SHALL BE INSTALLED AS IDENTIFIED IN WDNR TECHNICAL STANDARDS 1004.

A
C811
BIORETENTION SOILS DETAIL
NTS

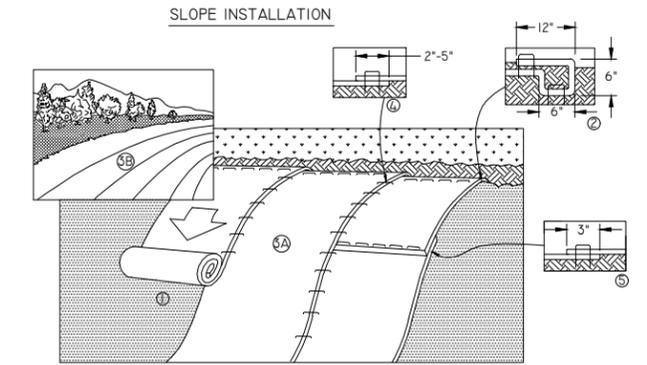


C
C811
OVERFLOW WEIR
NTS



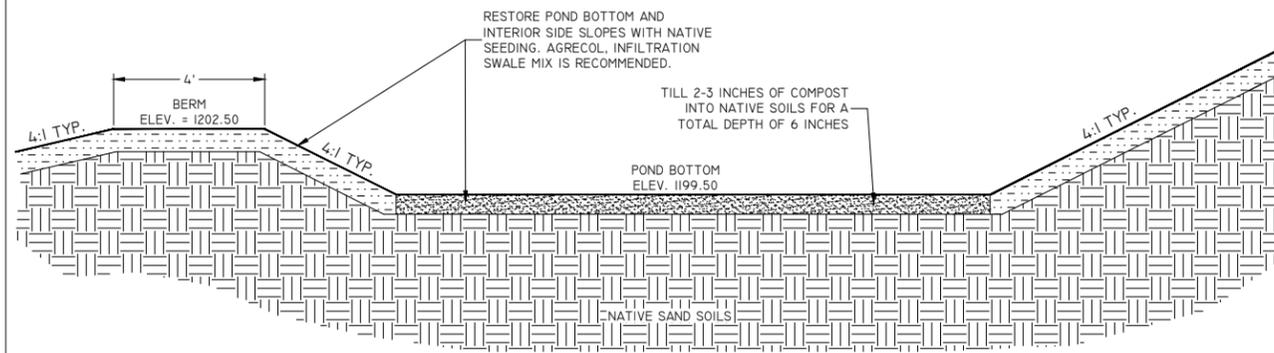
- CONSTRUCTION SPECIFICATIONS
- KEY-IN THE MATTING BY PLACING THE TOP ENDS OF THE MATTING IN A NARROW TRENCH, 6" IN DEPTH. BACKFILL THE TRENCH AND TAMP FIRMLY TO CONFORM TO THE CHANNEL CROSS-SECTION. SECURE WITH A ROW OF STAPLES ABOUT 4" DOWN SLOPE FROM THE TRENCH. SPACING BETWEEN STAPLES IS 6".
 - STAPLE THE 4" OVERLAP IN THE CHANNEL CENTER USING AN 18" SPACING BETWEEN STAPLES.
 - BEFORE STAPLING THE OUTER EDGES OF THE MATTING, MAKE SURE THE MATTING IS SMOOTH AND IN FIRM CONTACT WITH THE SOIL.
 - STAPLES SHALL BE PLACED 2' APART WITH 4 ROWS FOR EACH STRIP, 2 OUTER ROWS, AND 2 ALTERNATING ROWS DOWN THE CENTER.
 - WHERE ONE ROLL OF MATTING ENDS AND ANOTHER BEGINS, THE END OF THE TOP STRIP SHALL OVERLAP THE UPPER END OF THE LOWER STRIP BY 4", SHIPLAP FASHION. REINFORCE THE OVERLAP WITH A DOUBLE ROW OF STAPLES SPACED 6" APART IN A STAGGERED PATTERN ON EITHER SIDE.
 - THE DISCHARGE END OF THE MATTING LINER SHOULD BE SIMILARLY SECURED WITH 2 DOUBLE ROWS OF STAPLES. NOTE: IF FLOW WILL ENTER FROM THE EDGE OF THE MATTING THEN THE AREA EFFECTED BY THE FLOW MUST BE KEYED-IN.

E
C810
EROSION MAT
NTS



- SLOPE INSTALLATION
- PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP's), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP'S.
 - ROLL THE RECP'S (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM (TM), STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON RECP'S TYPE.
 - CONSECUTIVE RECP'S SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECP'S WIDTH. NOTE: *IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S.

- NOTES:
- COMPOST SHALL MEET THE WDNR SPECIFICATION S100 COMPOST.
 - SOIL MODIFICATIONS SHALL BE COMPLETED DURING THE FINAL RESTORATION PHASE. CONTRACTOR SHALL KEEP HEAVY EQUIPMENT OFF THE INFILTRATION PONDS TO PREVENT OVERCOMPACTION OF SUBGRADE SOILS OR REMEDIATE SUBGRADE SOILS THROUGH CHISEL PLOWING OR A CAPABLE ROTARY DEVICE.
 - TURF GRASS SEEDING AND FERTILIZER SHALL ABIDE BY THE CRITERIA OUTLINED IN THE WDNR CONSERVATION PRACTICE STANDARD SEEDING FOR CONSTRUCTION SITE EROSION CONTROL (1059). SOD SHALL NOT BE USED.
 - AGRECOL INFILTRATION SWALE MIX: APPLY GLYPHOSATE HERBICIDE TO AREA WHEN MAJORITY OF WEEDS ARE 2'-3" TALL. WAIT 10 DAYS THEN FINELY TILL THE SOIL ONLY 1"-2" DOWN AND PLANT IMMEDIATELY BY HAND BROADCASTING AT A RATE OF 9 LBS/ACRE. RAKE OR DRAG AREA LIGHTLY, COVERING THE SEED WITH ABOUT 1/4" TO 1/2" OF SOIL. ROLL AREA FIRMLY AFTER RAKING. MULCH PRAIRIE SEEDS AREAS LESS THAN 4:1 SLOPE WITH 1" OF WEED FREE STRAW MULCH. APPLY WISDOT NET-FREE CLASS I, URBAN TYPE B EROSION MAT ON SLOPING AREAS STEEPER THAN 4:1. *REFER TO AGRECOL'S "NATIVE SEEDING INSTRUCTIONS" ON THEIR WEBSITE FOR DETAILED INSTRUCTIONS/GUIDELINES FOR SUCCESSFUL SEED ESTABLISHMENT AND MANAGEMENT.



B
C811
INFILTRATION POND
NTS

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**CIVIL & ENVIRONMENTAL
 ENGINEERING, SURVEYING**

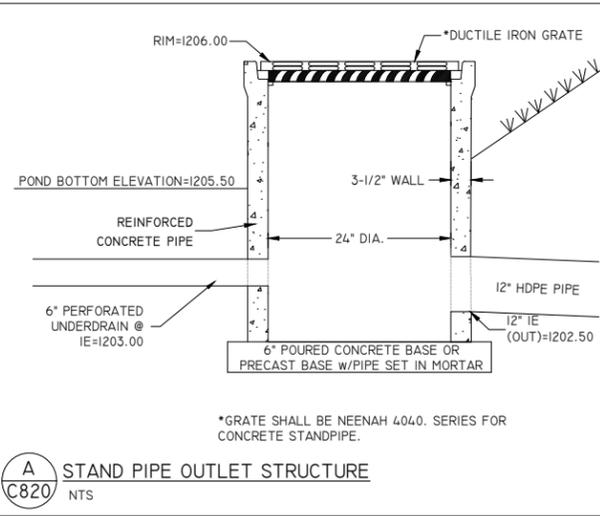
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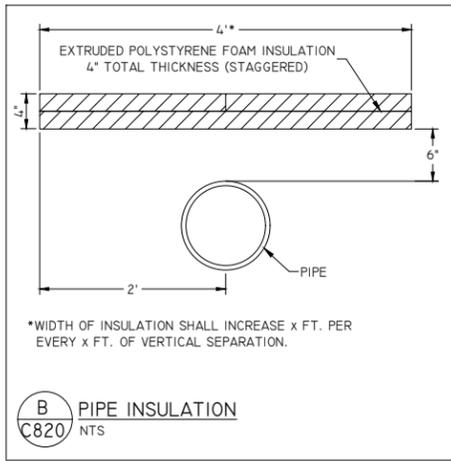
STORMWATER DETAILS
 KENNEDY PARK
 5815 ALTA VERDE STREET
 WESTON, WI

REI
 REI No. 11600
 SHEET C811

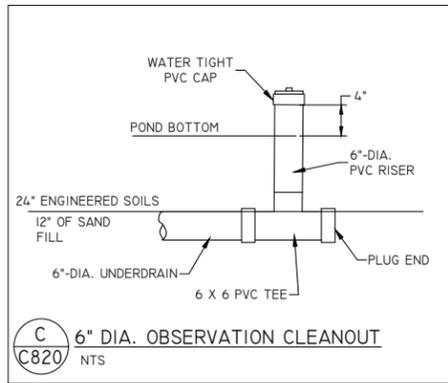
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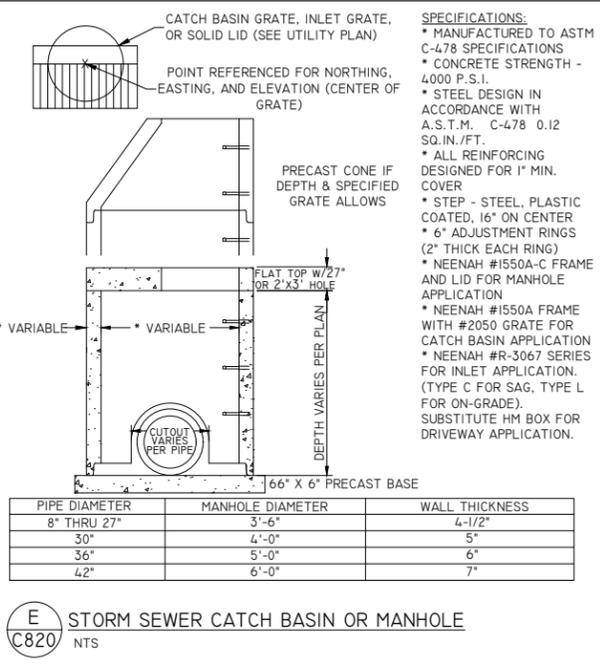
A
C820 STAND PIPE OUTLET STRUCTURE
 NTS



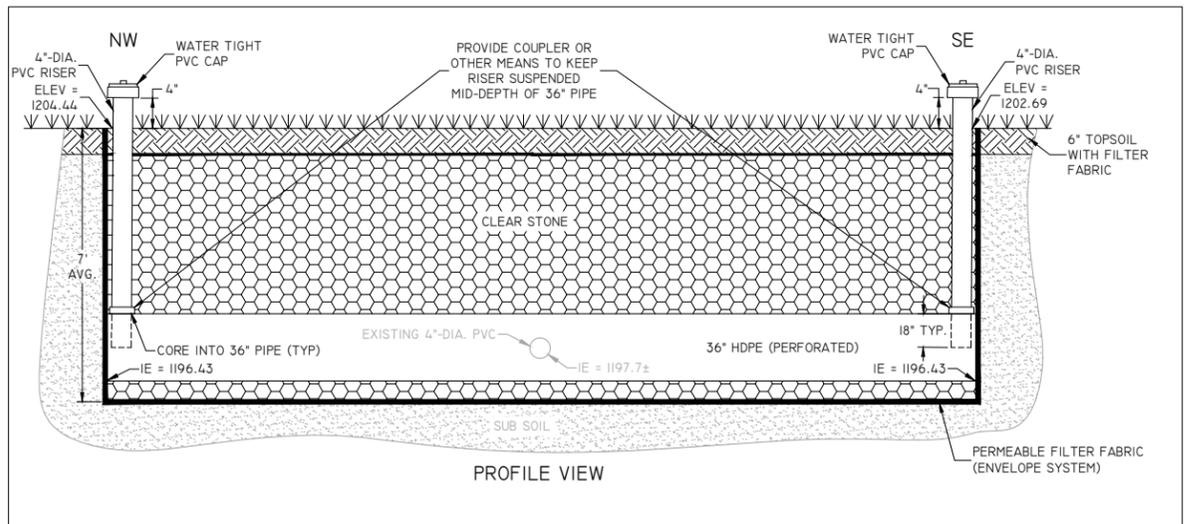
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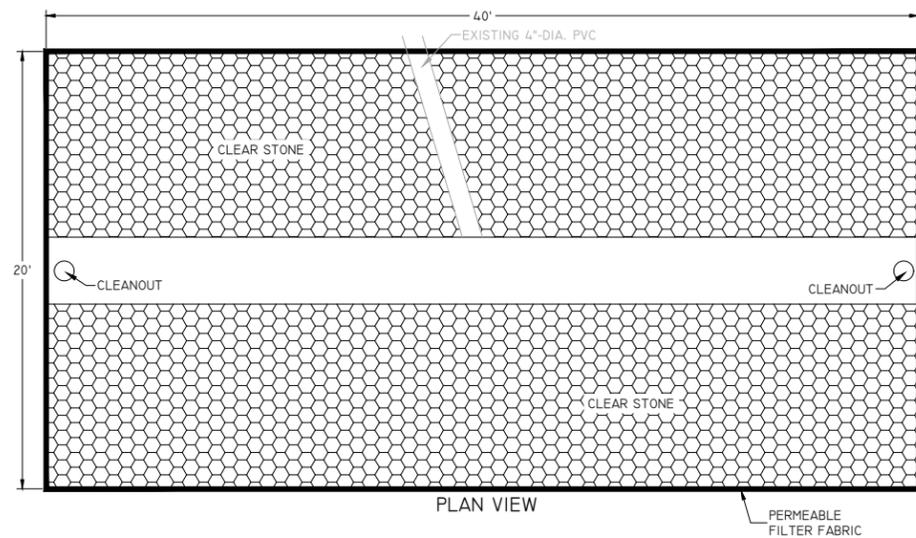
C
C820 6" DIA. OBSERVATION CLEANOUT
 NTS



E
C820 STORM SEWER CATCH BASIN OR MANHOLE
 NTS



D
C820 TYPICAL SUB-SURFACE INFILTRATION BASIN SECTION
 NTS



D
C820 TYPICAL SUB-SURFACE INFILTRATION BASIN SECTION
 NTS

DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
03/26/25	BID SET ISSUANCE	NAP	KS	AJB	CSS	7-2-2024
				JLR	JJB	03-26-2025
				JLR	JJB	

GENERAL NOTES/SPECIFICATIONS

1. SITE USAGE WILL BE PERMITTED ONLY WITHIN REASONABLE LIMITS TO FACILITATE CONSTRUCTION OF PROPOSED IMPROVEMENTS AND THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER THE PREMISES WITH EQUIPMENT AND MATERIALS. MATERIAL STORAGE SHALL BE CONFINED TO SUCH LIMITS AS MAY BE JOINTLY AGREED UPON BY OWNER AND CONTRACTOR.
2. ALL SUB-CRACKERS SHALL BE UNDER THE DIRECTION OF THE GENERAL CONTRACTOR (OR OWNER'S REPRESENTATIVE) WHO WILL BE HELD RESPONSIBLE FOR THE COORDINATION OF ALL WORK ON THIS PROJECT AND THE PROPER EXECUTION OF THE SAME.
3. THE CONTRACTOR SHALL FURTHER ENFORCE THE OWNER'S INSTRUCTIONS OF SUCH NATURE, INCLUDING PARKING, USE OF ROADS, SAFE ACCESS TO FACILITIES, FIRE PREVENTION, AND PROJECT PHASING, WHICH THE OWNER MAY DEEM NECESSARY OR DESIRABLE ON THE OWNER'S PROPERTY.
4. CONTRACTOR SHALL KEEP A CLEAN SITE DURING CONSTRUCTION AND THROUGH FINAL ACCEPTANCE.
5. ALWAYS FOLLOW WRITTEN DIMENSIONS. DO NOT SCALE. IF DISCREPANCY EXISTS, CONTACT THE ENGINEER.
6. REMOVE ALL TREES WITHIN THE GRADING LIMITS, INCLUDING ROOT STRUCTURES, EXCEPT THOSE SPECIFICALLY NOTED TO REMAIN AND THOSE ON PROPERTY LINES. DO NOT CLEAR SITE PRIOR TO COORDINATING WITH THE OWNER TO LOCATE ALL TREES TO REMAIN.
7. PROTECT TREES, UTILITY POLES, ABOVE AND BELOW GRADE UTILITIES, AND OTHER FEATURES THAT ARE TO REMAIN. THE REPAIR OF ANY DAMAGE TO FEATURES TO REMAIN IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR WITH NO PAYMENT DUE FOR SUCH REPAIRS.
8. PROTECT ABOVE AND BELOW GRADE UTILITIES THAT ARE TO REMAIN.
9. ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN OUT MANHOLES, CATCH BASINS, INLETS, WATER VALVES, LIGHT POLES, HYDRANTS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT. REFER TO THE SITE GRADING PLAN SHEET.
10. PROTECT BENCHMARKS, REFERENCE SURVEY POINTS AND OTHER PROVIDED CONSTRUCTION STAKES.
11. CALL DIGGER'S HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
12. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
13. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS, AND RELOCATIONS.
14. NOTIFY ELECTRIC UTILITY AT LEAST ONE WEEK PRIOR TO WORKING IN AREAS WHERE UTILITY POLES EXIST. UTILITY COMPANY WILL PROTECT POLES AS NECESSARY.
15. DURING CONSTRUCTION THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR INSPECTION AND DOCUMENTATION OF THE EROSION CONTROL DEVICES AS REQUIRED BY THE WPDES PERMIT. IF CHANGES TO THE EROSION CONTROL PLAN ARE REQUIRED, THE CONTRACTOR SHALL RECORD THOSE CHANGES ON THE PLAN. UPON COMPLETION OF WORK AND PRIOR TO LEAVING THE SITE, THE CONTRACTOR AND OWNER'S DESIGNEE SHALL COORDINATE ONGOING RESPONSIBILITY UNTIL THE SITE'S WPDES PERMIT IS TERMINATED BY THE WDNR.
16. EROSION CONTROL DEVICES SHALL ABIDE BY THE WDNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL STANDARDS. [HTTPS://DNR.WI.GOV/TOPI/STORMWATER/STANDARDS/CONST_STANDARDS.HTML](https://dnr.wi.gov/TOPI/STORMWATER/STANDARDS/CONST_STANDARDS.HTML)
17. CONFIRM THAT ALL TOPSOIL HAS BEEN STRIPPED FROM AREAS TO RECEIVE EMBANKMENT BEFORE PLACING EMBANKMENT MATERIAL.
18. EMBANKMENT MATERIAL SHALL BE EXCAVATED SITE MATERIAL AND/OR IMPORTED MATERIAL DEEMED SUITABLE BY THE OWNER AND OWNER'S REPRESENTATIVE, AND CONFORM TO THE REQUIREMENTS OF SUB-SECTION 207.2 OF THE WISDOT STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL MODIFY WATER CONTENT OF THE MATERIAL AS NECESSARY TO OBTAIN SPECIFIED COMPACTION FOR ALL EMBANKMENT MATERIAL.
19. CONSTRUCT ALL EMBANKMENT THAT WILL SUPPORT ROADWAYS OR ASPHALT PARKING IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SUB-SECTION 207.3.6.3 (SPECIAL COMPACTION) OF THE WISDOT STANDARD SPECIFICATIONS EXCEPT: THE MAXIMUM DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D1557, WITH METHOD B OR C; AND MAXIMUM LIFT THICKNESS SHALL BE 8 INCHES FOR ALL SOILS, GRANULAR, OR COHESIVE.
20. CONSTRUCT UTILITY TRENCHES IN EMBANKMENT AREAS AFTER CONSTRUCTION OF EMBANKMENT.
21. BORROW MATERIAL SHALL BE IMPORTED MATERIAL MEETING THE REQUIREMENTS OF SECTION 208.2 OF THE WISDOT STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL IDENTIFY ITS BORROW SOURCES TO THE OWNER'S CONSTRUCTION REPRESENTATIVE AT LEAST TWO WEEKS IN ADVANCE OF HAULING MATERIAL TO THE PROJECT SITE SO THE OWNER'S CONSTRUCTION REPRESENTATIVE CAN OBTAIN SAMPLES AND PERFORM THE DESIRED TESTING.
22. STRUCTURAL FILL IS REQUIRED IN ALL AREAS THAT WILL SUPPORT PRESENT OR FUTURE BUILDING STRUCTURES, AND WITHIN AREAS EXTENDING DOWNWARD AND OUTWARD FROM THE BUILDING LIMITS AT FINISHED GRADE ON A 1-TO-1 (HORIZONTAL TO VERTICAL) SLOPE TO THE BOTTOM OF THE FILL. CONFIRM THAT ALL UNSUITABLE MATERIAL HAS BEEN REMOVED FROM AREAS TO RECEIVE STRUCTURAL FILL BEFORE PLACING MATERIAL. SUB GRADES MAY NOT RECEIVE STRUCTURAL FILL IF FROZEN, AND FROZEN STRUCTURAL FILL IS NOT ACCEPTABLE FOR USE. PROVIDE ADEQUATE ADVANCED NOTIFICATION, ACCESS, EQUIPMENT, AND OPERATOR TO PERMIT TESTING AGENCY TO OBSERVE COMPACTION OF SUB GRADE PRIOR TO PLACEMENT OF STRUCTURAL FILL MATERIAL. PROVIDE ADEQUATE ADVANCE NOTIFICATION, ACCESS AND COOPERATION TO TESTING AGENCY TO PERFORM DENSITY TESTING ON EACH LIFT OF FILL PLACED, PRIOR TO PLACING FILL ABOVE THE LIFT. THE TESTING FREQUENCY WILL BE DETERMINED BY THE OWNER OR OWNER'S DESIGNATED REPRESENTATIVE. CONSTRUCT ALL STRUCTURAL FILL IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SUB-SECTION 207.3.6.3 (SPECIAL COMPACTION) OF THE WISDOT STANDARD SPECIFICATIONS EXCEPT: THE MAXIMUM DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D1557, WITH METHOD B OR C; ALL LIFTS SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D1557; MAXIMUM LIFT THICKNESS SHALL BE 8 INCHES FOR ALL SOILS, GRANULAR, OR COHESIVE; THE LIMIT OF STRUCTURAL FILL FOR PURPOSES OF COMPACTION REQUIREMENTS IS DEFINED AS THE AREA ENCOMPASSED BY PLANS EXTENDING DOWNWARD AND OUTWARD FROM THE EDGES OF THE STRUCTURE OR CONCRETE SLAB AT 45-DEGREE ANGLES RELATIVE TO HORIZONTAL (I.E. 1:1 SLOPES).
23. THE CONTRACTOR SHALL PREPARE THE SITE TO SUPPORT THE PROPOSED SURFACE PER SECTION 211 OF THE WISDOT STANDARD SPECIFICATIONS.
24. DENSE GRADED BASE SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SECTION 305 OF THE WISDOT STANDARD SPECIFICATIONS FOR DENSE GRADED BASE, CONSISTENT WITH THE DESIGNATIONS SPECIFIED ON THE PLANS.
25. CONCRETE PAVING SHALL CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS. CONCRETE CURB AND GUTTER SHALL CONFORM TO THE APPLICABLE REGULATIONS OF SECTION 601 OF THE WISDOT STANDARD SPECIFICATIONS. CONCRETE MATERIAL SHALL BE TYPE A OR A-FA AS DEFINED WITHIN SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS WITH A DESIGN STRENGTH OF 4,500 PSI.
26. HDPE STORM SEWER SHALL BE CORRUGATED EXTERIOR WITH SMOOTH INTERIOR AND SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M 294 TYPE S, ASTM F667, ASTM F405. END SECTIONS FOR CULVERTS SHALL BE OF THE SAME MATERIAL TYPE AS THE PIPE TO WHICH THE APRON END WALL WILL BE CONNECTED. EXCEPT STEEL END SECTIONS MAY BE USED FOR HDPE PIPE. INSTALL HDPE PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 608 OF THE WISDOT STANDARD SPECIFICATIONS.
27. REINFORCED CONCRETE PIPE SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF SUB-SECTION 608.2 OF THE WISDOT STANDARD SPECIFICATIONS. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL REINFORCED CONCRETE STORM SEWER PIPE SHALL BE CLASS III OR STRONGER.
28. DRAIN TILE SHALL BE CORRUGATED POLYETHYLENE DRAINAGE PIPE CONFORMING TO AASHTO M252, TYPE CP WITH CLASS 2 PERFORATIONS.
29. NON-PRESSURE POLYVINYL CHLORIDE PIPE SHALL BE SDR 35 OR SCHEDULE 40 PVC PIPE.
30. PIPE INSTALLATION SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE LATEST EDITION OF THE WISCONSIN SEWER & WATER SPECIFICATIONS AND ALL CURRENT SUPPLEMENTAL SPECIFICATIONS AND ADDENDA.
31. PIPE INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH SPS 382.30(II)(C)2 AS REQUIRED BY SPS 382.30(II), SPS 382.36(7) & SPS 382.40(8).
32. RIPRAP SHALL CONFORM TO THE REQUIREMENTS OF SECTION 606 OF THE WISDOT STANDARD SPECIFICATIONS, WITH THE GRADE BEING SPECIFIED ON THE PLANS. REFER TO SECTION 645 OF THE WISDOT STANDARD SPECIFICATIONS REGARDING GEOTEXTILE FABRIC FOR RIPRAP.
33. PAVEMENT MARKING PAINT SHALL BE PRE-MIXED WATERBORNE EMULSION APPLIED TO A CLEAN SURFACE AT MANUFACTURER'S RATES. CONFIRM COLOR WITH OWNER PRIOR TO APPLICATION. PAVEMENT MARKINGS PLACED WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO THE REQUIREMENTS OF SECTION 646 OF THE WISDOT STANDARD SPECS (EPOXY).
34. AFTER FINAL STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED SUCH THAT THE BOTTOM OF ANY STORM WATER FACILITY IS AT PLAN ELEVATION. SEDIMENT SHALL BE DISPOSED OF LEGALLY OFFSITE.
35. AT A MINIMUM RESTORE SITE BY SEEDING & MULCHING ALL DISTURBED AREAS TO BE VEGETATED AND ENSURE ESTABLISHMENT OF ADEQUATE VEGETATION. SEED IS TO BE OF A SINGLE URBAN LAWN MIX TYPE INTENDED FOR THE EXISTING SITE SOILS AND CONFORMING WITH SECTION 630 OF THE WISDOT STANDARD SPECIFICATION.
36. SITE AND IMPORTED TOPSOIL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF SECTION 625 OF THE WISDOT STANDARD SPECIFICATIONS, GRADED FREE OF STONES AND LUMPS LARGER THAN 1 INCH AND FREE OF ROOTS, VEGETATION, AND OTHER UN-DECOMPOSED ORGANIC MATERIAL.
37. REFER TO "REPORT OF GEOTECHNICAL EXPLORATION & REVIEW" FOR SITE-SPECIFIC SOIL PREPARATION AND PAVEMENT RECOMMENDATIONS.
38. ELEVATIONS SHOWN AT THE TOP AND BOTTOM OF WALL DEPICT THE EXPOSED WALL FACE. THESE ELEVATIONS DO NOT ACCOUNT FOR WALL FOOTING DESIGN.
39. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL EXCESS AND UNUSED MATERIALS FROM THE SITE FOLLOWING COMPLETION OF THEIR WORK.

DRAWING FILE: Q:\11600-11699\11600 - VILLAGE OF WESTON - KENNEDY PARK - 6002 AILDERSON STREET - VILLAGE OF WESTON - MARATHON COUNTY\DRAWING\PLANS\11600-C900-SPECS-PHASE 1.DWG LAYOUT: C900 PLOTTED: MAR 27, 2025 - 9:55AM PLOTTED BY: NATHAN

REI Engineering, INC.
 4080 N. 20TH AVENUE
 WAUSAU, WISCONSIN 54401
 PHONE: 715.675.9784, FAX: 715.675.4060
 EMAIL: MAIL@REIENGINEERING.COM



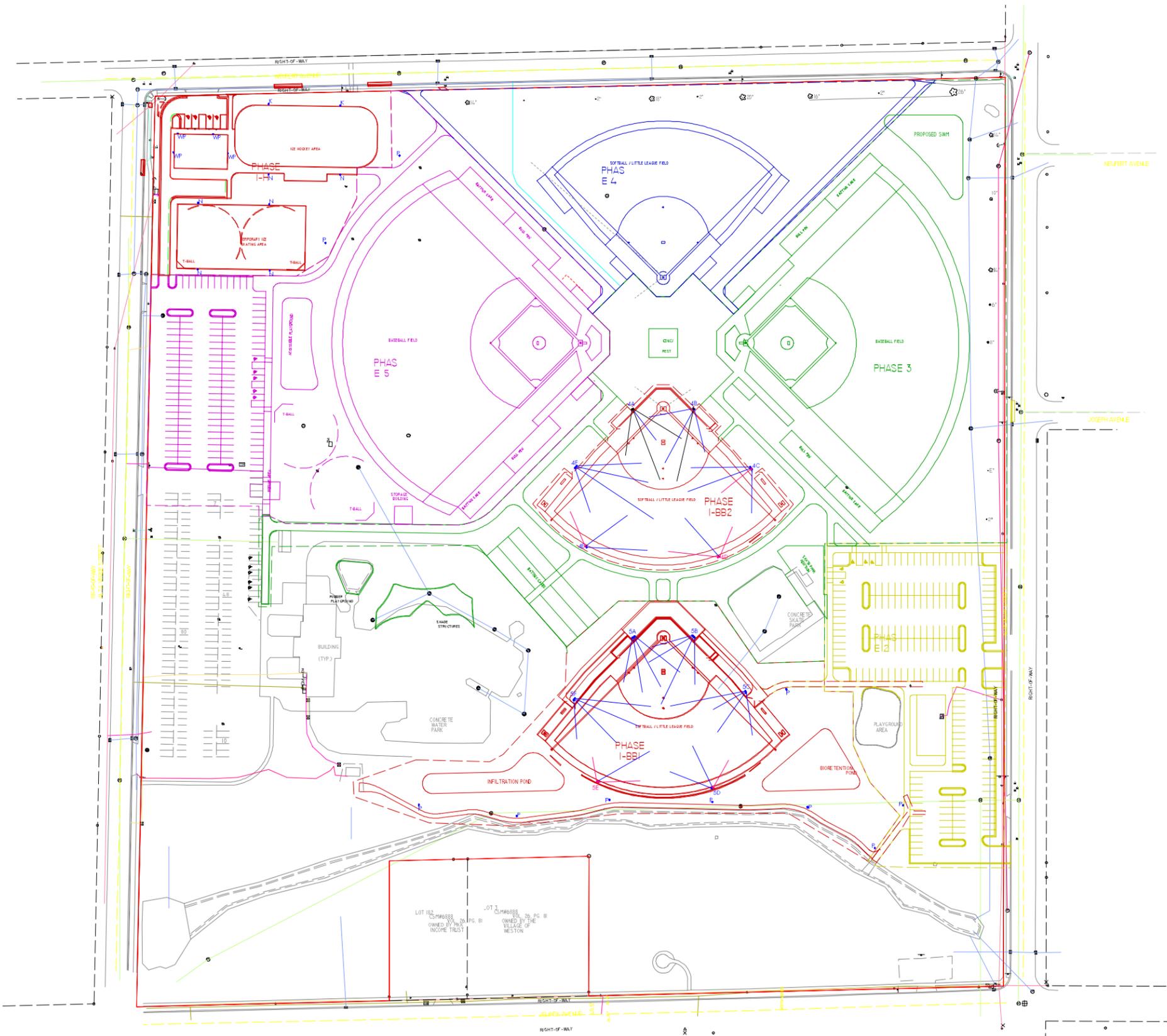
**CIVIL & ENVIRONMENTAL
 ENGINEERING, SURVEYING**

DATE	ISSUANCE	BY	CHKD	SURVEYED BY:	DESIGNED BY:	SURVEY DATE:
				AJB	CSS	7-2-2024
				JLR	JJB	03-26-2025
03/26/25	BID SET ISSUANCE	NAP	KS	JLR	JJB	DRAWN BY:

SITE SPECIFICATIONS
 KENNEDY PARK
 5815 ALTA VERDE STREET
 WESTON, WI

REI
 REI No. 11600
 SHEET C900

Scale: 1 inch = 74 Ft.



Luminaire Schedule				
Symbol	Label	Description	Luminaire Watts	Total Watts
4A	4A	60' POLE WITH (4) FIXTURES	N.A.	2979
4B	4B	60' POLE WITH (4) FIXTURES	N.A.	3081
4C	4C	60' POLE WITH (4) FIXTURES	N.A.	3132
4D	4D	60' POLE WITH (3) FIXTURES	N.A.	2349
4E	4E	60' POLE WITH (3) FIXTURES	N.A.	2349
4F	4F	60' POLE WITH (4) FIXTURES	N.A.	3132
5A	5A	60' POLE WITH (4) FIXTURES	N.A.	3132
5B	5B	60' POLE WITH (4) FIXTURES	N.A.	3132
5C	5C	60' POLE WITH (4) FIXTURES	N.A.	3132
5D	5D	60' POLE WITH (3) FIXTURES	N.A.	2349
5E	5E	60' POLE WITH (3) FIXTURES	N.A.	2349
5F	5F	60' POLE WITH (4) FIXTURES	N.A.	3132
K	K	LED AREA LIGHT W/ INTEGRAL LOUVER SHIELD ON 20' POLE	149	298
N	N	LED AREA LIGHT ON 20' POLE	149	894
P	P	LED PEDESTRIAN LIGHT ON 20' POLE	67	670
WP	WP	LED FULL CUTOFF WALL PACK	40	160

Calculation Summary			
Label	Units	Avg	CV
FIELD #4 INFIELD	Fc	?	?
FIELD #4 OUTFIELD	Fc	?	?
FIELD #5 INFIELD	Fc	?	?
FIELD #5 OUTFIELD	Fc	?	?
ICE HOCKEY RINK	Fc	?	?

These plans, schedules, calculations, and lighting concepts are the property of Lighting Design Solutions (LDS) and are not to be shared, reproduced, viewed, or used in any manner without the explicit written permission of LDS. All luminaires and accessories purchased for this project are to be supplied by LDS unless other arrangements that include additional reimbursement for design costs are codified in a pre-approved written agreement with LDS.

These plans are not approved for construction unless specifically noted. They have not been reviewed or approved by any local or state agency, nor has the building owner confirmed final acceptance of the design or materials. Once approved, the final product details, voltages, accessories and quantities are the responsibility of the installing contractor and are to be fully verified by the contractor prior to release of order. Lead time for luminaires will vary but should be assumed to be 4-6 weeks after release unless specifically noted as "in-stock" or "quick ship" on the LDS Project Quotation.

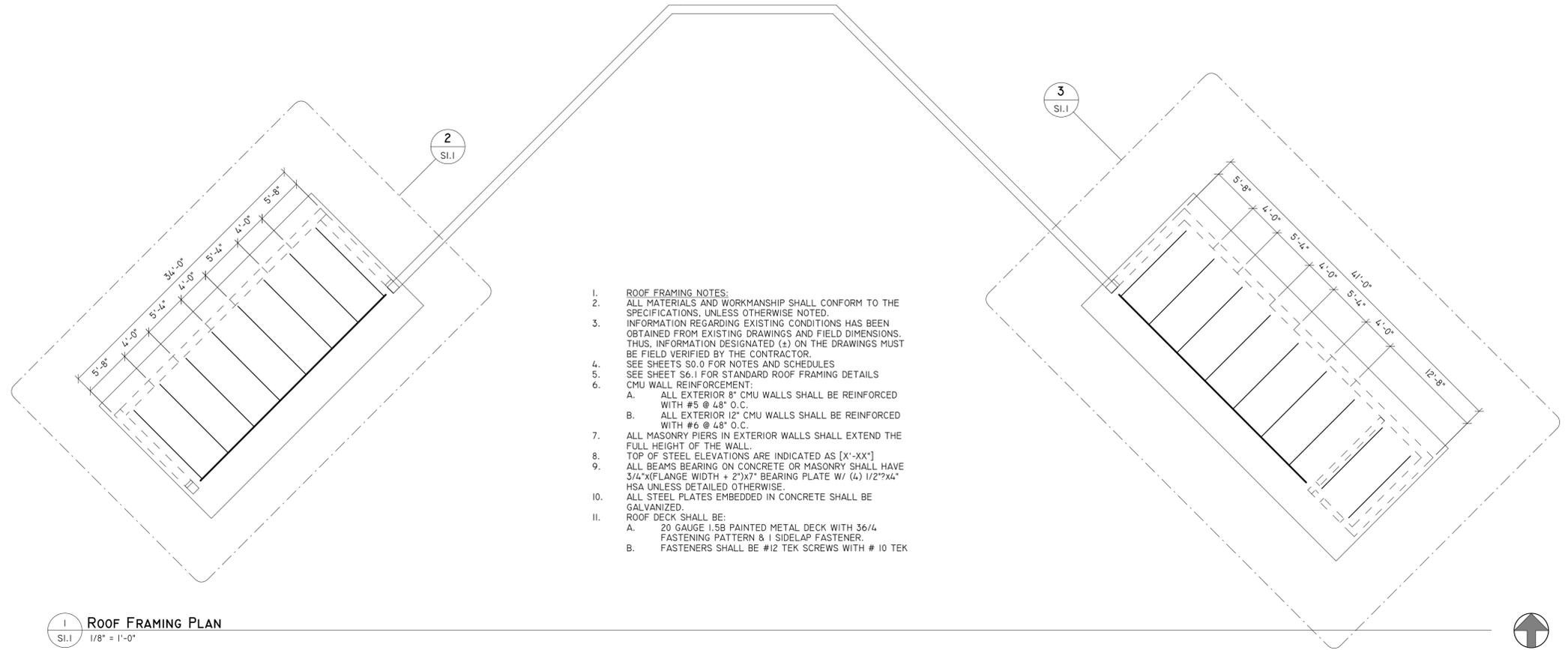
Lighting performance and energy calculations are based on photometric data provided by the specified manufacturers, expected site finishes, anticipated energy costs, current rebate programs, and the projected operational use of the facility. Lighting Design Solutions, Inc. accepts no responsibility for variances resulting from inaccurate or changed data files, drawings, reflectance values, or rebate programs, and guarantees no alternate funding or rebate payment.



PROJECT INFORMATION: PHASE 1 KENNEDY PARK FIELDS WESTON, WI	DRAWN BY: A. THOMER REVIEWED BY: A. THOMER CONTRACTOR:	DATE:
	APPROVED BY:	DATE:

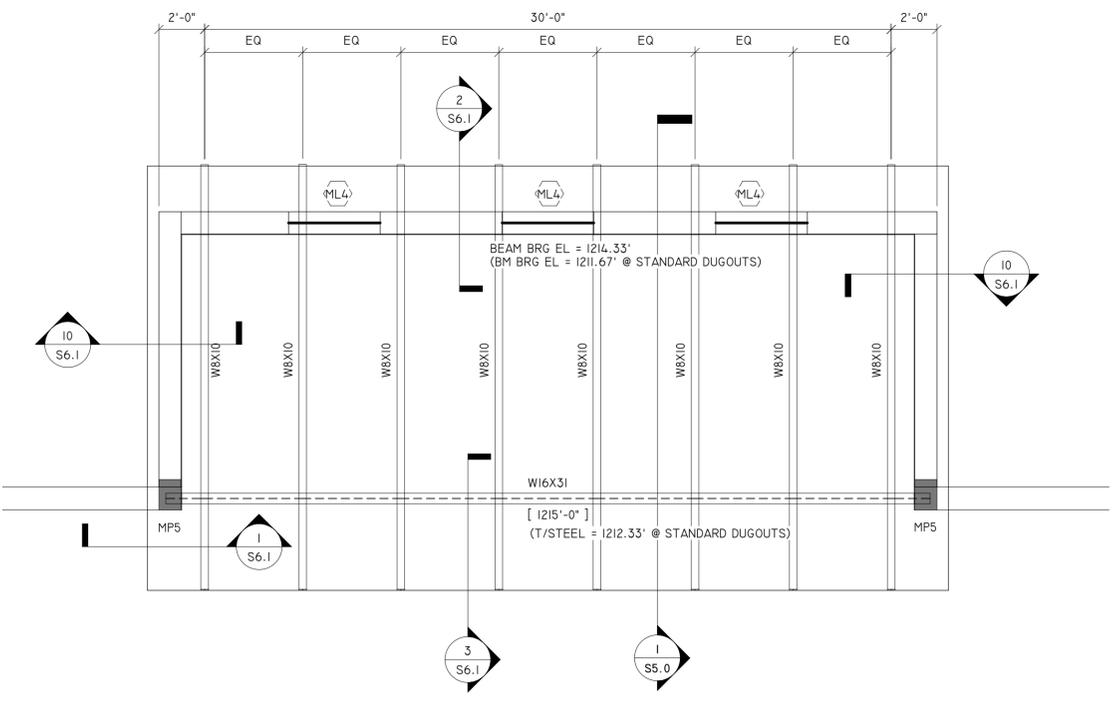
Lighting Design Solutions, Inc.
 Milwaukee Office:
 955A Walnut Ridge Drive
 Hartland, WI 53029
 Office: 888.357.7070
 Fax: 715.693.2594
 Design@LightingDesignSolutions.com
 www.LightingDesignSolutions.com

To request the Project Quotation for these materials or to place the order, please contact:
 Sales@LightingDesignSolutions.com or call us at 1-888-357-7070

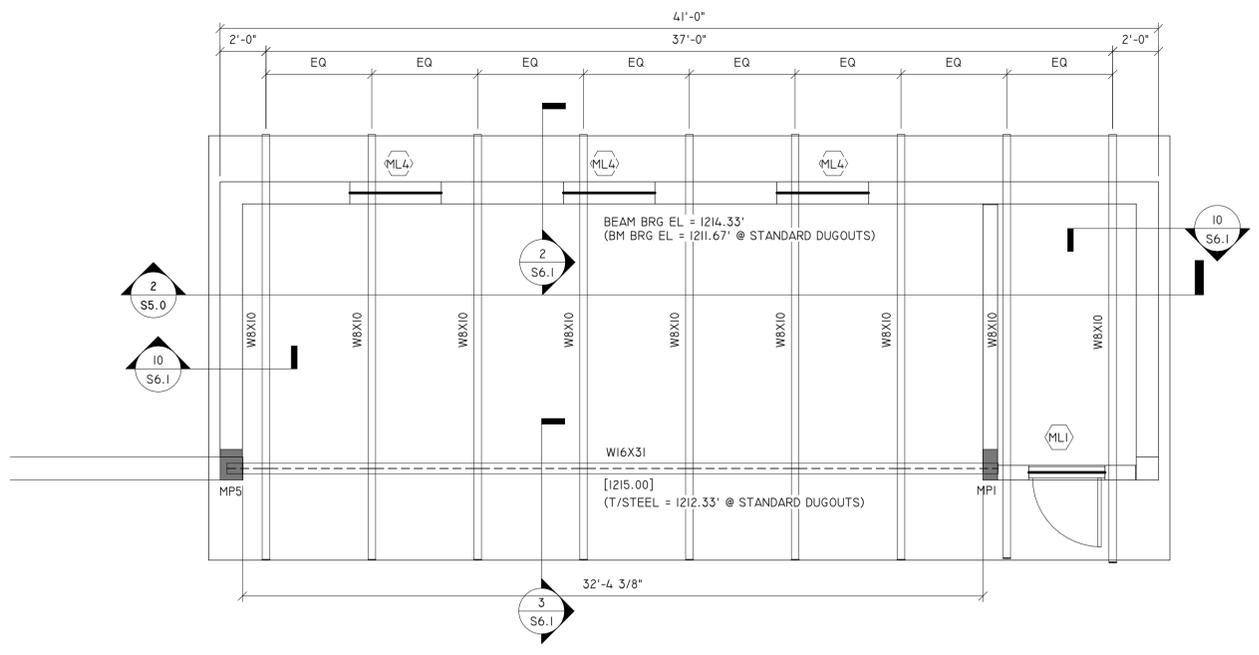


1. ROOF FRAMING NOTES:
2. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE SPECIFICATIONS, UNLESS OTHERWISE NOTED.
3. INFORMATION REGARDING EXISTING CONDITIONS HAS BEEN OBTAINED FROM EXISTING DRAWINGS AND FIELD DIMENSIONS. THUS, INFORMATION DESIGNATED (+) ON THE DRAWINGS MUST BE FIELD VERIFIED BY THE CONTRACTOR.
4. SEE SHEETS S0.0 FOR NOTES AND SCHEDULES
5. SEE SHEET S6.1 FOR STANDARD ROOF FRAMING DETAILS
6. CMU WALL REINFORCEMENT:
 - A. ALL EXTERIOR 8" CMU WALLS SHALL BE REINFORCED WITH #5 @ 48" O.C.
 - B. ALL EXTERIOR 12" CMU WALLS SHALL BE REINFORCED WITH #6 @ 48" O.C.
7. ALL MASONRY PIERS IN EXTERIOR WALLS SHALL EXTEND THE FULL HEIGHT OF THE WALL.
8. TOP OF STEEL ELEVATIONS ARE INDICATED AS [X'-XX"]
9. ALL BEAMS BEARING ON CONCRETE OR MASONRY SHALL HAVE 3/4"x(FLANGE WIDTH + 2")x7" BEARING PLATE W/ (4) 1/2"x4" HSA UNLESS DETAILED OTHERWISE.
10. ALL STEEL PLATES EMBEDDED IN CONCRETE SHALL BE GALVANIZED.
- II. ROOF DECK SHALL BE:
 - A. 20 GAUGE 1.58 PAINTED METAL DECK WITH 36/4 FASTENING PATTERN & 1 SIDELAP FASTENER.
 - B. FASTENERS SHALL BE #12 TEK SCREWS WITH # 10 TEK

1 ROOF FRAMING PLAN
SI.1 1/8" = 1'-0"



2 WEST DUGOUT - ROOF FRAMING PLAN
SI.1 1/4" = 1'-0"



3 EAST DUGOUT - ROOF FRAMING PLAN
SI.1 1/4" = 1'-0"

PROJECT DATA
KENNEDY PARK - PHASE I-BB
SOFTBALL FIELD
5815 ALTA VERDE STREET
WESTON, WISCONSIN

DRAWING SET DESCRIPTION:
BID SET

DATE: 03/26/2025

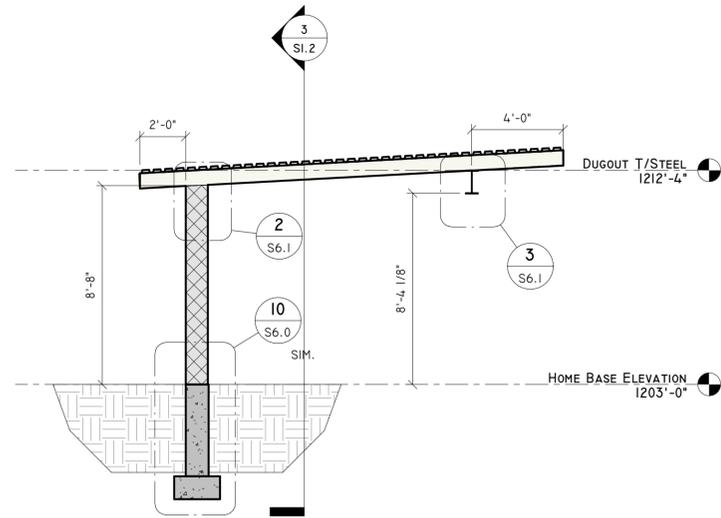
REVISIONS

PROJECT NO.
25-005

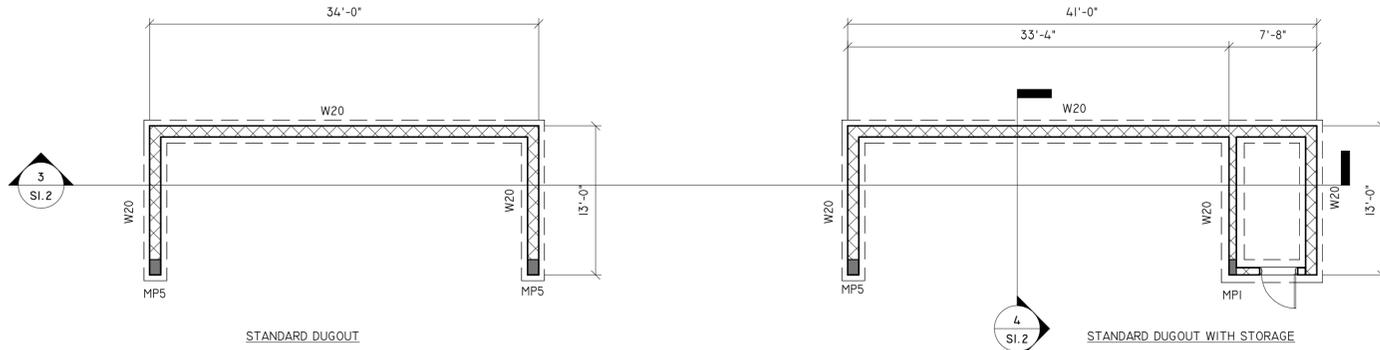
DESIGNED BY: SLL
DRAWN BY: SLL

SHEET TITLE
ROOF FRAMING

SHEET No.
SI.1



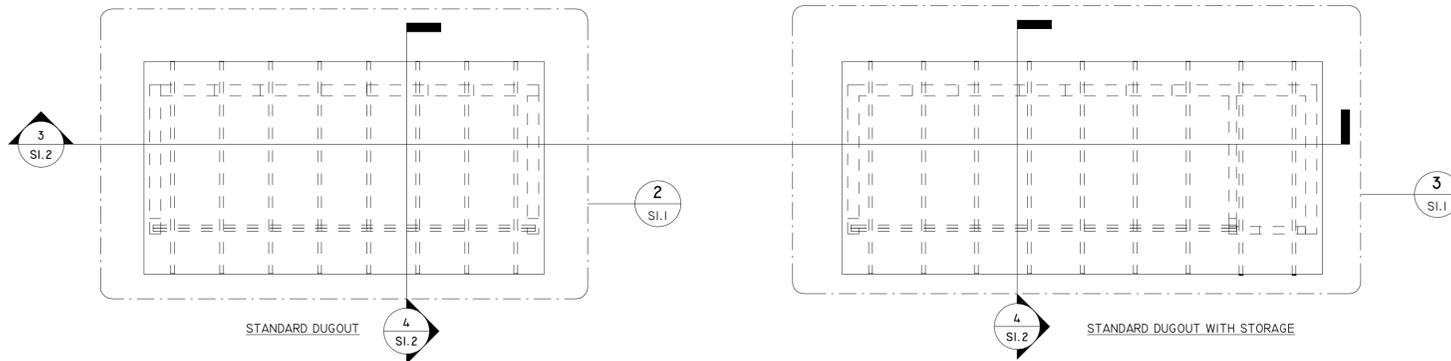
4 STANDARD DUGOUT SECTION
1/4" = 1'-0"



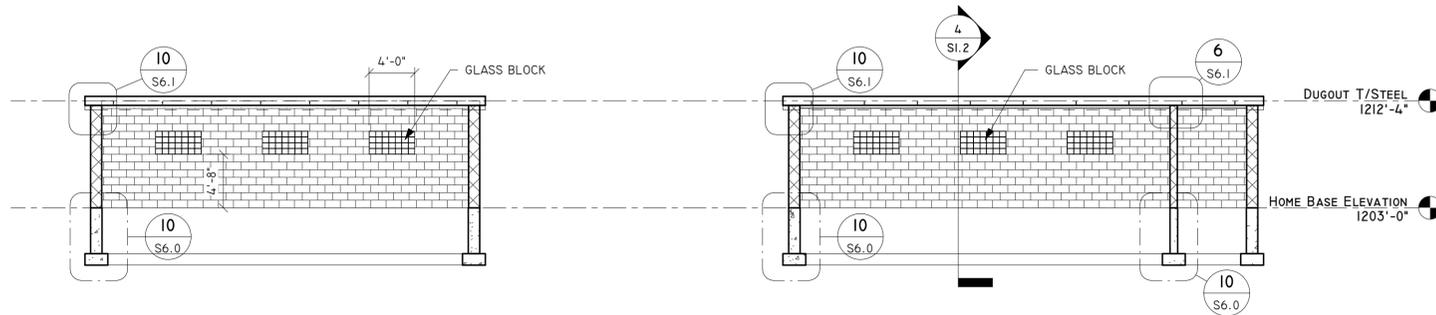
1 STANDARD DUGOUT FOUNDATION PLANS
1/8" = 1'-0"

FOUNDATION PLAN NOTES:

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE SPECIFICATIONS, UNLESS OTHERWISE NOTED.
2. INFORMATION REGARDING EXISTING CONDITIONS HAS BEEN OBTAINED FROM EXISTING DRAWINGS AND FIELD DIMENSIONS. THUS, INFORMATION DESIGNATED (±) ON THE DRAWINGS MUST BE FIELD VERIFIED BY THE CONTRACTOR.
3. SEE DETAILS 5/S6.0 AND 6/S6.0 FOOTING OVER-EXCAVATION AND FILL DETAILS TO BE USED IN CONJUNCTION WITH THE INFORMATION CONTAINED WITHIN THE GEOTECHNICAL REPORT IF REQUIRED.
4. SEE SHEET S6.0 FOR STANDARD FOUNDATION DETAILS
5. SEE SHEET S0.0 FOR NOTES AND SCHEDULES
6. TOP OF FOOTING AND PIER ELEVATIONS ARE INDICATED AS [X'-XX"]
7. FOOTINGS:
 - A. FOOTINGS SHALL BE CENTERED ON COLUMN AND PIER LOCATIONS UNLESS DIMENSIONED OTHERWISE.
 - B. SEE DETAIL 9/S6.0 FOR FOOTING STEP DETAIL.
8. SEE DETAIL 3/S6.0 FOR CONCRETE WALL REINFORCEMENT AT CORNERS AND INTERSECTIONS.
9. MASONRY PIERS SHALL HAVE SAME NUMBER OF BARS AND SPACING OF BARS FROM CONCRETE FROST WALL INTO MASONRY PIER ABOVE. BARS SHALL BE FULLY DEVELOPED IN THE WALL AND THE PIER.
10. ALL MASONRY WALLS SHALL BE REINFORCED AS INDICATED IN THE NOTES ROOF FRAMING PLAN
11. SEE DETAILS 1/S6.0 AND 2/S6.0 FOR REINFORCEMENT DETAILS AT OPENINGS IN CONCRETE WALLS AND SLABS.
12. SLABS ON GRADE
 - A. SLABS ON GRADE INSIDE STORAGE ROOM SHALL BE 4" THICK AND REINFORCED WITH TYPE B OR C FIBER REINF OR 6x6-W2.9xW2.9 WWF.
 - B. PROVIDE 6" COMPACTED GRANULAR FILL BENEATH FLOOR SLAB AS INDICATED IN THE GEOTECHNICAL REPORT.
13. ALL STEEL PLATES EMBEDDED IN CONCRETE SHALL BE GALVANIZED.



2 DUGOUT ROOF FRAMING PLANS
1/8" = 1'-0"



3 SECTION THROUGH STANDARD DUGOUTS
1/8" = 1'-0"

PROJECT DATA
KENNEDY PARK - PHASE I-BB
SOFTBALL FIELD
5815 ALTA VERDE STREET
WESTON, WISCONSIN

DRAWING SET DESCRIPTION:
BID SET

DATE: 03/26/2025

REVISIONS

PROJECT NO.

25-005

DESIGNED BY: SLL

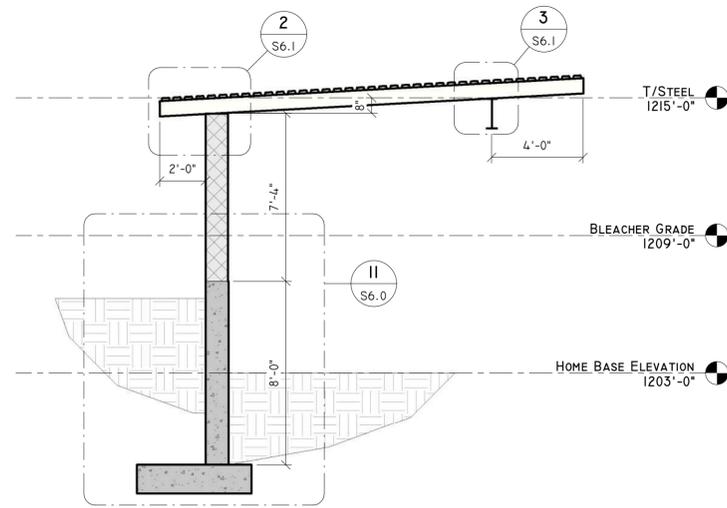
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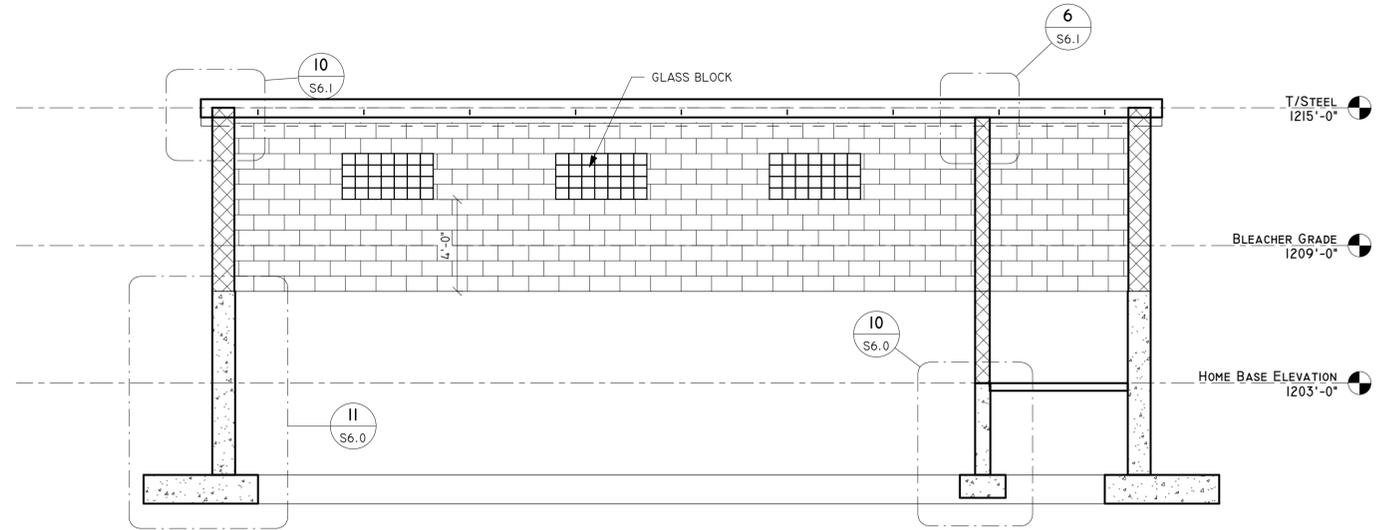
STANDARD DUGOUTS

SHEET NO.

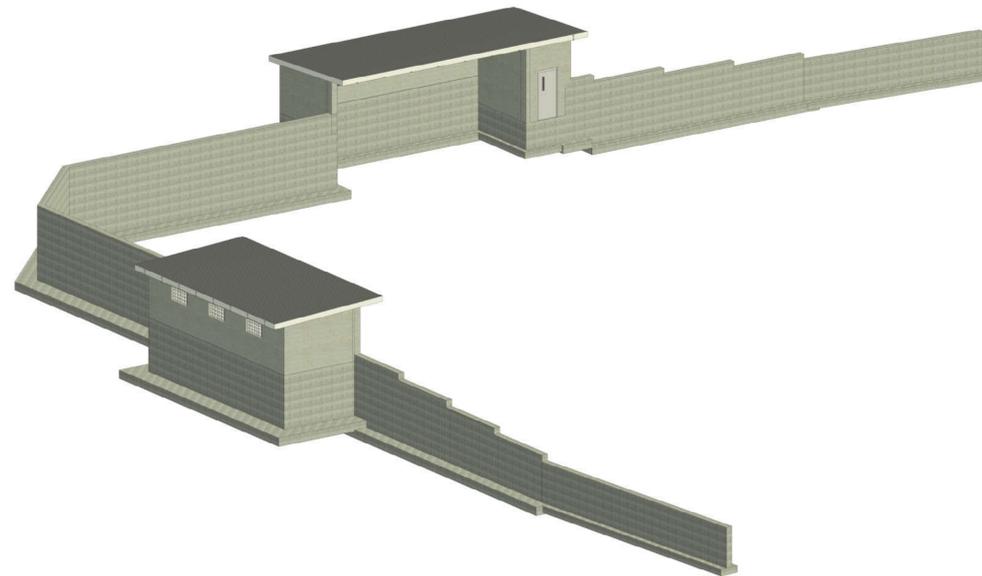
SI.2



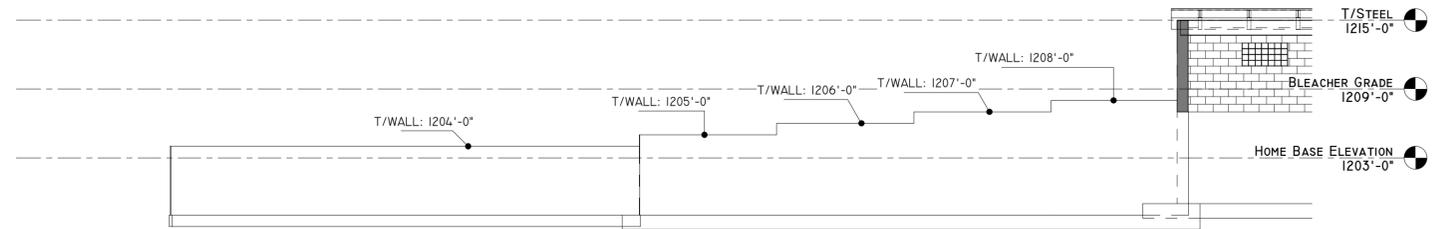
1 DUGOUT SECTION
S5.0 1/4" = 1'-0"



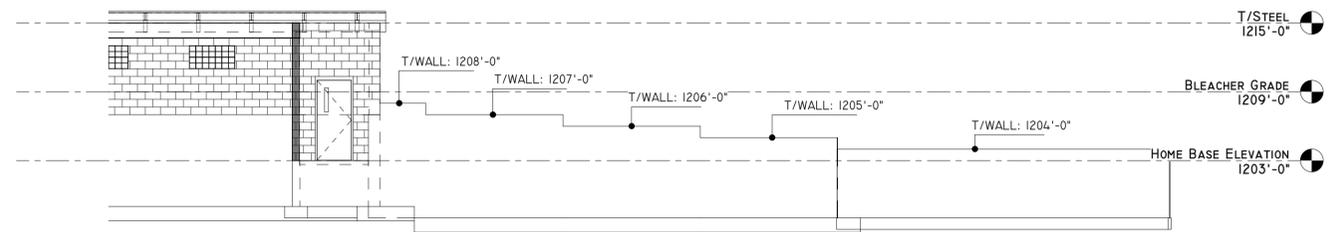
2 EAST DUGOUT SECTION
S5.0 1/4" = 1'-0"



5 RENDERING
S5.0 1/2" = 1'-0"



3 WEST RETAINING WALL
S5.0 1/8" = 1'-0"



4 EAST RETAINING WALL
S5.0 1/8" = 1'-0"

PROJECT DATA
KENNEDY PARK - PHASE I-BB
SOFTBALL FIELD
5815 ALTA VERDE STREET
WESTON, WISCONSIN

DRAWING SET DESCRIPTION:
BID SET

DATE: 03/26/2025

REVISIONS

PROJECT NO.

25-005

DESIGNED BY: SLL

DRAWN BY: SLL

SHEET TITLE

STRUCTURAL SECTIONS

SHEET

S5.0



**VILLAGE OF WESTON, WISCONSIN
AGENDA ITEM COVER SHEET / REQUEST FOR CONSIDERATION**

DESCRIPTION: March Staff-approved Certified Survey Maps and Site Plans.

FROM: Jennifer Higgins, Director of Planning & Development
Valerie Parker, Planning Technician

FOR REVIEW BY: Plan Commission, 04/14/2025

POLICY QUESTION: Should the PC acknowledge the staff approvals as submitted by the Department?

ISSUE-IN-BRIEF: March Staff-approved Certified Survey Maps and Site Plans.

FISCAL IMPACT: TBD.

GUIDANCE: Director of Planning & Development recommends the PC acknowledge the report and place on file.

PRIOR REVIEW: No previous public review.

REQUEST: Acknowledge and place on file.

Is there an additional briefer with this agenda item?

Are there additional documents which have been attached to this report?

List of CSM's and Site Plans Approved by Staff Since the last PC Meeting:

Certified Survey Maps –

Project #20250079 – Chris Reedy/Vreeland Surveying – Companion Survey at Anastasia Drive

Project #20250078 – Chris Reedy/Vreeland Surveying – 4-Lot Survey at Anastasia Drive

Site Plans –

Project #20250086 – RJB Hardwoods, 6703 Ryan Street – Addition of New Dust Collector

****To view any of the above-approved projects (CSM's & Site Plans), visit: <https://evolvepublic.infovisionsoftware.com/weston/>, under the PROJECT heading, select **PROJECT SEARCH**. You can then search any of the above projects by name, address, or date range. ****



VILLAGE OF WESTON, WISCONSIN
AGENDA ITEM COVER SHEET / REQUEST FOR CONSIDERATION

DESCRIPTION: Report re: March 2025 Building Permits

FROM: Roman Maguire, Building Inspector
Travis Meverden, Building Inspector

FOR REVIEW BY: Plan Commission, 4/14/2025
Board of Trustees, 4/21/2025

POLICY QUESTION: Should the PC & BOT acknowledge the March 2025 building permits issued as submitted by the Department?

ISSUE-IN-BRIEF: Monthly report from the Planning & Development Department – Building Inspections Division.

FISCAL IMPACT: \$13,248,236 in permit valuation
\$110,017 in permit fees
301 total permits issued (297 Village, 2 Town, 2 Rothschild)
(YTD as of 4/9/25)

Village of Weston (month of March 2025) – 134 permits issued
0- Town of Weston and 1- Rothschild
\$62,642 received in permit fees
\$7,408,036 in permit valuation

GUIDANCE: Inspectors recommend the PC & BOT acknowledge the report and place on file.

PRIOR REVIEW: No previous public review.

REQUEST: Acknowledge and place on file.

Is there an additional briefer with this agenda item?

Are there additional documents which have been attached to this report?

March 2025 Building Permits

Permit Total Report Code

Issued From 3/1/2025 and Issued To 3/31/2025

Type	Report Code	Jurisdiction	No of Permits	Total Valuation	Fees Paid
<i>Commercial Building</i>					
	202 - Commercial Addition/ Build Out/ Remodel	Village of Weston	5	\$1,364,065	\$500.00
<i>Deck</i>					
	103 - New/Alteration/Addition Residential Deck	Village of Weston	1	\$36,730	\$75.00
<i>Electrical</i>					
	702 - Residential Electrical	Village of Weston	4	\$13,985	\$270.00
<i>Electrical Comm</i>					
	700 - Commercial Electrical	Village of Weston	4	\$24,150	\$509.00
<i>Excavation</i>					
	300 - Excavation	Village of Weston	10		\$675.00
<i>Fence</i>					
	108 - New Fence or Alteration (Residential)	Village of Weston	3	\$17,000	\$120.00
<i>General</i>					
	115 - Early Start (Residential)	Village of Weston	7	\$1,110,000	\$540.00
	403 - Face Copy Replacement	Village of Weston	1	\$345	\$0.00
	759 - Zoning Verification	Village of Weston	1	\$0	\$100.00
<i>Home Improvement</i>					
	105 - Interior Remodel - 1&2 Family	Village of Weston	4	\$35,527	\$650.00
<i>HVAC</i>					
	600 - Commercial HVAC New Project	Village of Weston	1	\$7,400	\$100.00
	604 - Residential HVAC Install/Replacement	Village of Weston	4	\$30,350	\$200.00
<i>Lateral</i>					
	503 - Residential Lateral	Village of Weston	11		\$550.00
<i>Meter</i>					
	506 - Residential Water Meter	Village of Weston	4		\$5,300.00
	507 - Commercial Water Meter	Village of Weston	3		\$2,525.00
<i>Minor Home Improvement</i>					
	901 - Residential Exterior Remodel	Village of Weston	9	\$200,991	\$450.00
<i>Occupancy</i>					

Permit Total Report Code

Issued From 3/1/2025 and Issued To 3/31/2025

Type	Report Code	Jurisdiction	No of Permits	Total Valuation	Fees Paid
	750 - Non-Residential Zoning	Village of Weston	2		\$150.00
<i>Plumbing</i>					
	502 - Residential Plumbing	Village of Weston	1	\$16,192	\$50.00
<i>Roof</i>					
	205 - Commercial Roofing	Village of Weston	1	\$259,899	\$100.00
<i>Sign</i>					
	400 - Permanent Sign	Village of Weston	8	\$60,982	\$1,838.00
<i>Sign Panel</i>					
	405 - Development Sign Panel Replacement	Village of Weston	1		\$0.00
<i>Special Assessment</i>					
	910 - Special Assessment	Village of Weston	28		\$1,120.00
	911 - Special Assessment (Non-Resident)	Village of Weston	2		\$30.00
<i>Special Event</i>					
	302 - Special Event on Public Property	Village of Weston	1		\$0.00
<i>WUBPA</i>					
	100 - New Home Construction	Village of Weston	20	\$4,230,420	\$46,790.00
Total			136	\$7,408,036	\$62,642.00



Jennifer Higgins
Planning & Development Director

To: Plan Commission

Date: April 9, 2025

Re: Planning & Development Project Updates

1. **Assistant Zoning Administrator/Code Enforcement Officer Update** – We have offered the position to one of the applicants and are just working through details of the offer and a start date. We hope to have that finalized by later this week.
2. **Comprehensive Plan Update** – Staff met with MDROffers staff on 2/14/25 to kick off the project. We should have a rough draft of a public engagement survey later this spring and the first draft of the conditions issues by early summer. We need to take some updated pictures when the weather gets nice for the document.
3. **Evolve Software Upgrade** – Staff met with Evolve on 3/5/25. We have a test portal that they have designed with the new customer facing upgrades. They are currently working to create a separate planning module as we already had ones for code enforcement, licensing and permits. This will allow each to be customizable with buttons and information relevant to the module. Staff is currently going through the customer side of the portal to make changes. Key upgrades to the program we know of so far:
 - New landing pages for each module which will match our website for color and text style.
 - The ability for applicants to save an application to be completed later.
 - The ability to add help text to explain what customers are to include in the fillable boxes.
 - Customers will access their accounts via a PIN instead of password.
4. **Commercial Building Inspections** – The Department is still working towards being able to provide this new service. Maguire is in the process of becoming certified in commercial building inspections.



**Jennifer Higgins
Planning & Development Director**

5. **Request to vacate a portion of Everest Hilltop Addition Subdivision** – Staff has been approached by the landowners of the unbuilt portion of the Everest Hilltop Addition Subdivision along Alderson Street. The western portion of the subdivision is built out and located now in Rothschild. The eastern portion contains the un-built streets of North & South Horseshoe Drive and a number of single family lots. The Subdivision was recorded in 1961. Since the streets were never constructed and the lots are still all in original ownership of the Ryan family, they can petition Marathon County Circuit court to vacate the unbuilt portion of the plat. They have petitioned the Village to vacate the street. We do not have to go through the full blown street vacation process since the plat is over 40 years old. Instead the Village Board will be asked to approve a Resolution the landowners can provide with their plat vacation petition to the Circuit Court. Staff is unsure of why this portion of the plat was never built but suspect it is very wet with lots of wetlands which would deter development as a subdivision. A copy of the plat is attached for reference at the end of this report.

TIF 1

1. We are working with a potential business on a portion of the vacant lot south of Tommy Docks off of Progress Way/Weston Avenue. They will be asking for TIF funding in addition to the purchase of the lot so that will go to the Board in April or May. If funded the site plan will be coming through PC in the next few months.
2. **Fabick Cat, 9601 County Road J** – No new movement on this. Building addition site plan on hold awaiting NOI and stormwater information from applicant. Building 1 is an 18,443-sf expansion and will add additional maintenance/service bays and offices to their existing maintenance facility. Building 2 is a 4,050-sf addition creating a covered area adjacent to the existing paint booth.
3. **Project Timberwolf (Amazon), County Road J** – Final Occupancy Issued This project is ready for closure by Inspector Meverden as time allows in spring.
4. **Wiesman Storage Units, 4305 Progress Way** – Under Construction - Conditional Use Permit and Site Plan were approved in August. Building permits were issued in April 2024. CUP amendment was approved on the December 2024 PC Agenda. This spring they will finish up the project and we will be able to schedule a close-out inspection.



Jennifer Higgins
Planning & Development Director

5. **Weston Mini-Maxi Storage, 8211 Schofield Avenue** – Under Construction - CUP and site plan approved in August 2023. Amendment to CUP was approved in November 2023. Building Permit issued May 29, 2024. Stop Work Order issued on the project 11/22/24 due to permit and inspection issues. Electrician has taken out necessary permits and has been allowed to work at this time. The State Inspector was on site 12/5/24 with Building Inspection staff to do his inspection as the contractor never called for any. He signed off on the projects first 5 buildings. We are now waiting for a few items like construction site security and site lighting to be completed. On 1/27/25 I issued a CUP revocation letter for the project and a public hearing was held on this at the 2/10/25 PC meeting. Plan Commission deferred action until 3/10/25 to give the owner time to comply which they did. The stop workorder was lifted soon after and construction has recommenced.
6. **C-Tech, 8311 Technology Dr** – Under Construction - Building addition. Site Plan Approved in September. Early start footing and foundation permit issued 10/26/23. Building Permit issued.
7. **Wausau Supply, 8011 Technology Dr.** – Under Construction - Building addition. Site Plan Approved in September. Building permit issued 11/7/23.
8. **Norcon, Progress Way, Phase II - Office Building** – Under Construction.

TIF 2

1. **ABC Weston, 3200 & 3202 Schofield Avenue** – Final Occupancy Issued for Building 1 – Weston House Café & Adventure Awaits businesses opened in May 2024. No building permit has been received yet for Building 2. Board approved giving them 50% of the original \$115,470 for building #1 (or \$57,735). All new/updated plans for building 1 and 2 have been approved as of November 2024. Development Agreement has also been updated as of 11/24. Staff has received the state approval letter for building 2 as of 12/3/24 however no permits have been pulled to date.
2. **Lokre/Stehr Retail Multi-tenant Building 2302 Schofield Avenue**–Under Construction - The Board approved a TIF ask on 2/19/24 and the site plan on 5/20/24. The building permit has been issued and the project is under construction. 8/19/24 a change from a 3 tenant to a 4-tenant building was approved and the



Jennifer Higgins
Planning & Development Director

development agreement amended. The project received another amendment in September due to them changing the scope from a 4 tenant to a 5-tenant building. The additional door to the east façade required the PC to review and approve the plans again. The Board approved the site plan amendment and amended the development agreement in September. Amendment #4 was approved in November 2024. Building Inspection Staff issued occupancy on Suite 5 - Firehouse Subs for all trades in December 2024 and the restaurant is open. We have received zoning permits for Suite 3 Juvly Aesthetics (moving from the AbbyBank Building) and Suite 2 Mathnasium – customized math tutoring services. The Board authorized 75% of the TIF funds to be released in March for the project. The rest will be done after project completion later this spring.

3. **Wendy's, 5401 Business Hwy 51** – Opened for business 2/10/25 and has been very well received by the community. Project closeout will be done in the spring.

Outside TIF

1. **Greenheck Turner Community Center (GTCC)** – Community Grand opening was held on August 1st. The facility is now open. Project Closeout did not happen in the fall so it will be done Spring 2025.
2. **Badgerland Industries** – building addition approved 4/14/23. Building permit issued 5/22/23 Under construction. No final has been requested. Inspections followed up on this on 2/5/25 and met for an inspection. We are still waiting for some emergency egress information from the contractor before we can close out the project.
3. **Beyond the Office Door** – 7/25/23 building permit issued. Under construction. No final has been requested. Inspections need to follow up on this.
4. **TA Hoffman Warehouse Suites, 5804 Wayfair Ave** – Building permit issued. Under construction. No final has been scheduled. Inspections needs to follow up on this.
5. **Crystal Finishing Building Addition, 4704 Bayberry St** – 7/19/23 building permit issued. Small addition. Building Inspections need to follow up on its progress.



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Planning & Development Director

6. **BUG Properties** – CUP received, and site plan approved by PC. Development Agreement finally signed January 2nd. Building permit issued 2/13/24. Under Construction.
7. **Central WI Powersports** – Site plan review for a small (1089 sq ft) cold storage building at this business was approved in April. Erosion control plans were submitted and approved in July. Building permit issued in early September. Progress unknown. Inspections will need to follow up on this in the spring.
8. **Ryan Street Storage Units** – Developer has revised the site plan to include a smaller project. The CUP was amended in November 2024. Occupancy Certificates were issued for buildings E, F, G & H as of 4/3/25 and they have the ok to rent those out as the fence and gate have been fully installed.
9. **Koble Investments 8-unit Apartment on Foothill** – Under Construction - 8-unit apartment building. Site plan approved 11/7/24. Building Permit issued 11/19/24.
10. **Green Tree Acres Final Plat** – Subdivision Plat and Development Agreement recorded. Phase 1 roads are complete. They have started applying for home permits and staff is working through the reviews on them. Replat was approved in March 2025.
11. **Arrowhead Estates First Addition** – Subdivision Plat was approved and recorded in April 2024. Under construction. DA has been amended. Believe all lots are now sold. We received the first permit request in late January and the 2nd in February.

Town of Weston

1. **Update to Town Zoning Code** – At the 12/17/24 Town PC and Board meeting both the Commission and Town Board approved the zoning code update. It went to the County ERC for review on 2/4/25 and was approved. Ordinance was sent for publication but I need to get the updated document sent back to the Town yet.

EVEREST HILLTOP ADDITION TO THE TOWN OF WESTON

CERTIFICATE OF SURVEY

I HEREBY CERTIFY THAT I HAVE SURVEYED, MAPPED AND PLATTED BY ORDER OF JOHN RYAN AND HARVEY WOODWARD, A TRACT OF LAND CONSISTING OF THE NE 1/4 OF THE NE 1/4 OF SECTION 30 AND PART OF THE NW 1/4 OF THE NW 1/4 OF SECTION 29, ALL IN TOWNSHIP 28 NORTH, RANGE 8 EAST, TOWN OF WESTON, MARATHON COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NE CORNER OF SECTION 30 AND RUNNING THENCE S89°25'W, ALONG THE NORTH LINE OF SECTION 30, 1322.05'; THENCE S0°50'E, 127.10'; THENCE S88°34'E, 1303.90' TO THE NORTH AND SOUTH SECTION LINE BETWEEN SECTION 29 AND 30; THENCE N0°00' ALONG SAID SECTION LINE, 329.30'; THENCE S88°29'E, 1365.25'; THENCE N0°16'W, 633.65'; THENCE N88°09'W, 1362.80' TO NORTH & SOUTH SECTION LINE, 346.50' TO THE PLACE OF BEGINNING, AND THAT THIS MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF SAID LAND AND THE SUBDIVISION THEREOF AND THAT I HAVE COMPLIED WITH THE PROVISIONS OF CHAPTER 236 WISCONSIN STATUTES.

Melvin E. Hoffer
SEAL

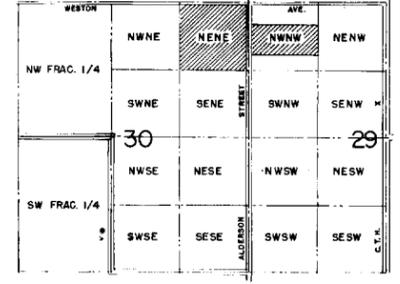
CERTIFICATE OF DEDICATION

AS OWNERS WE HEREBY CERTIFY THAT WE CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE SURVEYED, MAPPED, DIVIDED AND DEDICATED AS REPRESENTED ON THIS PLAT. WE ALSO CERTIFY THAT THIS PLAT IS REQUIRED BY 5.236.10 OR 5.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION: WESTON TOWN BOARD - DIRECTOR, PLANNING DIVISION, DEPARTMENT OF RESOURCE DEVELOPMENT - STATE BOARD OF HEALTH - VILLAGE BOARD, VILLAGE OF ROTHSCHILD.

WITNESS:
John Ryan
Florence Ryan
Harvey Woodward
Evelyn Woodward

STATE OF WISCONSIN SS
COUNTY OF MARATHON
PERSONALLY CAME BEFORE ME THIS 19th DAY OF April 1961, THE ABOVE NAMED JOHN RYAN AND FLORENCE RYAN HIS WIFE AND HARVEY WOODWARD AND EVELYN WOODWARD HIS WIFE, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED SAME.
Melvin E. Hoffer
NOTARY PUBLIC, MARATHON COUNTY, WISCONSIN
MY COMMISSION EXPIRES July 5, 1961

CONSISTING OF THE NE 1/4 OF THE NE 1/4 OF SECTION 30 AND PART OF THE NW 1/4 OF THE NW 1/4 OF SECTION 29, ALL IN TOWNSHIP 28 NORTH, RANGE 8 EAST, TOWN OF WESTON, MARATHON COUNTY, WISCONSIN.



CERTIFICATE OF TOWN TREASURER

STATE OF WISCONSIN SS
COUNTY OF MARATHON
I, LENA FULLER, TREASURER OF THE TOWN OF WESTON, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNPAID TAXES OR SPECIAL ASSESSMENTS AS OF THIS 19th DAY OF April 1961 AFFECTING THE LANDS INCLUDED IN THIS PLAT.

Lena Fuller
TOWN TREASURER

CERTIFICATE OF COUNTY TREASURER

STATE OF WISCONSIN SS
COUNTY OF MARATHON
I, DAMON REYNOLDS, MARATHON COUNTY TREASURER, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNREDEEMED TAX SALES OR SPECIAL ASSESSMENTS AS OF THIS 19th DAY OF April 1961 AFFECTING THE LANDS INCLUDED IN THIS PLAT.

D.R. Reynolds
COUNTY TREASURER

RESOLUTION

RESOLVED BY THE TOWN BOARD OF THE TOWN OF WESTON THAT THE PLAT ENTITLED EVEREST HILLTOP ADDITION BE AND THE SAME IS HEREBY APPROVED.
I, BESSIE GORDON, TOWN CLERK, DO HEREBY CERTIFY THAT THE ABOVE RESOLUTION WAS PASSED BY THE TOWN BOARD AT ITS REGULAR MEETING HELD ON THE 19th DAY OF April 1961.

Bessie Gordon
TOWN CLERK

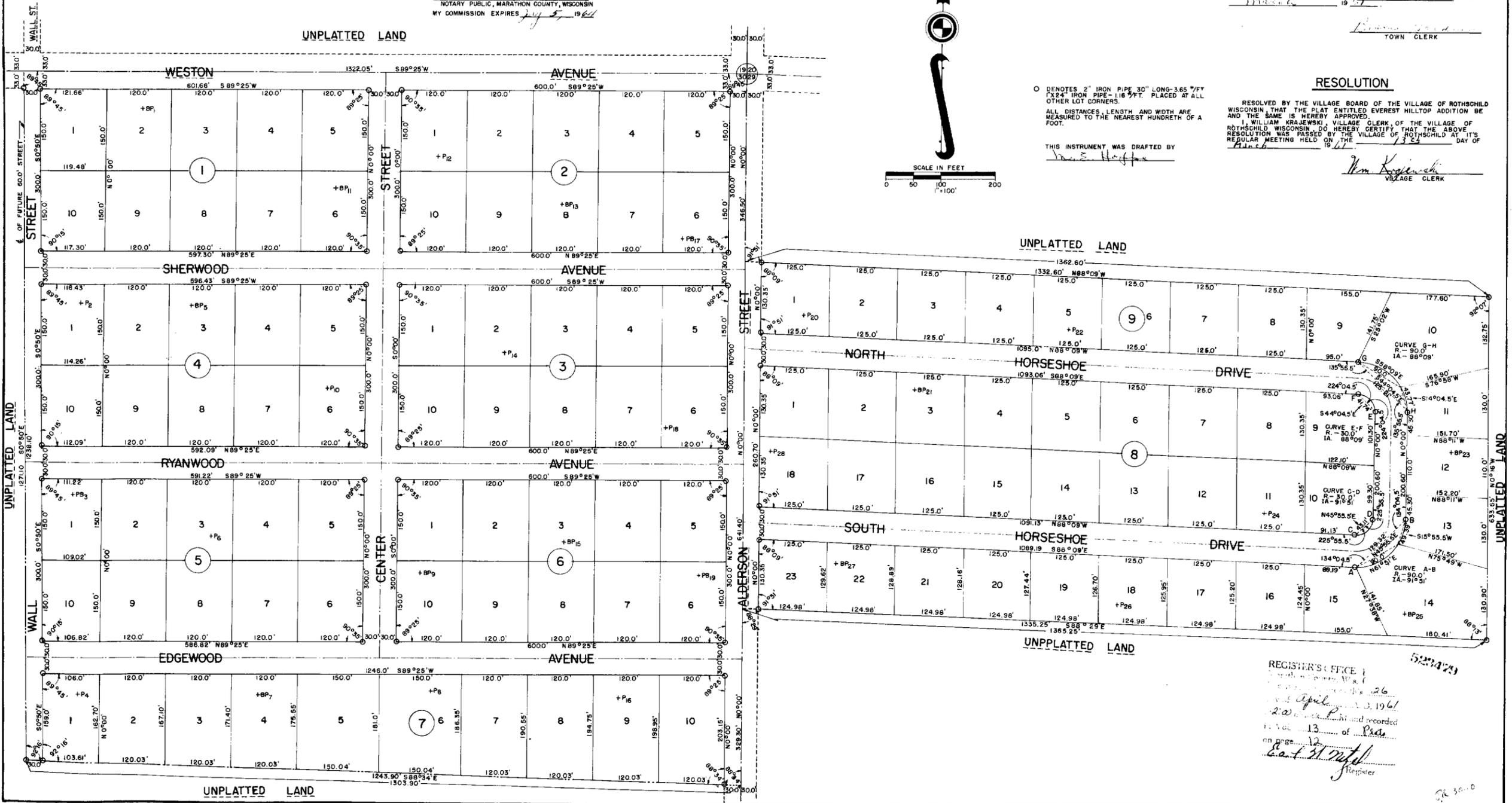
RESOLUTION

RESOLVED BY THE VILLAGE BOARD OF THE VILLAGE OF ROTHSCHILD WISCONSIN THAT THE PLAT ENTITLED EVEREST HILLTOP ADDITION BE AND THE SAME IS HEREBY APPROVED.
I, WILLIAM KRAJEWSKI, VILLAGE CLERK OF THE VILLAGE OF ROTHSCHILD WISCONSIN, DO HEREBY CERTIFY THAT THE ABOVE RESOLUTION WAS PASSED BY THE VILLAGE OF ROTHSCHILD AT ITS REGULAR MEETING HELD ON THE 19th DAY OF April 1961.

William Krajewski
VILLAGE CLERK

○ DENOTES 2" IRON PIPE 30" LONG - 3.65" FT.
⊙ DENOTES 1.25" IRON PIPE - 1.18" FT. PLACED AT ALL OTHER LOT CORNERS.
ALL DISTANCES, LENGTH AND WIDTH ARE MEASURED TO THE NEAREST HUNDRETH OF A FOOT.

THIS INSTRUMENT WAS DRAFTED BY
Melvin E. Hoffer



REGISTER'S OFFICE
Marathon County, Wis.
Filed for Record April 26, 1961
200
Recorded
on page 13 of Bed.
Melvin E. Hoffer
Register