



**Village of Weston, Wisconsin**

**Meeting of the PLAN COMMISSION**

**During the 29th legislative session of the elected**

**Board of Trustees (2025 – 2026)**

**Monday, June 9, 2025, at 6:00 P.M.**

**Packet Prepared By:**

**Jennifer Higgins, Director of Planning & Development**



## Village of Weston, Wisconsin MEETING NOTICE

- Meeting of: **PLAN COMMISSION**
- Commissioners: **Cronin {c}, Zeyghami {vc}, Diesen, Guerndt, Hoffman, Jordan, Mumper**
- Staff: **Jennifer Higgins, Director of Planning & Development**
- Date/Time: **Monday, June 9, 2025, 6:00 p.m.**
- Location: **Weston Municipal Center (4747 Camp Phillips Road) – Board Room**
- Agenda: **The agenda packet will be sent out at least 3 days prior to the meeting.**
- Attendance: **All Village officials are encouraged to attend. Commissioners, Committee members, Department Directors, and guests, please indicate if you will, or will not, be attending so we may determine in advance if there will be a quorum by sending an RSVP to the assigned Administrative Support person:**
- RSVP: **Valerie Parker, Plan Commission Secretary**  
**(715) 241-2613**  
[vparker@westonwi.gov](mailto:vparker@westonwi.gov)
- Questions: **Jennifer Higgins, Director of Planning & Development**  
**(715) 241-2638**  
[jhiggins@westonwi.gov](mailto:jhiggins@westonwi.gov)

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**This notice was posted at the Municipal Center, 4747 Camp Phillips Road, Weston and was e-mailed to local media outlets (Print, TV, and Radio) on 06/02/2025.**

A quorum of members from other Village governmental bodies (boards, commissions, and committees) may attend the above-noticed meeting in order to gather information. No actions will be taken by any other board, commission, or committee of the Village, aside from the Village Plan Commission. Should a quorum of other government bodies be present, this would constitute a meeting pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis.2d 553,494 N.W.2d 408 (1993).

Wisconsin State Statutes require all agendas for Committee, Commission, or Board meetings be posted in final form, 24 hours prior to the meeting. Any posted agenda is subject to change up to 24 hours prior to the date and time of the meeting. All final agendas will be posted on the Village's website at [www.westonwi.gov](http://www.westonwi.gov) and a hard copy posted at the Village Municipal Center.

Any person who has a qualifying disability, as defined by the Americans with Disabilities Act, that requires the meeting or the materials to be in an accessible location or format, must contact the Weston Clerk's Department, by 12 noon, the Friday prior to the meeting, so any necessary arrangements can be made to accommodate each request.



**VILLAGE OF WESTON, MARATHON COUNTY, WISCONSIN**  
**REGULAR MEETING AGENDA OF THE PLAN COMMISSION**  
Weston Municipal Center - Board Room  
4747 Camp Phillips Road, Weston, WI 54476

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**Monday, June 9, 2025, at 6:00 p.m.**

Some or all of the members of the Plan Commission, applicants, or members of the public, may participate in the meeting remotely by teleconference or videoconference via the Zoom links listed below.

**Join Zoom Meeting by Computer:**

<https://zoom.us/j/5445915099>

**Join Zoom Meeting by Phone:**

+1 312 626 6799 US (Chicago)

**Meeting ID: 544 591 5099**

*If the public wishes to speak under public comment or any hearings listed on the agenda, please fill out a [Public Comment form](#) (external web link) and register it with the Clerk prior to the start of the meeting, or please log in using the Zoom meeting information listed above and raise your hand to be recognized to speak.*

1. Call to Order – Roll Call & Declaration of Quorum.
  - Plan Commission – Cronin {C}, Zeyghami {VC}, Diesen, Guerndt, Hoffman, Jordan, Mumper.
2. Open public comment period for items that do not appear on this agenda noted as public hearings.
3. Written Communications, Disclosures and Recusals. Members of the body should make any required disclosures or recusals during this time.
4. [Minutes from May 12, 2025, Meeting.](#)
5. [Public Hearing – Project #20250213 - Conditional Use Permit Request at 8418 Maplefield Way, to allow for the construction of a single-family home, within the SF-S \(Single-Family Residential – Small Lot\) Zoning District, where the width of the attached garages with front yard facing garage doors equal 65.7%. Per Section 94.4.02\(1\)\(h\) the maximum allowed is up to 60%. \(Timber Ridge Builders\)](#)
  - a. Open Public Hearing.
  - b. Presentation by Applicant and/or Staff.
  - c. Take Public Comment
  - d. Close Public Hearing.
  - e. Recommendation from Staff
  - f. Discussion & Action by the Plan Commission.
6. [Project #20250223 – Site Plan Approval of a proposed Detached Accessory Structure \(for Residential Use\) that occupies land between the principal building on a residential lot and a street right of way at 8004 Lindenwood Ct per Sec. 94.4.09\(2\)\(j\). \(Matthews\)](#)



## VILLAGE OF WESTON, MARATHON COUNTY, WISCONSIN OFFICIAL MEETING AGENDA OF THE PLAN COMMISSION

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7. Annual New Housing Fee Report (2025).
8. Annual Housing Affordability Report (2019-2025).
9. May 2025 Staff-Approved Certified Survey Maps and Site Plans.
10. May 2025 Building Permits.
11. Planning & Development Department Project Update Report.
12. Announcements & Commissioner Remarks
13. Next Regular Meeting Date - Monday, July 14, 2025, at 6 pm
14. Future Agenda Items or Staff Referrals
15. Adjourn Plan Commission

A quorum of members from other Village governmental bodies (boards, commissions, and committees) may/might attend the above-noticed meeting to gather information. Should a quorum of other government bodies be present, this would constitute a meeting pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis.2d 553,494 N.W.2d 408 (1993). No official actions other than those of the Plan Commission and Joint Village & Town of Weston Extraterritorial Zoning Committee shall take place.

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 (ADA), the Village will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs or activities. If you need assistance or reasonable accommodations in participating in this meeting or event due to a disability as defined under the ADA, please call the Village Clerk at 715-359-6114 or [clerks@westonwi.gov](mailto:clerks@westonwi.gov) to discuss your accessibility needs. We ask your request be provided a minimum of 72 hours before the scheduled event or meeting. If a request is made less than 72 hours before the event the Village will make a good faith effort to accommodate your request.

This Agenda was posted at the Village Municipal Center, on [www.westonwi.gov](http://www.westonwi.gov) and transmitted to media partners on 6/4/2025. Questions can be directed to the Planning & Development Department at (715) 241-2613 or [plandev@westonwi.gov](mailto:plandev@westonwi.gov).

**Village of Weston, Wisconsin**  
**OFFICIAL PROCEEDINGS OF THE VILLAGE PLAN COMMISSION AND JOINT VILLAGE & TOWN OF WESTON**  
**EXTRATERRITORIAL ZONING COMMITTEE MEETING**

held on Monday, May 12, 2025, at 6:00 p.m., in the Board Room, at 4747 Camp Phillips Road

**AGENDA ITEMS.**

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**1. Meeting called to order by Plan Commission Chair and Village Trustee Steve Cronin at approximately 6:06 p.m.**

**Roll Call of Village Plan Commission (PC) by Secretary Parker.**

Roll call indicated 6 PC members present.

<u>Member</u>	<u>Present</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	EXCUSED
Diesen, Dave	ABSENT
Guerndt, Gary	YES
Hoffman, Travis	YES – VIA ZOOM
Jordan, Joe	YES
Mumper, Roy	YES

**Roll Call of Joint Village & Town of Weston Extraterritorial Zoning Committee (ETZ) by Secretary Parker.**

Roll call indicated 5 ETZ members present.

<u>Member</u>	<u>Present</u>
Cronin, Steve	YES
Phelps, Dave	YES
Christiansen, Randy	YES
Guerndt, Gary	YES
Hull, Mark	EXCUSED
Mumper, Roy	YES

Village Staff in attendance, in-person: Gebert, Higgins, Wodalski, Maguire, and Parker

Village Staff in attendance, via Zoom: None

Other Village Representatives in attendance, in-person: None

Other Village Representatives in attendance, via Zoom: Trustee Mark Maloney

Audience Members in attendance, in-person: There were 16 audience members present, in-person.

Audience Members in attendance, via Zoom: There was 1 audience member present, via Zoom.

**2. Discussion and Action on selecting an ETZ Chair and Vice-Chair. (ETZ) [0:00:59 Zoom Recording]**

Higgins introduced Dave Phelps, who is the new Town of Weston Chairman, and now also on the ETZ Committee.

Phelps stated that he is in favor of being in the vice-chair role, as he is new to this, and would like to see how it is done.

***Motion by Guerndt, second by Mumper: to select Cronin as Chair for ETZ.***

Yes Vote: 5      No Votes: 0      Abstain: 0      Not Voting: 1      Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES

Phelps, Dave {Vice Chair}	YES
Christiansen, Randy	YES
Guerndt, Gary	YES
Hull, Mark	-----
Mumper, Roy	YES

**Motion by Mumper, second by Guerndt: to select Phelps as Vice Chair.**

Yes Vote: 5      No Votes: 0      Abstain: 0      Not Voting: 1      Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Phelps, Dave {Vice Chair}	YES
Christiansen, Randy	YES
Guerndt, Gary	YES
Hull, Mark	----
Mumper, Roy	YES

**3. Open Public Comment Period for items that do not appear on this agenda noted as public hearings. [0:03:51 Zoom Recording]**

None.

**4. Written Communications, Disclosures, and Recusals. [0:04:45 Zoom Meeting Recording]**

Guerndt stated that he will need to recuse himself during Agenda Item #11.

**5. Minutes from April 14, 2025, Plan Commission Meeting. [0:05:08 Zoom Recording]**

**Motion by Jordan, second by Mumper: to approve the April 14, 2025, PC meeting minutes.**

Yes Vote: 6      No Votes: 0      Abstain: 0      Not Voting: 1      Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	----
Diesen, Dave	YES
Guerndt, Gary	YES
Hoffman, Travis	YES
Jordan, Joe	YES
Mumper, Roy	YES

**6. Minutes from February 10, 2025, ETZ Committee Meeting (ETZ) [0:05:25 Zoom Recording]**

**Motion by Christiansen, second by Guerndt: to approve the February 10, 2025, ETZ meeting minutes.**

Yes Vote: 5      No Votes: 0      Abstain: 0      Not Voting: 1      Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Phelps, Dave {Vice Chair}	YES

Christiansen, Randy	YES
Guerndt, Gary	YES
Hull, Mark	-----
Mumper, Roy	YES

**7. Public Hearing – Project #20250154 – Rezone a 27.8220-Acre property located directly east of 163905 River Road, from AR (Agriculture and Residential) to RR-2 (Rural Residential – 2-Acre) – PIN 082-2808-134-0971 (Higginbotham/Flood) (ETZ) [0:05:47 Zoom Meeting Recording]**

**a. Open Public Hearing**

Cronin opened the public hearing at 6:06 p.m.

**b. Presentation by Applicant and/or Staff**

Dan Higginbotham, Plover River Land Company, 2625 Northwestern Avenue, Wausau, was present, representing the property owners, Alan and Rachel Flood. He explained they would like to build a house on the west end of the above-described parcel, but would like, in the future, to divide the overall parcel so that the land they are building on is a smaller parcel on its own. Because of the wetlands and drainage swales, they want to create a less than a 5-acre lot for their future home. However, looking forward into the future, wanted to put together a plan for future development of the rest of the land, into potential future residential lots, which most would be just under 5-acre parcels, which is why they want to rezone the entire parcel now to RR-2.

Higgins explained that this is consistent with the Comprehensive Plan. She stated that staff was previously thinking that sewer and water would be extended to this area, but that is not going to happen now anytime soon.

**c. Take Public Comment**

None.

**d. Close Public Hearing**

Cronin closed the public hearing at 6:16 p.m.

**e. Recommendation from Staff**

Higgins stated that staff recommends approval.

**f. Discussion & Recommendation to the Board of Trustees by the ETZ**

Christiansen confirmed this request tonight is just to rezone from AR to RR-2, not to divide the lots.

The ETZ went through the Rezone Determination and answered the questions as follows:

#1 Yes

#2 Yes

#3 Factors #2 & #3 pertain in this request

#4 Yes

***Motion by Christiansen, second by Mumper: to recommend approval of the rezone request and forward to the recommendation on to the Village Board 05/09/25 meeting agenda***

Yes Vote: 5      No Votes: 0      Abstain: 0      Not Voting: 1      Result: PASS

Member (PC)  
Cronin, Steve {Chair}

Voting  
YES

Phelps, Dave {Vice Chair}	YES
Christiansen, Randy	YES
Guerndt, Gary	YES
Hull, Mark	-----
Mumper, Roy	YES

**8. Public Hearing – Project #20250171 – Conditional Use Permit Request at 163725 Kersten Road, to allow for the construction of a 1,500 square foot accessory building, that is 17 feet tall, for personal use, within the SF-L (Single-Family Residential – Large Lot) Zoning District, where the maximum allowed accessory building size within SF-L District is 1,000 square feet and the height 15 feet. [0:12:44 Zoom Meeting Recording]**

**a. Open Public Hearing**

Cronin opened the hearing at 6:20 p.m.

**b. Presentation by Applicant and/or Staff**

Brian Kuehl, 163725 Kersten Road, was present, and described the structure he would like to build, stating how it will match his home, and how it will be used to store his implements and other personal things he would like to store.

Maguire stated everything Kuehl has submitted meets requirements. The only reason this is coming through CUP, is because it is above the threshold for staff approval, on square footage and height, within his zoning district. Maguire stated that Kuehl will need an additional driveway access to this structure, and that Kuehl has already applied for that.

**c. Take Public Comment**

None.

**d. Close Public Hearing**

Cronin closed the public hearing at 6:22 p.m.

**e. Recommendation by Staff**

Higgins stated staff recommends approval, though there are eight conditions, which are the standard conditions we typically apply to garage CUPs.

Mumper questioned if this request to exceed the allowable size is due to equipment being larger these days, and if we need to consider amending the code to allow for a larger structure. Higgins stated staff met with MD Roffers recently to discuss zoning code amendments and this is one of those, as we are seeing an uptick in residents requesting larger garages. Maguire stated that we will have another similar request coming next month.

**f. Discussion and Action by ETZ Committee**

The ETZ went through the Conditional Permit Determination and answered the questions as follows:

- #1 Yes
- #2 Yes
- #3 Yes
- #4 Yes
- #5 Yes

***Motion by Guerndt, second by Phelps: to recommend approval of the Conditional Use Permit Request #20250171.***

Yes Vote: 5      No Votes: 0      Abstain: 0      Not Voting: 1      Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Phelps, Dave {Vice Chair}	YES
Christiansen, Randy	YES
Guerndt, Gary	YES
Hull, Mark	-----
Mumper, Roy	YES

**9. Announcements & Committee Remarks (ETZ) [0:20:18 Zoom Meeting Recording]**  
None.

**10. ADJOURN ETZ COMMITTEE**

***Motion by Guerndt, second by Mumper: to Adjourn ETZ at 6:27 p.m.***

Guerndt requested we move down to Agenda Item #12.

*At 6:31 p.m., the Commission moved back to item Agenda Item #11. Commissioner Guerndt requested to recuse himself for this public hearing, due to conflict of interest, and stepped down into the audience.*

**11. Public Hearing – Project #20250142 – Conditional Use Permit Request at 7795 Weston Avenue, to allow for a Non-Metallic Mineral Extraction land use to occur on property zoned AR (Agriculture and Residential). (Seubert/Guerndt/Vreeland) [0:27:41 Zoom Meeting Recording]**

**a. Open Public Hearing**

Cronin opened the public hearing at 6:35 p.m.

**b. Presentation by Applicant and/or Staff**

Teal Fyksen, of Marathon County Conservation, Planning & Zoning Department, was present. He stated that his part in this public hearing process is specifically related to the reclamation, that reclamation is covered under County jurisdiction, where anything operational is covered under Village jurisdiction.

Higgins explained the layout of her report and is looking for PC input and recommendations on a few of the performance standards/conditions of the CUP.

Present to speak on behalf of this project were:

Gary Guerndt, 7306 Zinser Street, Weston  
Kurt Seubert, 148525 Smore Lane, Mosinee  
Dustin Vreeland, 6103 Dawn Street, Weston

Guerndt stated they are proposing to dig a 15-acre pond in back (south) section of the property, in the upland area of the agricultural field, along creek line. He stated the property is very flat, and the farm field has many issues with saturation from stormwater, and so has the golf course across the road from here. He stated his goal is to do the pond and help with groundwater issues on the neighboring properties by retaining some of the water in their pond. He stated they worked with Wodalski on some of the south side of Weston Avenue water issues with flooding. He stated how Wodalski is working on some culvert sizing as well, off of Shorey Avenue, and then will work with the DNR on some cutting down along the creek line. He stated their other goal is to raise the rest of the property upward so that it can be

farmed, and in 30+ years or so can be developed. He stated they hired Vreeland & Associates to do the mapping and plans.

Vreeland stated he is here to answer any questions regarding the plans, permitting, DNR, etc.

Seubert pointed out, what is being discussed tonight, pertains only to the 3 phases shown on the map, on the south property. He stated the north property is going to be a fill site for Integrity Grading, who is doing the Weston Avenue project, which started this week.

**c. Take Public Comment**

Brian Zinser, of 8502 Heeren Street, was present with concerns, stated he owns the 40-acre farm field directly south of this. He stated his property is already very wet, and how he has always had problems with it. He stated an engineer from Weston recently came and talked to him about the brushing they are thinking of doing along the creek. His concern is if Guerndt is going to be digging a pond, there will be a lot of water involved with that (as far as dewatering), which he feels will drain down to his property, cause further issues. He stated he wants to build a home on this site at some time.

Mark Neitzke, of 7403 Weston Avenue, resides to the west of this site, and his family owns property along the west side of this site. Neitzke stated his initial questions are if they will be dewatering and how long is permit good for. Cronin stated he believes this is for 3 phases over 30 years. He also questioned if this property is sandy or rock, and if it is rock, if they will be crushing rock on site. Higgins stated they will be doing some crushing, but no blasting. Higgins stated they will need to stay within this plan. She stated the Village will be storing some materials from the Weston Avenue project on the north side. Neitzke reiterated that his main concern is the dewatering of the pond. He too does not need any more water.

There was an audience member on Zoom, identified as "User", who had originally wanted to speak but at the time of the hearing did not come off mute to make any comments.

**d. Close Public Hearing**

Cronin closed the public hearing at 6:49 p.m.

**e. Recommendation from Staff**

Higgins pointed out the Performance Standards within the Conditional Permit Determination that is in the packet, and the text that is highlighted in red.

Higgins clarified to everyone that a pond is a permitted use in this zoning district. What kicks it into non-metallic mining, and the County's reclamation permit, is that they are going to be taking the material off-site and doing some crushing (active mining). She said if they were just digging a pond and were not going to take anything off-site, it could have been done as a permitted use, through a basic pond permit that we have.

She then went through the Determination with PC, gathering their input on staff's determination and questions.

Guerndt explained, as far as paving the drive access to this site, that they are wanting to wait until next spring, as the trucks hauling fill in from the Weston Avenue project are coming in frequently, and would damage it right away.

**f. Discussion & Recommendation to the Board of Trustees by the Plan Commission.**

Mumper questioned how do we make sure that we are not making an improvement to one property, to the detriment of surrounding property, or how do we make sure the other properties will be affected by water.

Guerndt explained how Village Public Works staff has been out shooting some elevations there, and how we have been having issues with stormwater drainage at the golf course with the stormwater ponds. He stated the surface water and the inability for the surface water to drain away, and that some of it can be ground water. He stated the groundwater on his property is somewhere from 4' to 6' below the surface by the area of where they will be digging the pond. They are looking to add capacity to that. He explained what happened on Weston Avenue, where the Village created new detention basins for the stormwater to go to. However, those are a couple feet higher than the golf course, so when they filled up, the water ran across the golf course. He stated this new pond they are digging should not affect the neighboring properties as they are filling their site to raise it up, and feels it should not cause detriment.

Wodalski stated he thinks tonight the biggest question is when you are dewatering, where are you pumping the water to, as you get the pond dug down. Guerndt pointed out that Wodalski is looking to expand culverts in that area, which should help. Guerndt also stated they will not be dewatering the pond during the spring season to flood someone's property. He explained the goal with pond is that the surface water from the golf course and other nearby areas will run into the pond, which will have the capacity to hold it. Wodalski stated Isaac Dolan, Villag Engineer, has reached out to the property owners in this area to walk their properties to better understand where the limitations are and what is causing some of this to back up, which has been a combination of beaver dams, undersized culverts, and lack of an actual drainage way.

Zinser stated he has noticed most of the water issues in the area are coming from the north and how it backs up on the golf course to the south. Wodalski stated the water wants to go southwest.

Guerndt stated if enough neighbors met with staff and WI DNR, the WI DNR may allow some elimination of creek. Wodalski stated that Dolan has been in conversations with the WI DNR, and how there are ways to work through this with the DNR, but an issue is that the area is pretty flat.

Wodalski stated if this project is done correctly, all can see a positive effect.

Mumper commented on hours of operation and the concerns of crushing. Guerndt stated they will be doing some crushing only on material they want to move out. He stated they have material by their shop that they want to spread out here. He stated they will have some concrete and asphalt material to bring in to crush once or twice per year. He said no different than the hours that the Village crushes out on Ryan Street. He stated it most likely would be Monday – Friday crushing. Mumper questioned if this could be consistent with past Conditional Use Permits. Higgins read Mitch King's hours, which are between 7am and 5pm. Guerndt stated they could do similar hours. Mumper would prefer this be consistent, as far as crushing hours.

Mumper confirmed the fuel tank will not permanent. Guerndt confirmed it is just a portable tank on a truck.

Higgins stated we were not concerned about fencing around the property, just primarily at the road for security.

Cronin questioned the \$1 million policy per occurrence, if it is just on this site or such as water run off, due to the dewatering, if insurance covers that. Guerndt stated they have a \$15 million umbrella too.

Jordan commented with this project, while digging, it will make the situation better, until a rain event. He stated the noise issue concern, he does not feel it is an issue, as it won't be consistent. He stated with access, a gate at the road should stop people from coming in, as long as the gate is set far enough in for trucks to stop to access it.

Cronin confirmed with Wodalski that he will be working with the WI DNR to get the drainage way opened up.

Mumper stated he is feeling better that the neighbors won't be flooded out.

Zinser would like to hear what Wodalski finds out from the WI DNR.

Neitzke stated he is okay if this project helps, he just does not want any more water.

Dan Weilep, 6304 Weston Avenue, and owner of the golf course, stated he is in favor of this project.

Mumper brought up MSHA (Mine Safety and Health Administration), and if this puts him into an MSHA. Guerndt stated it does once they start crushing.

Hoffman stated he has worked with them in past projects. He had a situation with catastrophic rainfall, where the silt fence broke. He stated we need to trust that these professionals will do the right thing, and he feels positive about the outcome for everyone out there.

Higgins stated how some of the performance standards do not come over into the CUP, as they are covered under the civil plans and stormwater pollution prevention plan that will be attached to the CUP.

The Plan Commission then went through the Performance Standards within the Conditional Use Determination and answered the questions as follows:

#1 Higgins stated is tied to Exhibit A, the Storm Water Pollution Prevention Plan and Civil Plan.

#2 Higgins stated they need to follow the required Federal, State, County, and Village permits, and to provide copies of the permits to the Village.

#3 Higgins stated, based on discussion, they need to follow Mitch Kings hours, as far as the crushing (7am – 5pm, Mon-Fri). Other hours of operation would stay the same.

#4 - #9, Cronin stated they agree with Higgin's language.

#10 Cronin stated to add that they will not have permanent on-site bulk storage, that it will be portable. Okay as written.

#11 is okay.

#12 Higgins stated this should be reworked to include only the gate at the front entrance.

#13 - #17 are okay.

#18 Higgins asked if we need to place an expiration date on this. Cronin stated we can put a 30-year expiration date. Fyksen stated that the County reclamation runs with the mine site. The County has not expiration date.

Higgins stated she can put this all together, and then Cronin can sign the document on Monday, to be recorded. She will bring back a signed copy to PC, next month, as an FYI.

Guerndt pointed out, that people may be seeing trucks going in the site now, and wanted everyone to know it is not their starting their project. He stated this is Integrity hauling in material from the Weston Avenue project.

The Plan Commission went through the Final Determination and answered as:

- #1 Yes
- #2 Yes
- #3 Yes
- #4 Yes
- #5 Yes
- #6 Yes
- #7 Yes

***Motion by Jordan, second by Mumper: to recommend approval of Conditional Use Permit #20250142, as outlined and with staff amending #3, modifying #12 (allowing just the access gate), modifying hours of operation for crushing, and that onsite fuel storage will be temporary portable equipment, and the permit expires in 30 years.***

Yes Vote: 4      No Votes: 0      Abstain: 1      Not Voting: 2      Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	-----
Diesen, Dave	-----
Guerndt, Gary	ABSTAIN
Hoffman, Travis	YES
Jordan, Joe	YES
Mumper, Roy	YES

**12. Public Hearing – Conditional Use Permit Request at 5600 & 5602 Municipal Street, to allow for an indoor sales & Service and Outdoor Display land uses on property zoned LI (Limited Industrial) and WHP-A (Wellhead Protection – Zone A) Overlay District (Penrose). [0:21:36 Zoom Meeting Recording]**

**a. Open Public Hearing**

Cronin opened the public hearing at 6:28 p.m.

**b. Presentation by Applicant and/or Staff**

Higgins stated Jesse Penrose is currently operating his trailer sales business at 2915 Schofield Avenue. He recently purchased this property, and is working towards moving his business to former Norcon property. His business use requires CUP in the LI District. She stated his request meets all performance standards for both uses.

She explained that there are two existing buildings and the property is fenced in. He will be operating out of 5602, and will eventually lease out 5600. When that occurs, the interested tenant will need to work with the Village on the zoning permit. She pointed out the conditions on this approval.

**c. Public Comment Period**

No comments.

**d. Close Public Hearing**

Cronin closed the public hearing at 6:32 p.m.

**e. Recommendation from Staff**

Higgins recommends approval with the noted conditions.

**f. Discussion & Recommendation to the Board of Trustees by the Plan Commission.**

The Plan Commission then went through the Conditional Use Determination and answered the questions as follows:

- #1 Yes
- #2 Yes
- #3 Yes
- #4 Yes
- #5 Yes
- #6 Yes

**Motion by Mumper, second by Guerndt: to recommend approval Conditional Use Permit #20250152.**

Yes Vote: 5      No Votes: 0      Abstain: 0      Not Voting: 2      Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	----
Diesen, Dave	----
Guerndt, Gary	YES
Hoffman, Travis	YES
Jordan, Joe	YES
Mumper, Roy	YES

At 6:31 p.m., the Commission moved back up to item Agenda Item #11.

**13. April 2025 Staff-Approved Certified Survey Maps and Site Plans. [1:33:20 Zoom Meeting Recording]**

At 7:40 p.m. Guerndt returned back on the Plan Commission.

**Motion by Mumper, second by Jordan: to acknowledge the April 2025 Staff-Approved Certified Survey Maps and Site Plans.**

Yes Vote: 5      No Votes: 0      Abstain: 0      Not Voting: 2      Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	----
Diesen, Dave	----
Guerndt, Gary	YES
Hoffman, Travis	YES
Jordan, Joe	YES
Mumper, Roy	YES

**14. April 2025 Building Permits [1:33:54 Zoom Meeting Recording]**

**Motion by Jordan, second by Mumper: to acknowledge April 2025 Building Permits.**

Yes Vote: 5      No Votes: 0      Abstain: 0      Not Voting: 2      Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	----
Diesen, Dave	----
Guerndt, Gary	YES
Hoffman, Travis	YES
Jordan, Joe	YES
Mumper, Roy	YES

**15. Planning & Development Department Project Update Report. [1:34:26 Zoom Recording]**

Higgins pointed out her report. She stated she is working with the NCWRPC to make it easier on staff to meet the requirements on housing affordability/availability we have to report on our website each year. She will bring in a document to share with PC next month. She explained what this entails and gave a preview of the program. Guerndt stated there previously was a push for workforce development housing. Guerndt feels we need to get this in front of some of the developers. He feels it would be good to see if we can get some funding.

Cronin questioned what is going on next to Aspirus. Higgins stated they are doing a parking lot expansion.

***Motion by Mumper, second by Jordan: to acknowledge the Planning & Development Project Update Report.***

Yes Vote: 5      No Votes: 0      Abstain: 0      Not Voting: 2      Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	----
Diesen, Dave	----
Guerndt, Gary	YES
Hoffman, Travis	YES
Jordan, Joe	YES
Mumper, Roy	YES

**16. Announcements & Committee/Commissioner Remarks/Staff Referrals [1:44:30 Zoom Recording]**  
None.

**17. Next Regular Meeting Date – Monday, June 9, 2025, at 6pm.**

**18. Future Agenda Items or Staff Referrals [1:45:00 Zoom Recording]**

Higgins stated to Mumper that anything that we bring back, will include the ETZ.

Mumper and Guerndt complimented staff on how things are going.

**19. Adjourn Plan Commission**

***Motion by Mumper, second by Jordan: to adjourn at 7:53 p.m.***

Steve Cronin, Village Trustee and Plan Commission Chair  
Jennifer Higgins, Director of Planning & Development  
Valerie Parker, Recording Secretary

**NOTICE OF PUBLIC HEARING BEFORE THE  
VILLAGE OF WESTON PLAN COMMISSION**

**NOTICE IS HEREBY GIVEN** that a public hearing will be held before the Village of Weston Plan Commission on **Monday, June 9, 2025 at 6:00 pm** in the **Weston Municipal Center Board Room**, 4747 Camp Phillips Road to consider an application (Project 20250213) filed by property owner **Timber Ridge Builders**, requesting a **Conditional Use Permit at 8418 Maplefield Way**, to allow for the construction of a single-family home, within the SF-S (Single-Family Residential – Small Lot) Zoning District, where the width of the attached garages with front yard facing garage doors equal 65.7%. Per Section 94.4.02(1)(h) the maximum allowed is up to 60%.

**Legal Description of the Property:**

Hinner Springs First Addition, Lot 82; being a part of the Northwest 1/4 of the Southeast ¼, and the Southwest 1/4 of the Northeast 1/4, of Section 29, Township 28 North, Range 08 East, in the Village of Weston, Marathon County, Wisconsin.

A copy of the application materials is available for public inspection at the Weston Municipal Center during regular business hours and can also be accessed on the Village of Weston's website at <http://westonwi.gov/421/Public-Hearing-Notices>.

All interested parties are encouraged to attend the hearing and provide comments. Written statements may be submitted in advance to Valerie Parker, ETZ Committee Secretary, 4747 Camp Phillips Road, Weston, WI 54476, or emailed to [vparker@westonwi.gov](mailto:vparker@westonwi.gov).

Dated May 22, 2025.

Valerie Parker, Commission Clerk

Legal Ad Run: May 27, 2025, and June 2, 2025

**VILLAGE OF WESTON  
NOTICE OF PUBLIC HEARING**



**NOTICE IS HEREBY GIVEN** that the Village of Weston Plan Commission will hold a public hearing on Monday, June 9, 2025, at 6:00 p.m., in the Board Room of the Weston Municipal Center, 4747 Camp Phillips Road, to take testimony relative to the following:

**Project #20250213** – Timber Ridge Builders, 131575 County Road L, Athens, WI, requesting a Conditional Use Permit at 8418 Maplefield Way, to allow for the construction of a single-family home, within the SF-S (Single-Family Residential – Small Lot) Zoning District, where the width of the attached garages with front yard facing garage doors equal 65.7%. Per Section 94.4.02(1)(h) the maximum allowed is up to 60%. This property, addressed as 8418 Maplefield Way, is described as:

(PIN 192 2808 291 0072) Hinner Springs First Addition, Lot 82; being a part of the Northwest 1/4 of the Southeast ¼, and the Southwest 1/4 of the Northeast 1/4, of Section 29, Township 28 North, Range 08 East, in the Village of Weston, Marathon County, Wisconsin.

The hearing notice with application materials are available for public inspection on the Village of Weston website located at <http://westonwi.gov/421/Public-Hearing-Notices>.

Written testimony submitted by noon on the date of the hearing to the Village of Weston Plan Commission, Valerie Parker, Plan Commission Secretary, 4747 Camp Phillips Road, Weston, WI 54476, or emailed to [vparker@westonwi.gov](mailto:vparker@westonwi.gov), will be brought to the hearing and entered into the hearing record.

**All interested persons wishing to provide oral or written testimony during the Public Hearing will be given an opportunity to be heard.**

Any person with questions or planning to attend needing additional special accommodation in order to participate, should call Valerie Parker, Planning Technician, Planning and Development Department, at 715-241-2607.

Dated this 22nd day of May 2025

Valerie Parker  
Plan Commission Secretary

Published as a legal ad in the Wausau Daily Herald on Tuesday, May 27, 2025, and Monday, June 2, 2025.

# REQUEST FOR CONSIDERATION

**Public Mtg/Date:** Plan Commission, June 9, 2025

**Description:** Public Hearing – Project #20250213 - Conditional Use Permit Request at 8418 Maplefield Way, to allow for the construction of a single-family home, within the SF-S (Single-Family Residential – Small Lot) Zoning District, where the width of the attached garages with front yard facing garage doors equal 65.7%. Per Section 94.4.02(1)(h) the maximum allowed is up to 60% (Timber Ridge Builders)

**From:** Roman Maguire, Building Inspector  
Jennifer Higgins, Planning and Development Director

**Question:** Should the ETZ approve the Conditional Use Permit application as requested by Timber Ridge Builders to allow for the construction of a single-family home, within the SF-S (Single-Family Residential – Small Lot) Zoning District, where the width of the attached garages with front yard facing garage doors equal 65.7%. Per Section 94.4.02(1)(h) the maximum allowed is up to 60%?

## BACKGROUND

Timber Ridge Builders is the applicant and property owner at the subject site where they have submitted plans for the construction of a new detached single-family home on a vacant lot in the Hinner Springs First Addition Subdivision. Below is the land use description and performance standards that guide the design and construction of a new single family home.

### Section 94.4.02(1) Single-Family Detached Residence.

A dwelling unit designed for and occupied by not more than one family and having no roof, wall, or floor in common with any other dwelling unit, and located on an individual lot. The dwelling unit must be a site-built structure built in compliance with the State of Wisconsin Uniform Dwelling Code (UDC), or by federal law may be a manufactured dwelling (modular home) as permitted by the UDC or a manufactured home that has received a Federal Manufactured Housing Certificate label. Mobile homes that have not received a Federal Manufactured Housing Certificate label are not included within the Single-Family Detached Residence land use type.

**Performance Standards:** The following performance standards shall apply to each Single-Family Detached Residence constructed or expanded as defined by Section 94.10.02 after March 18, 2015, except that any of the standards a. through h. may be waived or modified by conditional use permit, upon a finding that the architectural style of the proposed residence provides compensating design features and that the proposed residence will be compatible and harmonious with other residences in the vicinity. If alterations are made to any of the individual standards listed below, then said standard shall be met.

- a. Shall have minimum gross floor area of 1,000 square feet, not including an attached garage, carport, deck, porch, or unfinished basement.
- b. Shall be served by a garage on the same lot of at least 400 square feet of gross floor area for each dwelling unit and meeting associated requirements in Section 94.4.09(2).
- c. Shall have a roof with a pitch of at least 3 inches in height for each foot of width and an eave which extends at least 6 inches from the wall which supports the roof.

# REQUEST FOR CONSIDERATION

- d. Each residence and attached building shall have a roof surfaced with any of the following: wood shakes; asphalt, composition, or wood shingles; clay, concrete or metal tiles; slate; built-up gravel materials; screw down metal roofing; rubber membrane (for flat roofs or roofs with no greater than a 1:12 pitch); or similar material approved by the Zoning Administrator.
- e. Each residence and attached building shall be covered with siding made of wood, masonry, concrete, stucco, Masonite, vinyl, metal lap, or similar material approved by the Zoning Administrator. Exterior siding shall extend down to the top of the foundation. If the top of the foundation is below grade, the siding shall extend to the ground.
- f. Shall be placed on a finished, permanent foundation, such as a poured concrete slab or basement meeting UDC requirements. Such foundation shall not extend more than 24 inches above the exterior finished grade of the lot, except that where the grade of the lot slopes, only that portion of the foundation which is on the highest point of the lot must meet this requirement.
- g. The side of any residence facing the front yard shall not be less than 24 feet in width, not including attached garages, carports, and open decks. The ratio of each residence's length to its width shall be no greater than 5 to 2. Therefore, a minimum 24-foot long residence must be at least 9 feet 7 inches wide.
- h. The width of attached garages with front yard facing garage doors shall be limited to a maximum of 60 percent of the overall width of the residence as it faces the front yard.
- i. May not be split into two or more dwelling units, except for "In-Home Suites" meeting the requirements of this Article.
- j. If in a subdivision platted after March 18, 2015, shall meet the single-family and two-family housing variety standards in Section 94.10.02.
- k. No carport may be attached to a Single-Family Detached Residence after March 18, 2015.
- l. Minimum Required Off-Street Parking: 2 outdoor spaces, such as in a driveway, plus garage space(s). All motor vehicles shall be parked on a hard surface as defined in Section 94.17.04, or on a graveled surface if such surface was permitted before January 1, 2014 and completed within one year of issuance.

The application for building permit meets all standards of the land use except (h) highlighted above. The width of the garage (67.5%) exceeds the maximum of 60% of the overall width of the residence as it faces the front yard. Per code, (h) may be waived or modified by conditional use permit, upon a finding that the architectural style of the proposed residence provides compensating design features and that the proposed residence will be compatible and harmonious with other residences in the vicinity. The applicant has applied for the conditional use and therefore the PC must find the above to be true in order to issue the conditional use permit. Staff has provided building elevations of neighboring homes along the street, along with elevations of other 2-story homes in the subdivision to assist you with making your determination.

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**Attached Docs:** CUP Determination, Site plan, floor plan & building elevations for 8418 Maplefield Way, Location Map, Neighboring properties building elevations, CUP supplemental questions, draft conditional use permit.

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**Committee Action:** N/A

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**Fiscal Impact:** TBD

# REQUEST FOR CONSIDERATION

**Recommendation:** Staff recommends approval of the Conditional Use Permit and has provided conditions in the draft CUP. The PC can add any additional conditions they determine following the hearing.

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## RECOMMENDED LANGUAGE FOR OFFICIAL ACTION

**I move to [approve / deny] Conditional Use Permit #20250213, allowing Timber Ridge Builders to construct a single-family home, within the SF-S (Single-Family Residential – Small Lot) Zoning District, where the width of the attached garages with front yard facing garage doors equal 65.7%. Per Section 94.4.02(1)(h) the maximum allowed is up to 60% at 8418 Maplefield Way.**

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**ADDITIONAL ACTION:** Notify applicant of [Approval / Denial] [Staff]  
If approved, record CUP with the Marathon County Register of Deeds [Staff]  
If approved, issue a building permit for the new home. [Staff]

**CONDITIONAL USE PERMIT  
SUPPLEMENTAL REVIEW CRITERIA  
VILLAGE OF WESTON**



The following questions are a Comparison of Proposed Conditional Use with Required Review Criteria (complete below or on an attached sheet as needed). Thorough and complete answers assist Staff and Commissioners in review the application and reaching a determination. If you have questions with these questions, please contact staff at [plandev@westonwi.gov](mailto:plandev@westonwi.gov) or (715)241-2613. The Zoning Code and Comprehensive Plan can be found online at the Village's Website.

1. Is the proposed conditional use consistent with the purposes, goals, objectives, policies and standards of the Village of Weston Comprehensive Plan; zoning ordinance; and all other plans, program and ordinances adopted or under consideration? Explain how, or why not. (Consult with Zoning Administrator as necessary on applicable plans.)

Yes.

- 
- 
2. Does the proposed conditional use in this location, as depicted on the required site plan, result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, the natural environment, traffic, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan, or all other plans, programs, map, and ordinances adopted by the Village? Explain how, or why not.

No.

- 
- 
3. Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environments of the subject property? How?

Yes.

- 
- 
4. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property? Explain how this has been evaluated.

Yes.

- 
- 
5. Do the potential public benefits of the proposed conditional use outweigh potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts? Explain how.

Yes.

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Application for Conditional Use Permit  
**CONDITIONAL USE PERMIT DETERMINATION BY THE PLAN COMMISSION**

Application/Petition No.: **20250213** Hearing Date: **June 9, 2025**  
Applicant: **Timber Ridge Builders, LLC**  
Location: **8418 Maplefield Way, Weston, WI 54476**  
Description: **A conditional use permit application, to allow for the construction of a single-family home, within the SF-S (Single-Family Residential – Small Lot) Zoning District, where the width of the attached garages with front yard facing garage doors equal 65.7%. Per Section 94.4.02(1)(h) the maximum allowed is up to 60%.**

The Department of Planning and Development of the Village of Weston, pursuant to the Village of Weston Zoning Code, Article 16 Procedures and Administration, Section 94.16.06 Conditional Use Permits, hereby makes the following findings and evaluation to the Village of Weston Plan Commission:

**GENERAL INFORMATION:**

- Zoning: **Single Family Residential – Small Lot (SF-S) Zoning District**
- Definition: 94.2.02(2)(b) The SF-S district is intended for mainly single family detached residential development, along with compatible home occupations and small-scale institutional and recreational uses. Development within this district is served by public sanitary sewer and water services, and roadways with an urban cross section (e.g., curbs, storm sewer). The SF-S district enables smaller lot sizes than other single family residential districts. The SF-S district is intended for areas planned for single family residential development, or portions of those areas planned for neighborhood development, within the Comprehensive Plan. (Predecessor districts: R-1 Residential-Single Family and R-2 Residential-Single Family)
- Definition: 94.4.02(1) **Single-Family Detached Residence.** A dwelling unit designed for and occupied by not more than one family and having no roof, wall, or floor in common with any other dwelling unit, and located on an individual lot. The dwelling unit must be a site-built structure built in compliance with the State of Wisconsin Uniform Dwelling Code (UDC), or by federal law may be a manufactured dwelling (modular home) as permitted by the UDC or a manufactured home that has received a Federal Manufactured Housing Certificate label. Mobile homes that have not received a Federal Manufactured Housing Certificate label are not included within the Single-Family Detached Residence land use type.
- Performance Standards: The following performance standards shall apply to each Single-Family Detached Residence constructed or expanded as defined by Section 94.10.02 after March 18, 2015, except that any of the standards a. through h. may be waived or modified by conditional use permit, upon a finding that the architectural style of the proposed residence provides compensating design features and that the proposed residence will be compatible and harmonious with other residences in the vicinity. If alterations are made to any of the individual standards listed below, then said standard shall be met.
- a. Shall have minimum gross floor area of 1,000 square feet, not including an attached garage, carport, deck, porch, or unfinished basement.
  - b. Shall be served by a garage on the same lot of at least 400 square feet of gross floor area for each dwelling unit and meeting associated requirements in Section 94.4.09(2).
  - c. Shall have a roof with a pitch of at least 3 inches in height for each foot of width and an eave which extends at least 6 inches from the wall which supports the roof.
  - d. Each residence and attached building shall have a roof surfaced with any of the following: wood shakes; asphalt, composition, or wood shingles; clay, concrete or metal tiles; slate; built-up gravel materials; screw down metal roofing; rubber membrane (for flat roofs or roofs with no greater than a 1:12 pitch); or similar material approved by the Zoning Administrator.

- e. Each residence and attached building shall be covered with siding made of wood, masonry, concrete, stucco, Masonite, vinyl, metal lap, or similar material approved by the Zoning Administrator. Exterior siding shall extend down to the top of the foundation. If the top of the foundation is below grade, the siding shall extend to the ground.
- f. Shall be placed on a finished, permanent foundation, such as a poured concrete slab or basement meeting UDC requirements. Such foundation shall not extend more than 24 inches above the exterior finished grade of the lot, except that where the grade of the lot slopes, only that portion of the foundation which is on the highest point of the lot must meet this requirement.
- g. The side of any residence facing the front yard shall not be less than 24 feet in width, not including attached garages, carports, and open decks. The ratio of each residence's length to its width shall be no greater than 5 to 2. Therefore, a minimum 24-foot long residence must be at least 9 feet 7 inches wide.
- h. The width of attached garages with front yard facing garage doors shall be limited to a maximum of 60 percent of the overall width of the residence as it faces the front yard.
- i. May not be split into two or more dwelling units, except for "In-Home Suites" meeting the requirements of this Article.
- j. If in a subdivision platted after March 18, 2015, shall meet the single-family and two-family housing variety standards in Section 94.10.02.
- k. No carport may be attached to a Single-Family Detached Residence after March 18, 2015.
- l. Minimum Required Off-Street Parking: 2 outdoor spaces, such as in a driveway, plus garage space(s). All motor vehicles shall be parked on a hard surface as defined in Section 94.17.04, or on a graveled surface if such surface was permitted before January 1, 2014 and completed within one year of issuance.

**DETERMINATION (To be completed by the Plan Commission):**

1. Is the proposed conditional use consistent with the Comprehensive Plan, this Chapter, and all other plans, programs, and ordinances adopted by the Village and ETZ Committee.
2. The proposed conditional use, in its proposed location and as depicted on the required site plan, will not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan, or all other plans, programs, and ordinances adopted by the Village.
3. Does the proposed conditional use will maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
4. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by public agencies serving the subject property.
5. Do the potential public benefits of the proposed conditional use outweigh potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

**BACKGROUND INFORMATION:**

Timber Ridge Builders is the applicant and property owner at the subject site where they have submitted plans for the construction of a new detached single-family home on the property. The plans that were submitted do not meet the performance standard (h) *The width of attached garages with front yard facing garage doors shall be limited to a maximum of 60 percent of the overall width of the residence as it faces the front yard.* The code does allow for this standard to be waived or modified by conditional use permit. The applicant has applied for a CUP hearing to waive this performance standard.

**CURRENT PROPERTY CONDITIONS:**

The subject property is a vacant lot in the Hinner Springs First Addition Subdivision – Lot 82.

**PLAN COMMISSION ACTION OPTIONS:****1) Approve the Conditional Use Permit at 8418 Maplefield Way, with the following conditions:**

1. Waive Section. 94.4.02(1) (h) *The width of attached garages with front yard facing garage doors shall be limited to a maximum of 60 percent of the overall width of the residence as it faces the front yard* and allow for the percentage instead be 65.7% as shown in “Exhibit A”.
2. The use and construction of the structure shall be consistent with the plans as submitted and as shown in “Exhibit A”.
3. Any changes to the use, structure, or location as submitted as “Exhibit A”, shall require submittal of a new Conditional Use Permit application.
4. No use is hereby authorized unless the use is conducted in a lawful, orderly, and peaceful manner. Nothing herein shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption, or exception to any law, ordinance, order or rule by the Village, Marathon County, State of Wisconsin, United States or other duly constituted authority, except only to the extent that it authorizes the use of the Subject Property in any specific respects described herein.
5. Should any paragraphs or phase of herein be determined by a court of competent jurisdiction to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the remainder of this conditional use and the remainder shall continue in full force and effect.
6. Any other conditions the Plan Commission wishes to place on the CUP approval.

**2) Deny the Conditional Use Permit at 8418 Maplefield Way.**

**VILLAGE OF WESTON, MARATHON COUNTY, WI**  
**CONDITIONAL USE PERMIT #20250213**

This CONDITIONAL USE PERMIT is issued as of 9<sup>th</sup> day of June 2025, by the VILLAGE OF WESTON PLAN COMMISSION, hereafter referred to as PC to TIMBER RIDGE BUILDERS, LLC of 131575 County Road L, Athens, WI 54411 for a property located at 8418 MAPLEFIELD WAY, WESTON, WI 54476.

WHEREAS, TIMBER RIDGE BUILDERS, LLC is the owner of the property described below in the Village of Weston, and which property is subject to an agreement whereby TIMBER RIDGE BUILDERS intends to build thereon a SINGLE-FAMILY DETACHED RESIDENCE WHICH DOES NOT MEET SECTION 94.4.02(1)(h). The said property upon which said activity is to take place is more particularly described as follows:

Hinner Springs First Addition, Lot 82; being a part of the Northwest 1/4 of the Southeast 1/4, and the Southwest 1/4 of the Northeast 1/4, of Section 29, Township 28 North, Range 08 East, in the Village of Weston, Marathon County, Wisconsin.

WHEREAS, the property described above is in the SINGLE-FAMILY RESIDENTIAL – SMALL LOT (SF-S) Zoning District of the Village of Weston, which permits the use of the property for a SINGLE-FAMILY DETACHED RESIDENCE in said zoning district by right if the performance standards are met. It further allows standards a. through h. to be waived or modified by conditional use permit, upon a finding that the architectural style of the proposed residence provides compensating design features and that the proposed residence will be compatible and harmonious with other residences in the vicinity; and

WHEREAS, TIMBER RIDGE BUILDERS, LLC has requested a conditional use permit for the property, per Section 94.4.02(1) Single-Family Detached Residence of the Village Zoning Ordinance, so as to allow the construction of a SINGLE-FAMILY DETACHED RESIDENCE WHICH DOES NOT MEET SECTION 94.4.02(1)(h) on said premise; and

WHEREAS, a petition for a conditional use permit having been duly filed with the Village of Weston Zoning Administrator, and placed on the PC agenda after first being assured by Village professional staff review that the application is complete, and following staff review and PC review, investigation and a public hearing which was held June 9, 2025, the PC after giving full consideration to the criteria and standards for granting a conditional use permit, as set forth in the PC Ordinance, including Section 94.16.06, approve said application in writing; and

WHEREAS, upon the discontinuance of the use of a SINGLE-FAMILY DETACHED RESIDENCE on said premise for a period exceeding 365 days, the issuance of the conditional grant shall automatically become invalidated. The burden of proof shall be on the property owner to conclusively demonstrate that the conditional use was operating during this period; and

WHEREAS, all requirements of the approved conditional use permit shall be continued regardless of ownership of the subject property and shall run with the land, except where limited by the zoning code or by a specific condition attached to this conditional use grant herein.

NOW, THEREFORE, BE IT RESOLVED, the PC of the Village of Weston, in Marathon County, Wisconsin, hereby grant TIMBER RIDGE BUILDERS, LLC a conditional use permit for the property described above, for the use of SINGLE-FAMILY DETACHED RESIDENCE as defined in 94.4.02(1) of the Village Zoning Ordinance. The conditions for the issuance of the conditional use permit are as follows:

1. Waive Section. 94.4.02(1) (h) The width of attached garages with front yard facing garage doors shall be limited to a maximum of 60 percent of the overall width of the residence as it faces the front yard and allow for the percentage instead be 65.7% as shown in “Exhibit A”.
2. The use and construction of the structure shall be consistent with the plans as submitted and as shown in “Exhibit A”.
3. Any changes to the use, structure, or location as submitted as “Exhibit A”, shall require submittal of a new Conditional Use Permit application.



## GENERAL NOTES

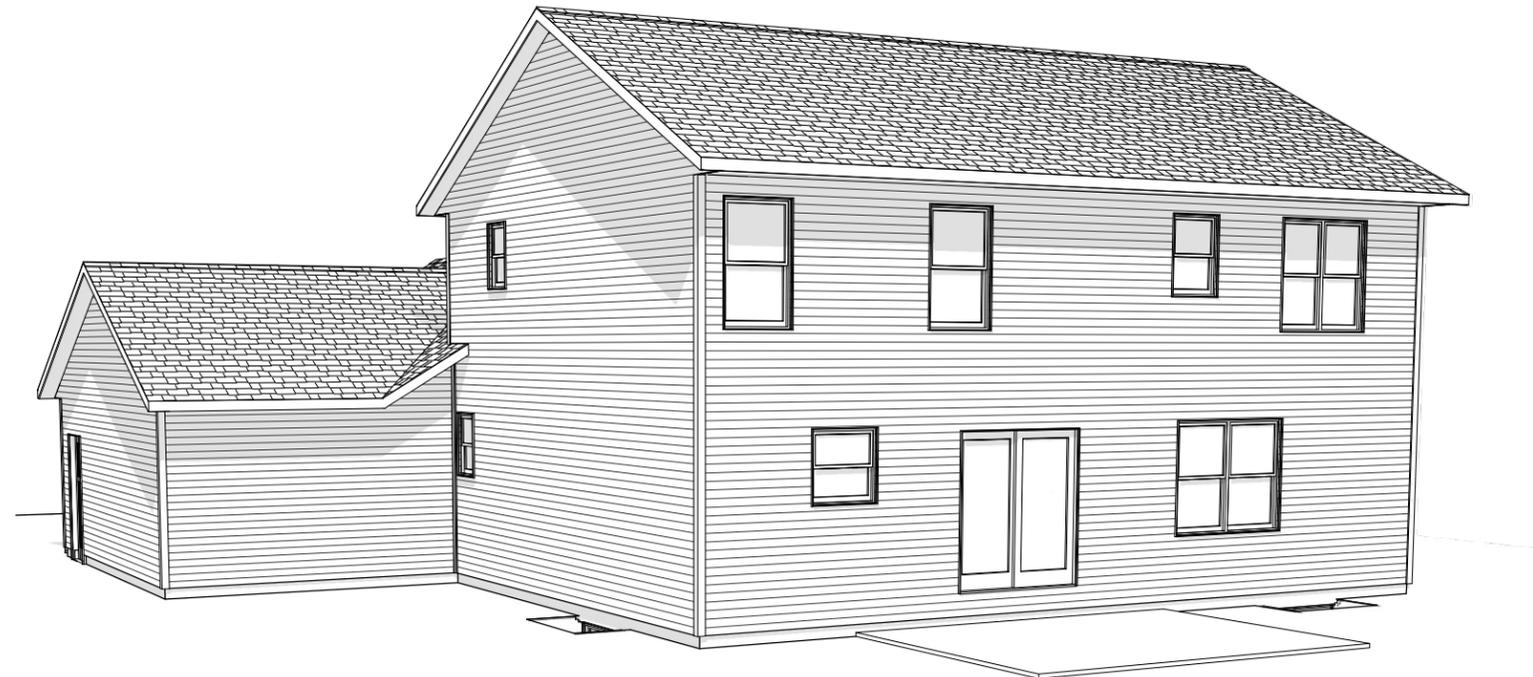
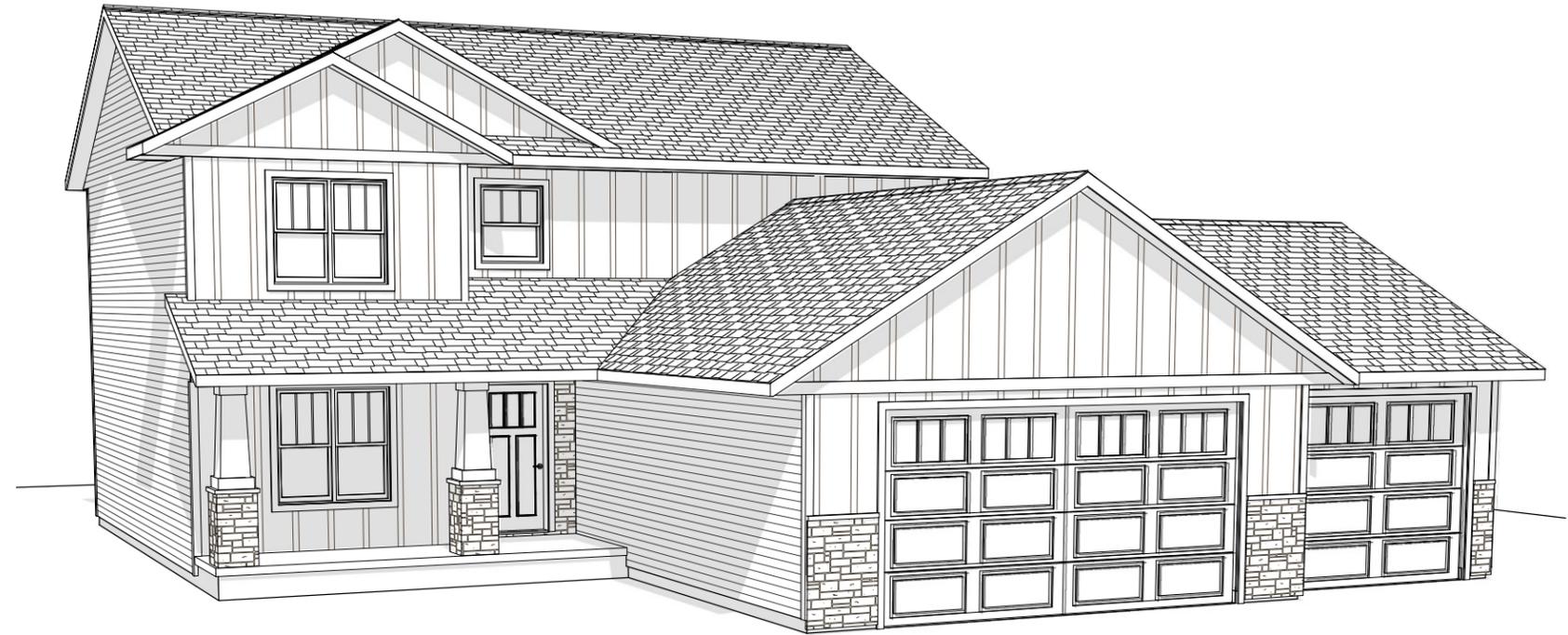
- 1) ALL WORK SHALL BE PERFORMED WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION
- 2) THE CONTRACTOR SHALL EXAMINE THE PROJECT DRAWINGS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES FOUND BEFORE PROCEEDING WITH THE WORK.
- 3) THE CONTRACTOR SHALL VERIFY CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
- 4) EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. FOR THE COMPLETE CONSTRUCTION OF THE WORK INDICATED AS SPECIFIED BY THE DRAWINGS AND SPECIFICATIONS, UNLESS OTHER ARRANGEMENTS HAVE BEEN MADE BETWEEN CONTRACTOR AND CUSTOMER.
- 5) MATERIALS AS SPECIFIED ON DRAWINGS AND CONTRACTUAL DOCUMENTS SHALL BE USED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DETAILING AND COORDINATION IN CONJUNCTION WITH SUBSTITUTIONS MADE TO SPECIFIED MATERIALS.
- 6) VIZION DESIGN GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OTHER PERSONS PERFORMING THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS. ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK IS TO BE COORDINATED BETWEEN THE TRADES AS PART OF THEIR INSTALLATION LAYOUT.
- 7) CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND/OR SHARING TO ENSURE STRUCTURAL STABILITY OF BUILDING DURING CONSTRUCTION.
- 8) ALL MATERIAL FINISHES AND STYLES INCLUDING BUT NOT LIMITED TO EXTERIOR SIDING, WINDOWS, EXTERIOR TRIM, AND INTERIOR AND EXTERIOR MILLWORK, ETC. SHALL BE APPROVED BY CUSTOMER.
- 9) DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- 10) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND/OR DISCREPANCIES IN PLAN AND REPORT ERRORS TO VIZION DESIGN GROUP PRIOR TO COMMENCEMENT OF THE WORK, AND TO BE RESPONSIBLE FOR SAME.
- 11) PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE REQUIRED DESIGN LOADS WITH GOVERNING CODES AND SITE CONDITIONS. VERIFY WITH THE LOCAL BUILDING AGENCIES THE WIND, SEISMIC, SNOW, AND OTHER SPECIAL LOADING CONDITIONS. VIZION DESIGN GROUP SHALL BE NOTIFIED OF ALL DISCREPANCIES.
- 12) IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON DRAWINGS.
- 13) ALL DIMENSIONS TO OPENINGS ARE ROUGH FRAMING UNLESS NOTED OTHERWISE.
- 14) ALL DIMENSIONS TO STUD PARTITIONS ARE TO THE FACE OF STUD UNLESS NOTED OTHERWISE.
- 15) CEILING HEIGHT DIMENSIONS ARE FROM FLOOR SHEATHING TO UNDERSIDE OF ROOF TRUSS OR FLOOR JOIST.
- 16) DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS NOTED OTHERWISE.
- 17) WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THE PROJECT.
- 18) FOLLOW ALL MANUFACTURER'S RECOMMENDED SPECIFICATIONS AND INSTALLATION PROCEDURES UNLESS OTHERWISE DIRECTED.
- 19) PROVIDE ADEQUATE ANCHORAGE, BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, HVAC EQUIPMENT, ETC.
- 20) SLOPE ALL CONCRETE WALKS AWAY FROM EXTERIOR DOORS TO PREVENT WATER FROM RUNNING OR BEING BLOWN UNDER DOORWAYS AND TO PREVENT STANDING WATER FROM ACCUMULATING IN FRONT OF DOORS.
- 21) PROVIDE FIRE-BLOCKING AND DRAFT-STOPPING IN SPACES CREATED BY CHASES, FURRING, ETC. IN ACCORDANCE WITH THE APPLICABLE CODES.
- 22) SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE CODES.
- 23) WINDOW DESIGN INTENDED TO BE IN COMPLIANCE WITH APPLICABLE CODES IN REGARDS TO EGRESS AND SAFETY GLASS. ALL WINDOW SIZES AND REQUIREMENTS TO BE VERIFIED BY CONTRACTOR WITH MANUFACTURER TO ENSURE COMPLIANCE WITH APPLICABLE CODES.

## SHEET INDEX

- A1** - COVER SHEET
- A2** - ELEVATIONS
- A3** - ELEVATIONS
- A4** - FOUNDATION PLAN
- A5** - FIRST FLOOR PLAN
- A6** - SECOND FLOOR PLAN
- A7** - ROOF LAYOUT
- A8** - DETAILS
- A9** - CABINET LAYOUTS / ELEVATIONS
- A10** -
- A11** -
- A12** -
- A13** -
- A14** -

# JOB 86

# Exhibit A



POPLAR MODEL

FINAL SET

JOB 86

8418 MAPLEFIELD WAY  
WESTON, WI

**Timber Ridge**  
B-U-I-L-D-E-R-S  
WESTON, WISCONSIN

DATE:

3/26/2025

DRAWN BY:

VDG : APV

SHEET:

**A-1**



**REAR ELEVATION**  
 1/4" = 1'-0" (22x34)  
 1/8" = 1'-0" (11x17)



**FRONT ELEVATION**  
 1/4" = 1'-0" (22x34)  
 1/8" = 1'-0" (11x17)

POPLAR MODEL  
 FINAL SET

**JOB 86**  
 8418 MAPLEFIELD WAY  
 WESTON, WI

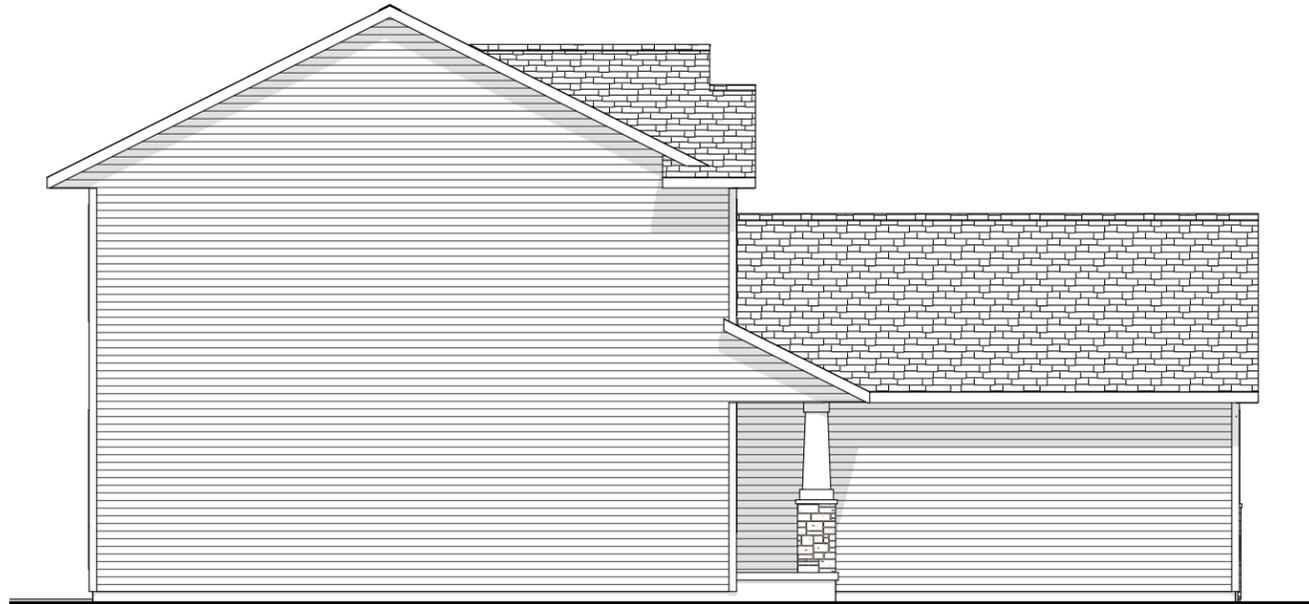


**DATE:**  
 3/26/2025

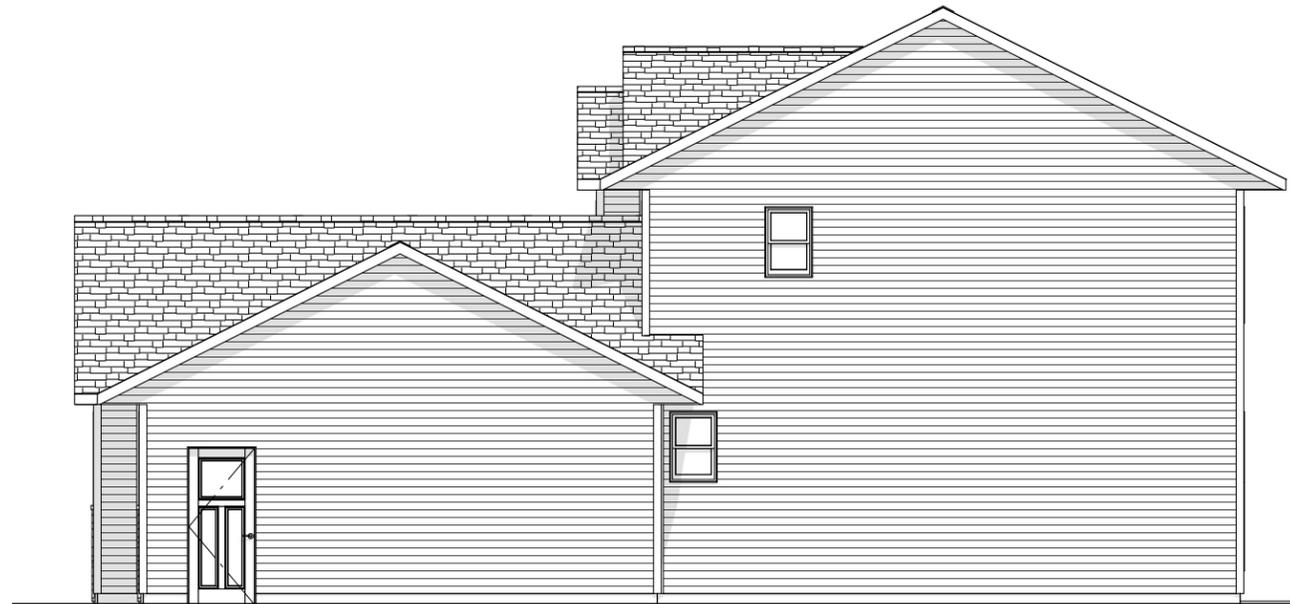
**DRAWN BY:**  
 VDG : APV

**SHEET:**

**A-2**



**LEFT ELEVATION**  
1/4" = 1'-0" (22x34)  
1/8" = 1'-0" (11x17)



**RIGHT ELEVATION**  
1/4" = 1'-0" (22x34)  
1/8" = 1'-0" (11x17)

POPLAR MODEL  
FINAL SET

**JOB 86**  
8418 MAPLEFIELD WAY  
WESTON, WI



**DATE:**

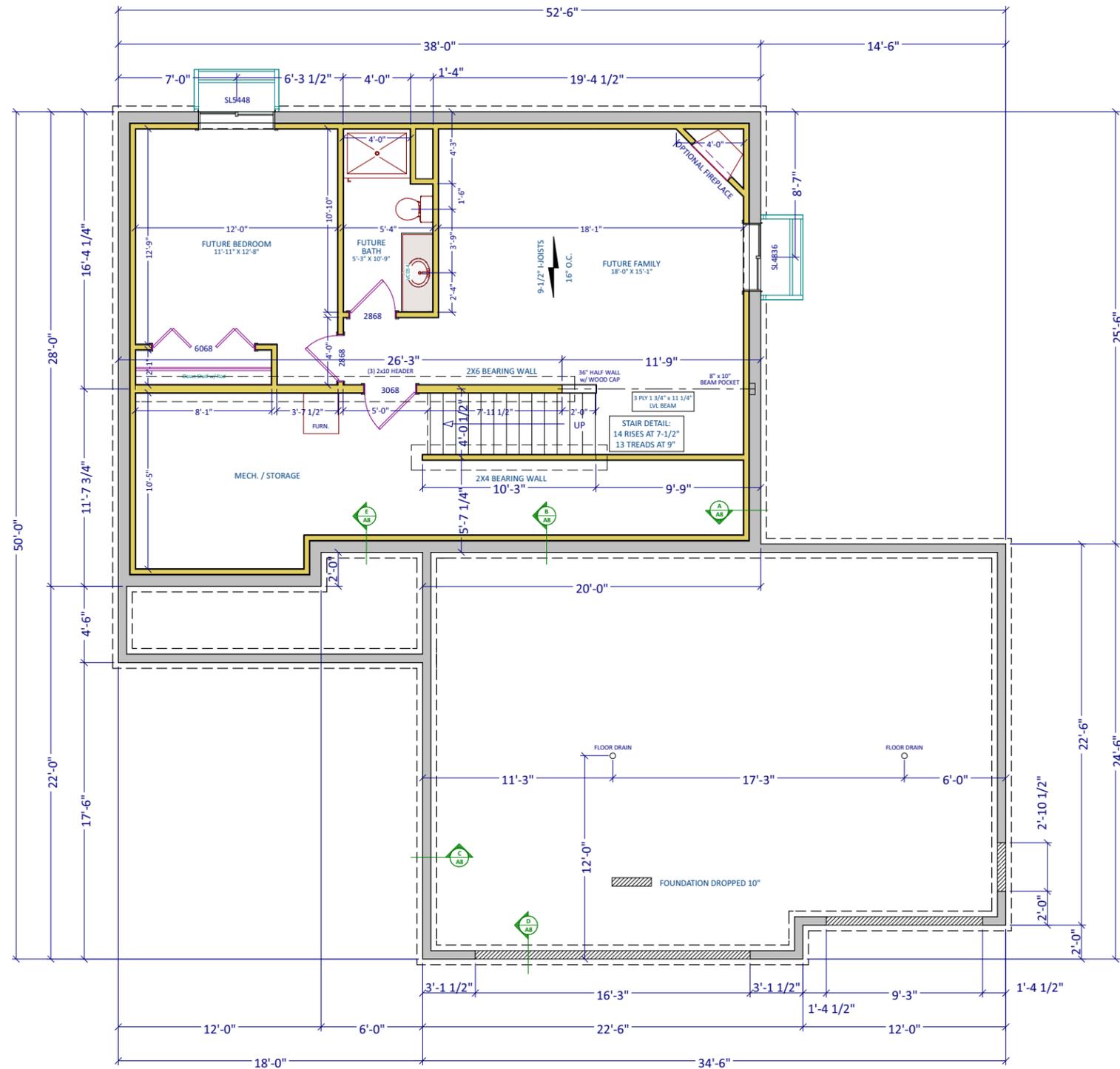
3/26/2025

**DRAWN BY:**

VDG : APV

**SHEET:**

**A-3**



1. THIS DRAWING IS TO PROVIDE THE MASON OR OTHER RESPONSIBLE CONTRACTOR WITH THE PROPER FOUNDATION DIMENSIONS. IT IS HIS RESPONSIBILITY TO ENSURE THAT THE FOUNDATION IS CONSTRUCTED IN ACCORDANCE WITH APPLICABLE CODES AND SOIL CONDITIONS.
2. HEIGHT OF FOUNDATION AND COLUMN SPACING AS SHOWN ARE CRITICAL. IF CHANGES ARE MADE, THEY MUST BE REPORTED IMMEDIATELY TO THE ENGINEERING DEPARTMENT.
3. ALL FOUNDATION FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AT A MINIMUM DEPTH OF 4'-0" BELOW GRADE (DEPENDING ON LOCAL FROST CONDITIONS).
4. VENTING AREA OF BASEMENT WINDOWS SHALL BE 1% OF THE BASEMENT FLOOR AREA (2% FOR BOCA CODES). COMBUSTION AIR FOR HEATING EQUIPMENT AND FOUNDATION INSULATION TO BE IN ACCORDANCE WITH APPLICABLE CODES.
5. FOR CRAWLSPACE FOUNDATIONS, THE MASON CONTRACTOR IS TO PROVIDE AN 18" x 24" ACCESS TO THE CRAWLSPACE AND VENTILATION AT THE RATE OF 1/150 OF THE CRAWLSPACE AREA. COVER CRAWLSPACE WITH 6 MIL. POLY FILM.

**FOUNDATION / LOWER LEVEL PLAN**  
 1/4" = 1'-0" (22x34)  
 1/8" = 1'-0" (11x17)

Future Finished Square Footage: 677

8'-0" FOUNDATION WALL HEIGHT  
 Dimensions Are Framing To Framing  
 (2) 2x10 SPF#2 & BTR Headers (u.n.o.)

POPLAR MODEL

**JOB 86**  
 8418 MAPLEFIELD WAY  
 WESTON, WI



**DATE:**

3/26/2025

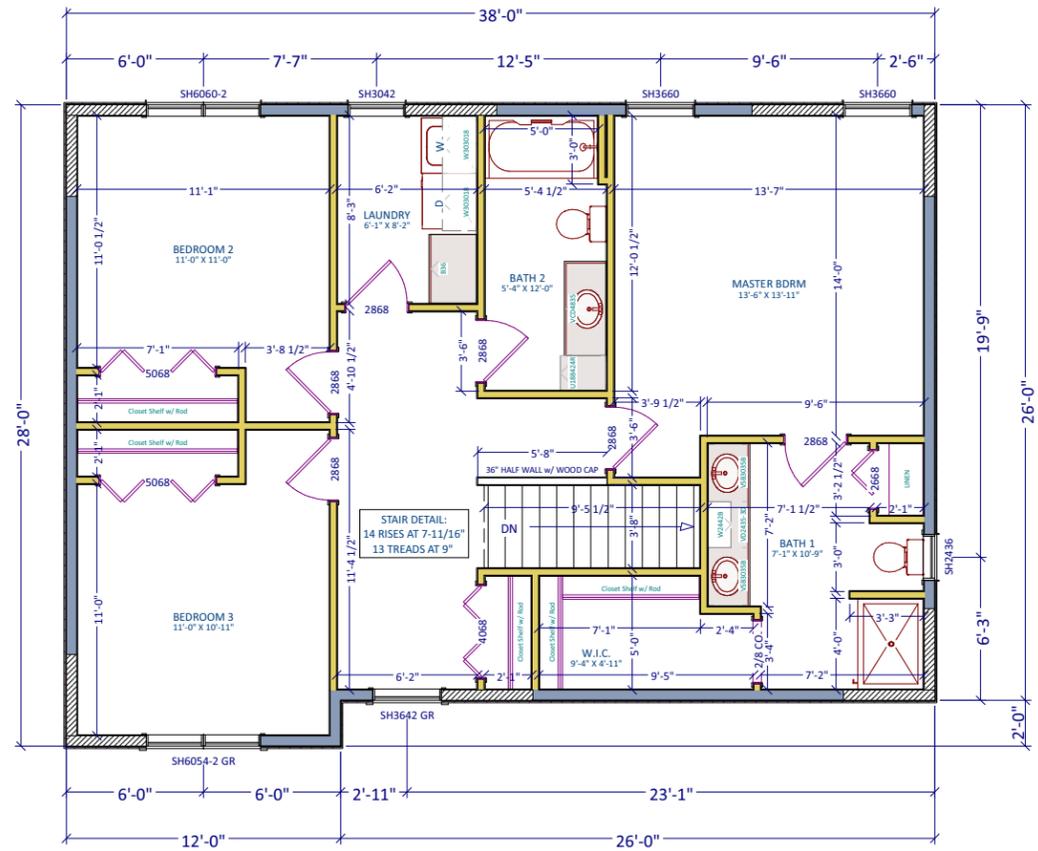
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VDG : APV

**SHEET:**

**A-4**



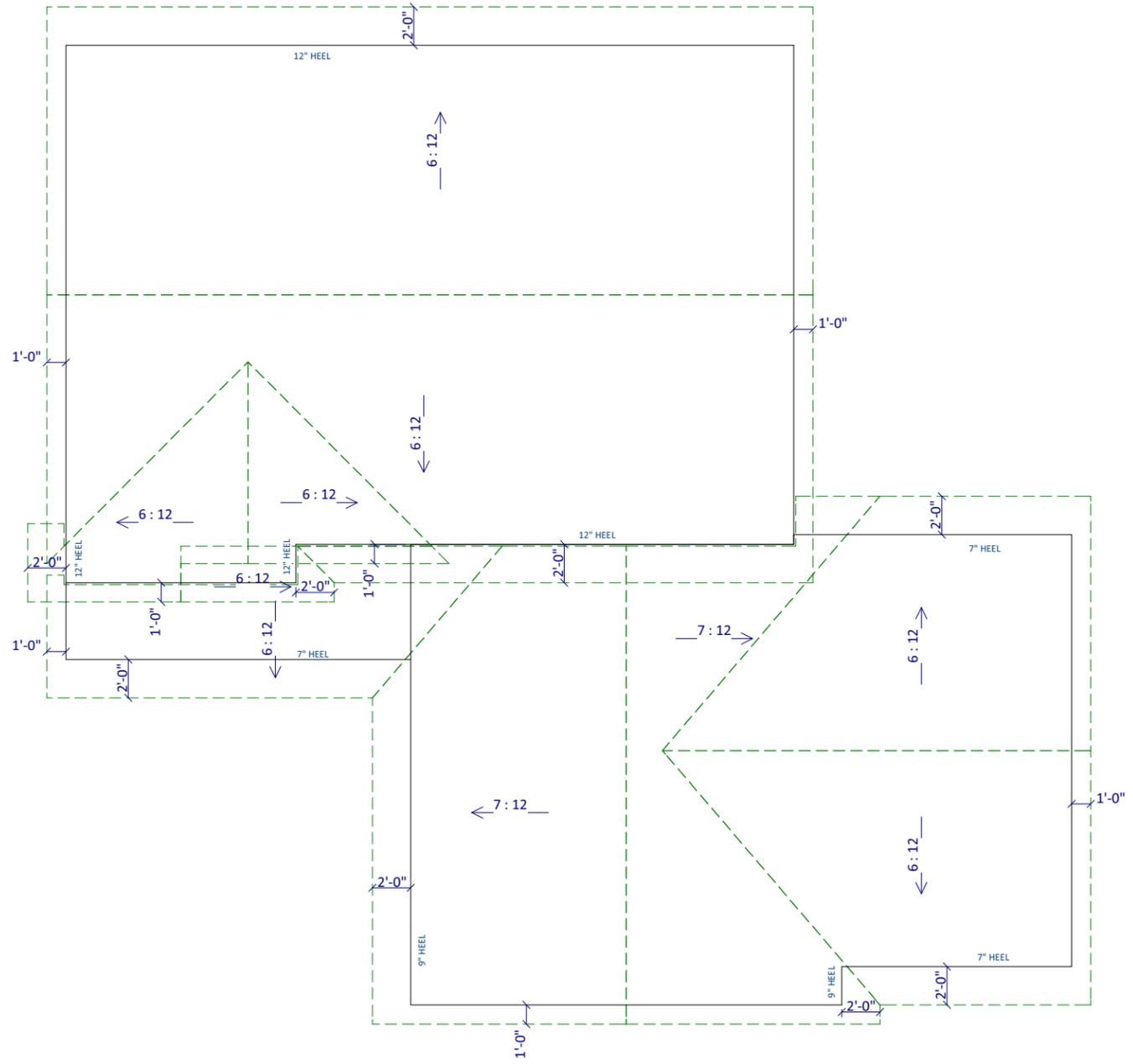


Wall Bracing	
	CONTINUOUS SHEATHED WSP: 3/8" FOR MAXIMUM 16" O.C. STUD SPACING; 7/16" FOR MAXIMUM 24" O.C. STUD SPACING. 6D COMMON NAIL OR 8D BOX NAIL; OR 7/16" - OR 1/2" - CROWN 16 GAUGE STAPLES, 1 1/4" LONG. 6" EDGES, 12" FIELD (NAILS). 3" EDGES, 6" FIELD (STAPLES). 13" MAXIMUM NOMINAL WALL HEIGHT. MINIMUM BRACED WALL PANEL WIDTH OR BRACE ANGLE PER TABLE SP5321.25.H.
	PF PORTAL FRAME: 7/16" FOR MAXIMUM 16" O.C. STUD SPACING. 12" MAXIMUM NOMINAL WALL HEIGHT. MINIMUM BRACED WALL PANEL WIDTH, FASTENERS, & MAXIMUM SPACING PER FIGURE SP5321.25-A.
GENERAL NOTES: 1. REQUIRED LENGTH OF CONTINUOUS BRACING ON WALLS PARALLEL TO EACH RECTANGLE SIDE AT EACH FLOOR LEVEL PER TABLE SP5321.25-J 2. BRACED WALL PANELS SHALL BEGIN NO MORE THAN 12" FROM EACH END OF A BRACED WALL LINE WITH A MAXIMUM OF 2" BETWEEN PANELS PER FIGURE SP5321.25-C 3. BRACED WALL PANELS ARE 4'-0" (TYPICAL) UNLESS DIMENSIONED OTHERWISE. 4. PROVIDE NOMINAL 2X SOLID BLOCKING AT ALL PANEL EDGE JOINTS WHICH DO NOT ALIGN WITH WALL OR FLOOR FRAMING. INSTALLED EDGE FASTENING PER TYPICAL FASTENING INSTRUCTION.	

**2ND FLOOR PLAN**  
 1/4" = 1'-0" (22x34)  
 1/8" = 1'-0" (11x17)

Floor Square Footage: 1012

8'-1 1/8" Wall Heights (u.n.o.)  
 Dimensions Are Framing To Framing  
 (2) 2x10 SPF#2 & BTR Headers (u.n.o.)



**ROOF LAYOUT**  
 1/4" = 1'-0" (22x34)  
 1/8" = 1'-0" (11x17)

**NOTES**  
 24" EAVE OVERHANGS TYPICAL  
 12" GABLE OVERHANGS TYPICAL  
 (unless noted otherwise)

HEEL HEIGHTS AS NOTED  
 FASCIA TO ALIGN AS SHOWN

POPLAR MODEL  
 FINAL SET

**JOB 86**  
 8418 MAPLEFIELD WAY  
 WESTON, WI



**DATE:**

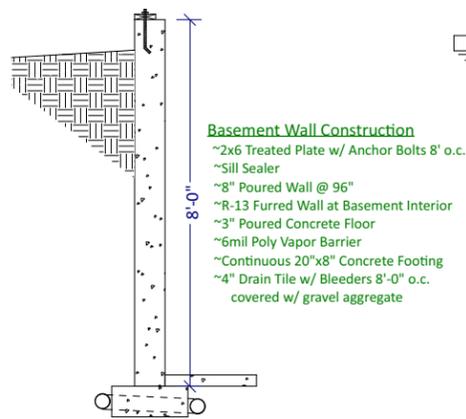
3/26/2025

**DRAWN BY:**

VDG : APV

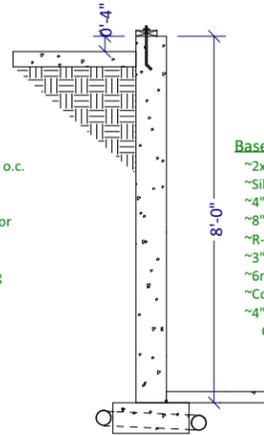
**SHEET:**

**A-7**



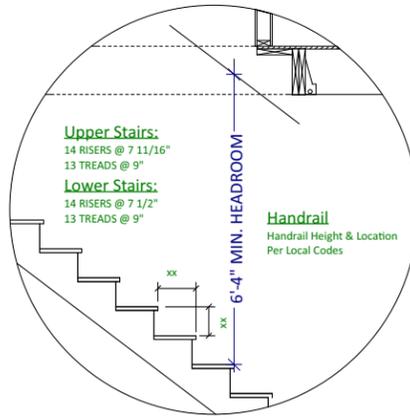
**Basement Wall Construction**  
 ~2x6 Treated Plate w/ Anchor Bolts 8' o.c.  
 ~Sill Sealer  
 ~8" Poured Wall @ 96"  
 ~R-13 Furred Wall at Basement Interior  
 ~3" Poured Concrete Floor  
 ~6mil Poly Vapor Barrier  
 ~Continuous 20"x8" Concrete Footing  
 ~4" Drain Tile w/ Bleeders 8'-0" o.c. covered w/ gravel aggregate

**SECTION A-A**  
 1/2" = 1'-0" (22X34)  
 1/4" = 1'-0" (11X17)



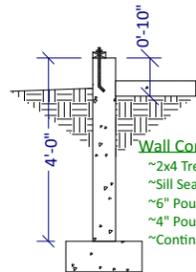
**Basement Wall Construction**  
 ~2x6 Treated Plate w/ Anchor Bolts 8' o.c.  
 ~Sill Sealer  
 ~4" Poured Concrete Floor @ Garage  
 ~8" Poured Wall @ 96"  
 ~R-13 Furred Wall at Basement Interior  
 ~3" Poured Concrete Floor  
 ~6mil Poly Vapor Barrier  
 ~Continuous 20" x 8" Concrete Footing  
 ~4" Drain Tile w/ Bleeders 8'-0" o.c. Covered w/ gravel aggregate

**SECTION B-B**  
 1/2" = 1'-0" (22X34)  
 1/4" = 1'-0" (11X17)



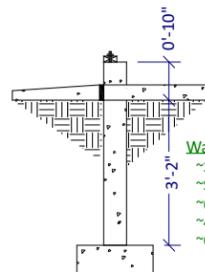
**Upper Stairs:**  
 14 RISERS @ 7 11/16"  
 13 TREADS @ 9"  
**Lower Stairs:**  
 14 RISERS @ 7 1/2"  
 13 TREADS @ 9"  
**Handrail**  
 Handrail Height & Location  
 Per Local Codes

**STAIR DETAIL**  
 1/2" = 1'-0" (22X34)  
 1/4" = 1'-0" (11X17)



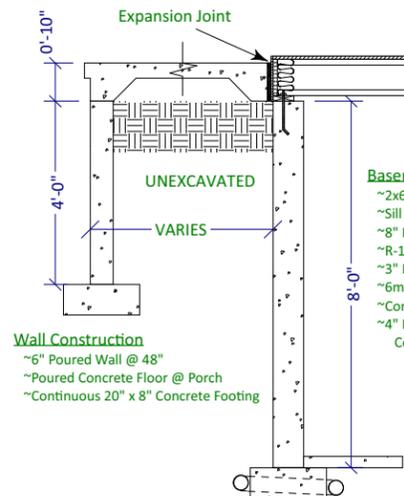
**Wall Construction**  
 ~2x4 Treated Plate w/ Anchor Bolts 8' o.c.  
 ~Sill Sealer  
 ~6" Poured Wall @ 48"  
 ~4" Poured Concrete Floor @ Garage  
 ~Continuous 20" x 8" Concrete Footing

**SECTION C-C**  
 1/2" = 1'-0" (22X34)  
 1/4" = 1'-0" (11X17)



**Wall Construction**  
 ~2x4 Treated Plate w/ Anchor Bolts 8' o.c.  
 ~Sill Sealer  
 ~6" Poured Wall @ 38"  
 ~4" Poured Concrete Floor @ Garage  
 ~Continuous 20" x 8" Concrete Footing

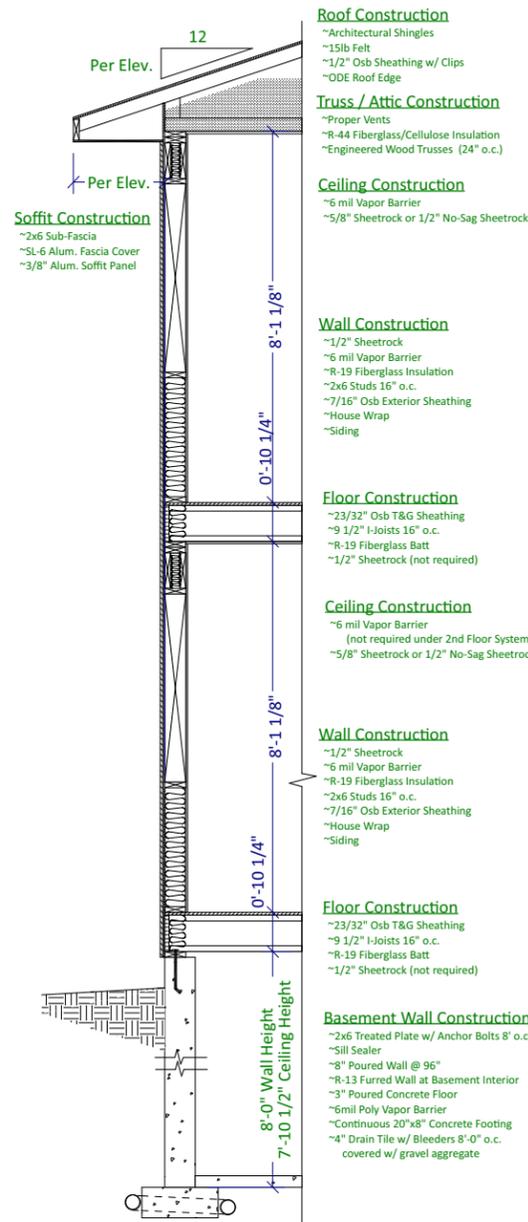
**SECTION D-D**  
 1/2" = 1'-0" (22X34)  
 1/4" = 1'-0" (11X17)



**Basement Wall Construction**  
 ~2x6 Treated Plate w/ Anchor Bolts 8' o.c.  
 ~Sill Sealer  
 ~8" Poured Wall @ 96"  
 ~R-13 Furred Wall at Basement Interior  
 ~3" Poured Concrete Floor  
 ~6mil Poly Vapor Barrier  
 ~Continuous 20" x 8" Concrete Footing  
 ~4" Drain Tile w/ Bleeders 8'-0" o.c. Covered w/ gravel aggregate

**Wall Construction**  
 ~6" Poured Wall @ 48"  
 ~Poured Concrete Floor @ Porch  
 ~Continuous 20" x 8" Concrete Footing

**SECTION E-E**  
 1/2" = 1'-0" (22X34)  
 1/4" = 1'-0" (11X17)



**Roof Construction**  
 ~Architectural Shingles  
 ~15lb Felt  
 ~1/2" Osb Sheathing w/ Clips  
 ~ODE Roof Edge

**Truss / Attic Construction**  
 ~Proper Vents  
 ~R-44 Fiberglass/Cellulose Insulation  
 ~Engineered Wood Trusses (24" o.c.)

**Ceiling Construction**  
 ~6 mil Vapor Barrier  
 ~5/8" Sheetrock or 1/2" No-Sag Sheetrock

**Soffit Construction**  
 ~2x6 Sub-Fascia  
 ~SL-6 Alum. Fascia Cover  
 ~3/8" Alum. Soffit Panel

**Wall Construction**  
 ~1/2" Sheetrock  
 ~6 mil Vapor Barrier  
 ~R-19 Fiberglass Insulation  
 ~2x6 Studs 16" o.c.  
 ~7/16" Osb Exterior Sheathing  
 ~House Wrap  
 ~Siding

**Floor Construction**  
 ~23/32" Osb T&G Sheathing  
 ~9 1/2" I-Joists 16" o.c.  
 ~R-19 Fiberglass Batt  
 ~1/2" Sheetrock (not required)

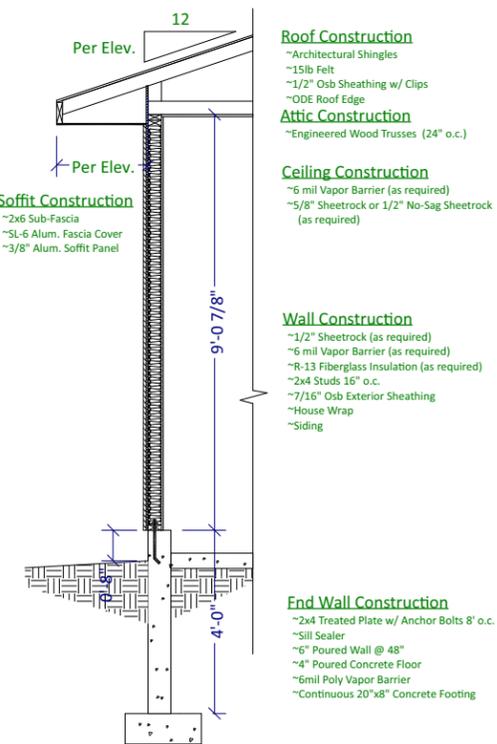
**Ceiling Construction**  
 ~6 mil Vapor Barrier  
 (not required under 2nd Floor System)  
 ~5/8" Sheetrock or 1/2" No-Sag Sheetrock

**Wall Construction**  
 ~1/2" Sheetrock  
 ~6 mil Vapor Barrier  
 ~R-19 Fiberglass Insulation  
 ~2x6 Studs 16" o.c.  
 ~7/16" Osb Exterior Sheathing  
 ~House Wrap  
 ~Siding

**Floor Construction**  
 ~23/32" Osb T&G Sheathing  
 ~9 1/2" I-Joists 16" o.c.  
 ~R-19 Fiberglass Batt  
 ~1/2" Sheetrock (not required)

**Basement Wall Construction**  
 ~2x6 Treated Plate w/ Anchor Bolts 8' o.c.  
 ~Sill Sealer  
 ~8" Poured Wall @ 96"  
 ~R-13 Furred Wall at Basement Interior  
 ~3" Poured Concrete Floor  
 ~6mil Poly Vapor Barrier  
 ~Continuous 20"x8" Concrete Footing  
 ~4" Drain Tile w/ Bleeders 8'-0" o.c. covered w/ gravel aggregate

**TYPICAL WALL SECTION**  
 1/2" = 1'-0" (22x34)  
 1/4" = 1'-0" (11x17)



**Roof Construction**  
 ~Architectural Shingles  
 ~15lb Felt  
 ~1/2" Osb Sheathing w/ Clips  
 ~ODE Roof Edge

**Attic Construction**  
 ~Engineered Wood Trusses (24" o.c.)

**Ceiling Construction**  
 ~6 mil Vapor Barrier (as required)  
 ~5/8" Sheetrock or 1/2" No-Sag Sheetrock (as required)

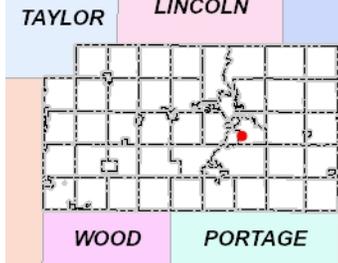
**Soffit Construction**  
 ~2x6 Sub-Fascia  
 ~SL-6 Alum. Fascia Cover  
 ~3/8" Alum. Soffit Panel

**Wall Construction**  
 ~1/2" Sheetrock (as required)  
 ~6 mil Vapor Barrier (as required)  
 ~R-13 Fiberglass Insulation (as required)  
 ~2x4 Studs 16" o.c.  
 ~7/16" Osb Exterior Sheathing  
 ~House Wrap  
 ~Siding

**End Wall Construction**  
 ~2x4 Treated Plate w/ Anchor Bolts 8' o.c.  
 ~Sill Sealer  
 ~6" Poured Wall @ 48"  
 ~4" Poured Concrete Floor  
 ~6mil Poly Vapor Barrier  
 ~Continuous 20"x8" Concrete Footing

**GARAGE WALL SECTION**  
 1/2" = 1'-0" (22x34)  
 1/4" = 1'-0" (11x17)





### Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Address Points
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities

105.94 0 105.94 Feet



NAD\_1983\_HARN\_WISCRS\_Marathon\_County\_Feet

**DISCLAIMER:** The information and depictions herein are for informational purposes and Marathon County-City of Wausau specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Marathon County-City of Wausau will not be responsible for any damages which result from third party use of the information and depictions herein or for use which ignores this warning.  
**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

### Notes

# HS19 JAVA G2

8805 Hinner Springs Dr Weston, WI 54476



REAR ELEVATION DETERMINED BY GRADE

JAVA G2 MODEL

FINAL SET

LOT #

SUBDIVISION

Denyon Homes  
5309 Schofield Ave.  
Weston, WI 54476  
715.574.6005  
www.denyonhomes.com

**Denyon**  
HOMES

DATE:

5/28/2024

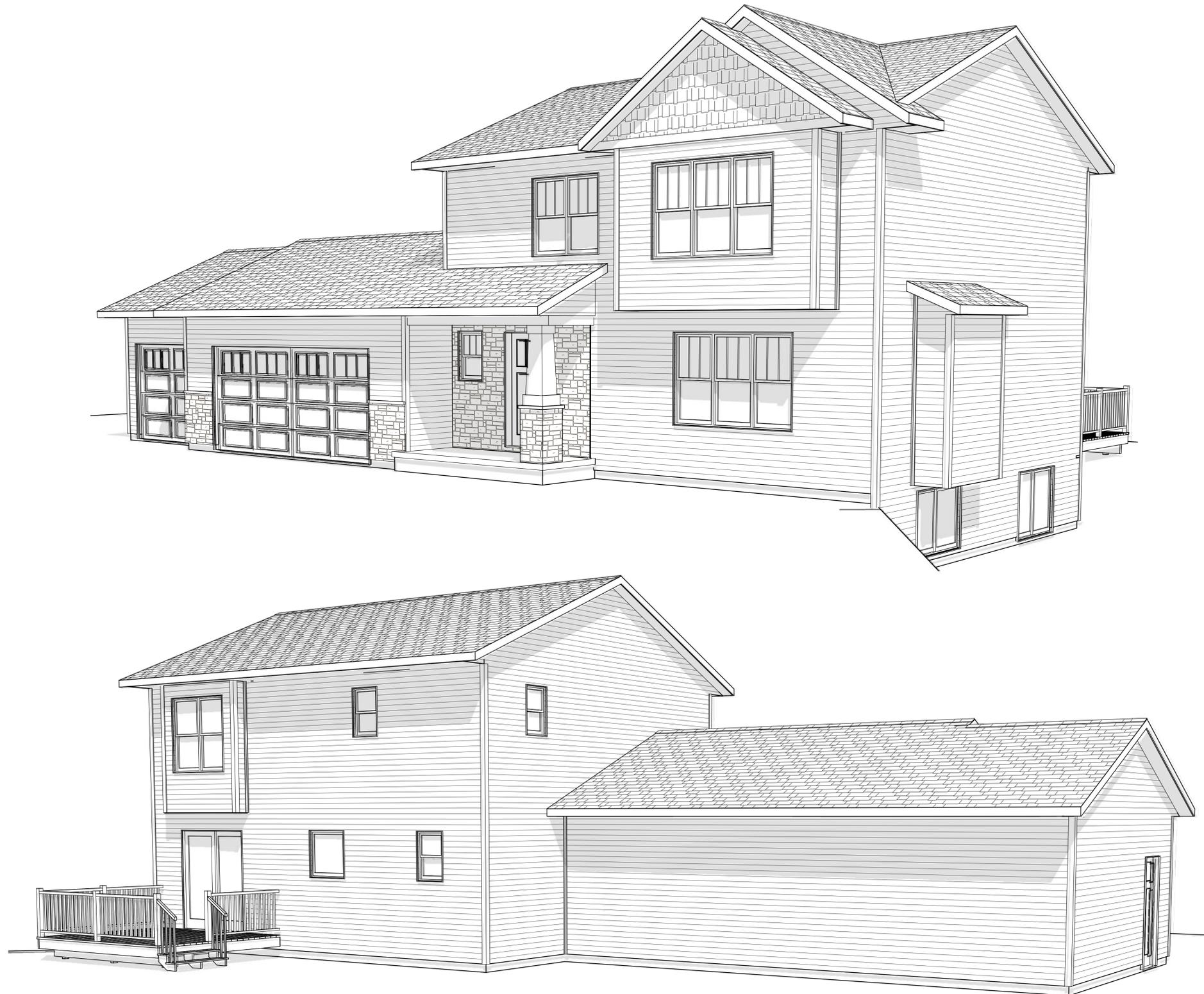
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VDG : APV

SHEET:

**A-1**

# HS25 JAVA G1 GL MODEL



JAVA G1 GL MODEL

FINAL SET

LOT #

SUBDIVISION

Denyon Homes  
5309 Schofield Ave.  
Weston, WI 54476  
715.574.6005  
www.denyonhomes.com

**Denyon**  
HOMES

DATE:

1/12/2021

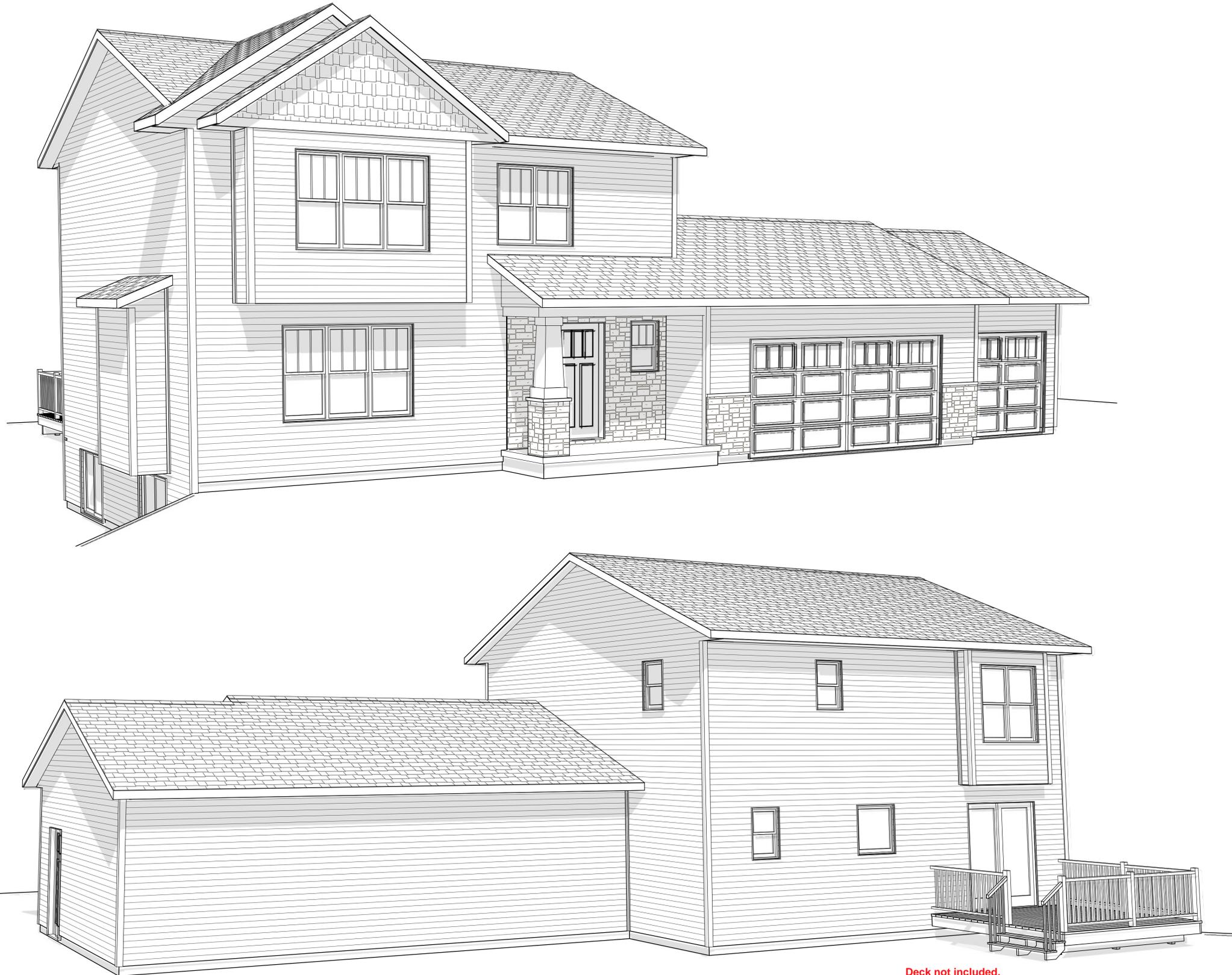
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VDG : APV

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**A-1**

# HS5 JAVA G1 MODEL



Deck not included.  
Rear elevation determined by grade

JAVA G1 MODEL

FINAL SET

LOT #

SUBDIVISION

Denyon Homes  
5309 Schofield Ave.  
Weston, WI 54476  
715.574.6005  
www.denyonhomes.com

**Denyon**  
HOMES

DATE:

1/12/2021

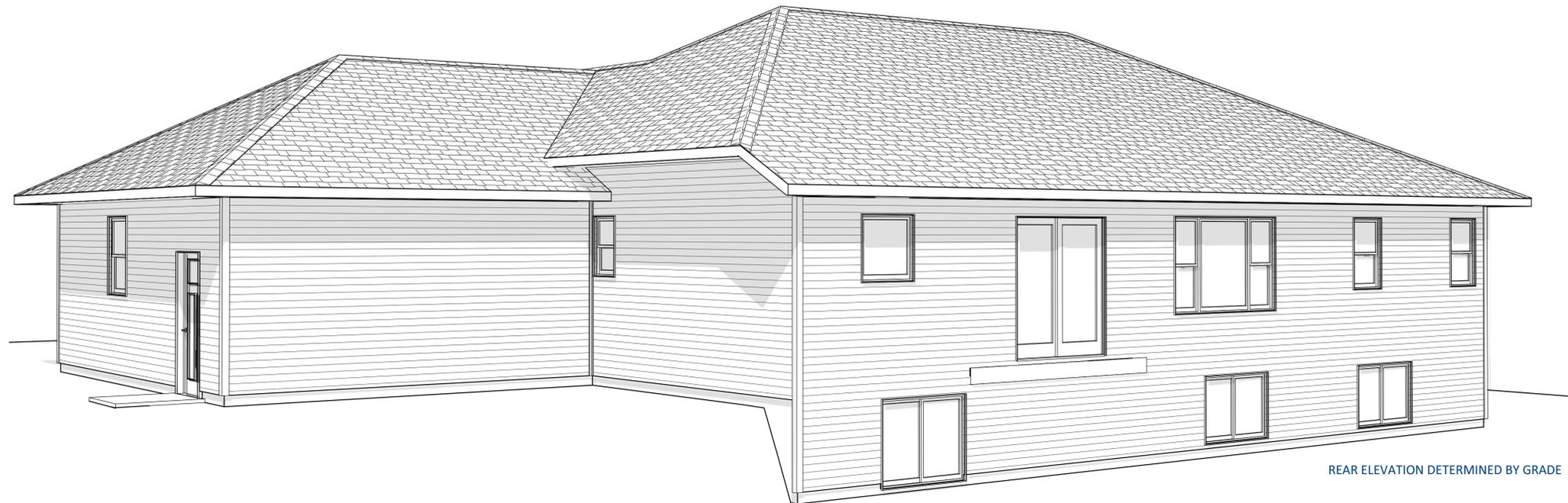
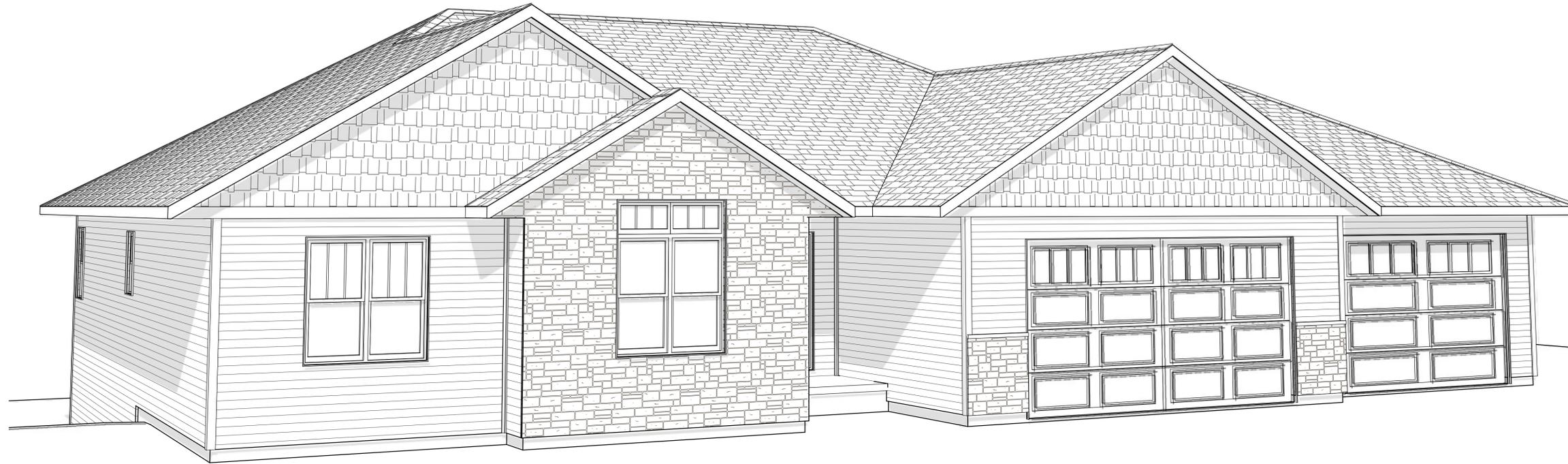
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VDG : APV

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**A-1**

# HS29 AZALEA H1 MODEL



AZALEA H1 MODEL

FINAL SET

HS29

WESTON, WI

Denyon Homes  
5309 Schofield Ave.  
Weston, WI 54476  
715.574.6005  
www.denyonhomes.com

**Denyon**  
HOMES

DATE:

5/10/2022

DRAWN BY:

VDG : APV

SHEET:

**A-1**

## GENERAL NOTES

- 1) ALL WORK SHALL BE PERFORMED WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION
- 2) THE CONTRACTOR SHALL EXAMINE THE PROJECT DRAWINGS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES FOUND BEFORE PROCEEDING WITH THE WORK.
- 3) THE CONTRACTOR SHALL VERIFY CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
- 4) EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. FOR THE COMPLETE CONSTRUCTION OF THE WORK INDICATED AS SPECIFIED BY THE DRAWINGS AND SPECIFICATIONS, UNLESS OTHER ARRANGEMENTS HAVE BEEN MADE BETWEEN CONTRACTOR AND CUSTOMER.
- 5) MATERIALS AS SPECIFIED ON DRAWINGS AND CONTRACTUAL DOCUMENTS SHALL BE USED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DETAILING AND COORDINATION IN CONJUNCTION WITH SUBSTITUTIONS MADE TO SPECIFIED MATERIALS.
- 6) VIZION DESIGN GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OTHER PERSONS PERFORMING THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS. ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK IS TO BE COORDINATED BETWEEN THE TRADES AS PART OF THEIR INSTALLATION LAYOUT.
- 7) CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND/OR SHARING TO ENSURE STRUCTURAL STABILITY OF BUILDING DURING CONSTRUCTION.
- 8) ALL MATERIAL FINISHES AND STYLES INCLUDING BUT NOT LIMITED TO EXTERIOR SIDING, WINDOWS, EXTERIOR TRIM, AND INTERIOR AND EXTERIOR MILLWORK, ETC. SHALL BE APPROVED BY CUSTOMER.
- 9) DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- 10) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND/OR DISCREPANCIES IN PLAN AND REPORT ERRORS TO VIZION DESIGN GROUP PRIOR TO COMMENCEMENT OF THE WORK, AND TO BE RESPONSIBLE FOR SAME.
- 11) PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE REQUIRED DESIGN LOADS WITH GOVERNING CODES AND SITE CONDITIONS. VERIFY WITH THE LOCAL BUILDING AGENCIES THE WIND, SEISMIC, SNOW, AND OTHER SPECIAL LOADING CONDITIONS. VIZION DESIGN GROUP SHALL BE NOTIFIED OF ALL DISCREPANCIES.
- 12) IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON DRAWINGS.
- 13) ALL DIMENSIONS TO OPENINGS ARE ROUGH FRAMING UNLESS NOTED OTHERWISE.
- 14) ALL DIMENSIONS TO STUD PARTITIONS ARE TO THE FACE OF STUD UNLESS NOTED OTHERWISE.
- 15) CEILING HEIGHT DIMENSIONS ARE FROM FLOOR SHEATHING TO UNDERSIDE OF ROOF TRUSS OR FLOOR JOIST.
- 16) DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS NOTED OTHERWISE.
- 17) WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THE PROJECT.
- 18) FOLLOW ALL MANUFACTURER'S RECOMMENDED SPECIFICATIONS AND INSTALLATION PROCEDURES UNLESS OTHERWISE DIRECTED.
- 19) PROVIDE ADEQUATE ANCHORAGE, BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, HVAC EQUIPMENT, ETC.
- 20) SLOPE ALL CONCRETE WALKS AWAY FROM EXTERIOR DOORS TO PREVENT WATER FROM RUNNING OR BEING BLOWN UNDER DOORWAYS AND TO PREVENT STANDING WATER FROM ACCUMULATING IN FRONT OF DOORS.
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- A9** -
- A10** -
- A11** -
- A12** -
- A13** -
- A14** -

# JOB 87



WISCONSIN MODEL

FINAL SET

JOB 87

8424 MAPLEFIELD WAY  
WESTON, WI

**Timber Ridge**  
B-U-I-L-D-E-R-S  
WESTON, WISCONSIN

DATE:

3/17/2025

DRAWN BY:

VDG : APV

SHEET:

**A-1**

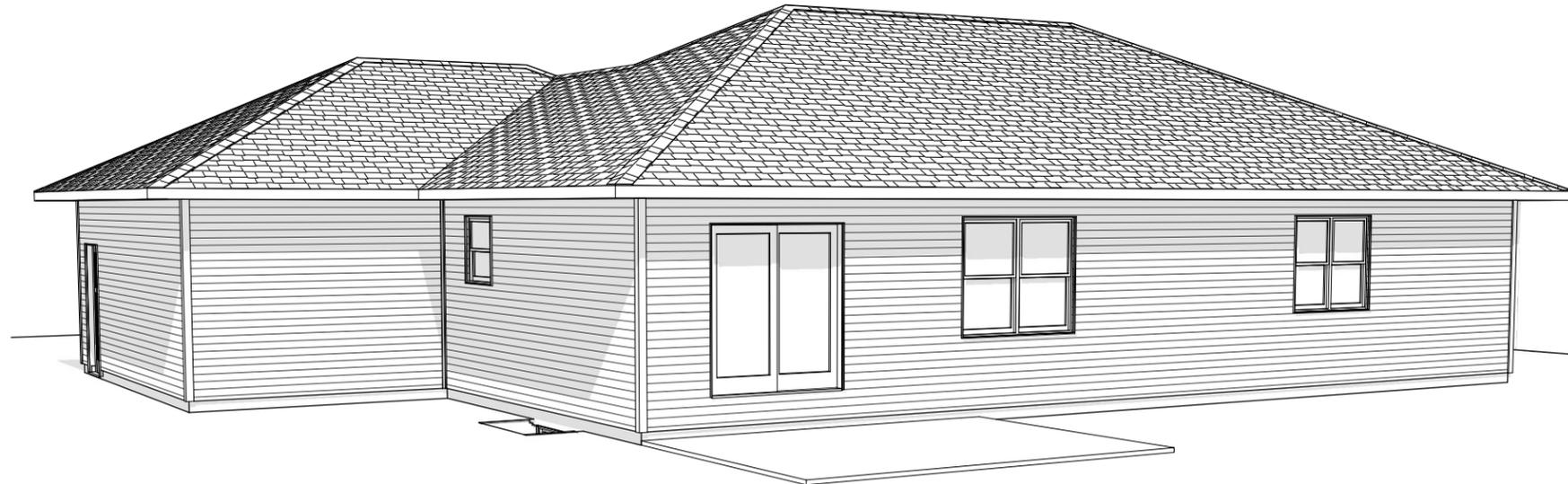
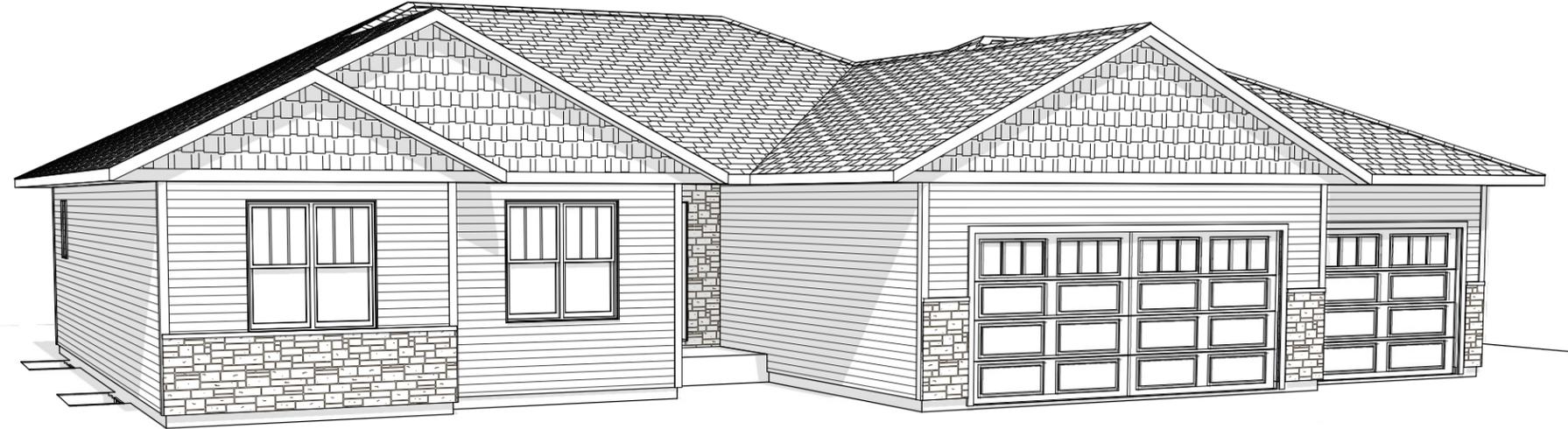
## GENERAL NOTES

- 1) ALL WORK SHALL BE PERFORMED WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION
- 2) THE CONTRACTOR SHALL EXAMINE THE PROJECT DRAWINGS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES FOUND BEFORE PROCEEDING WITH THE WORK.
- 3) THE CONTRACTOR SHALL VERIFY CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
- 4) EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. FOR THE COMPLETE CONSTRUCTION OF THE WORK INDICATED AS SPECIFIED BY THE DRAWINGS AND SPECIFICATIONS, UNLESS OTHER ARRANGEMENTS HAVE BEEN MADE BETWEEN CONTRACTOR AND CUSTOMER.
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- A9** -
- A10** -
- A11** -
- A12** -
- A13** -
- A14** -

# JOB 85



CHERRY MODEL

FINAL SET

JOB 85

8414 MAPLEFIELD WAY  
WESTON, WI

**Timber Ridge**  
B-U-I-L-D-E-R-S  
WESTON, WISCONSIN

DATE:

3/17/2025

DRAWN BY:

VDG : APV

SHEET:

**A-1**

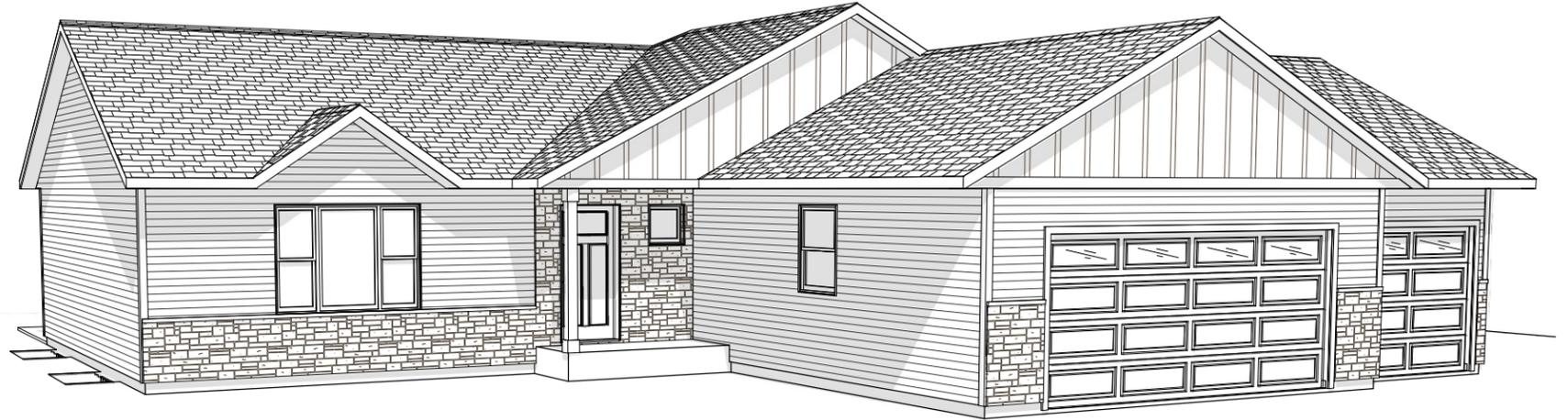
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- A12** -
- A13** -
- A14** -

# JOB 84



PEACH MODEL

FINAL SET

JOB 84

8410 MAPLEFIELD WAY  
WESTON, WI

**Timber Ridge**  
B-U-I-L-D-E-R-S  
WESTON, WISCONSIN

DATE:

3/17/2025

DRAWN BY:

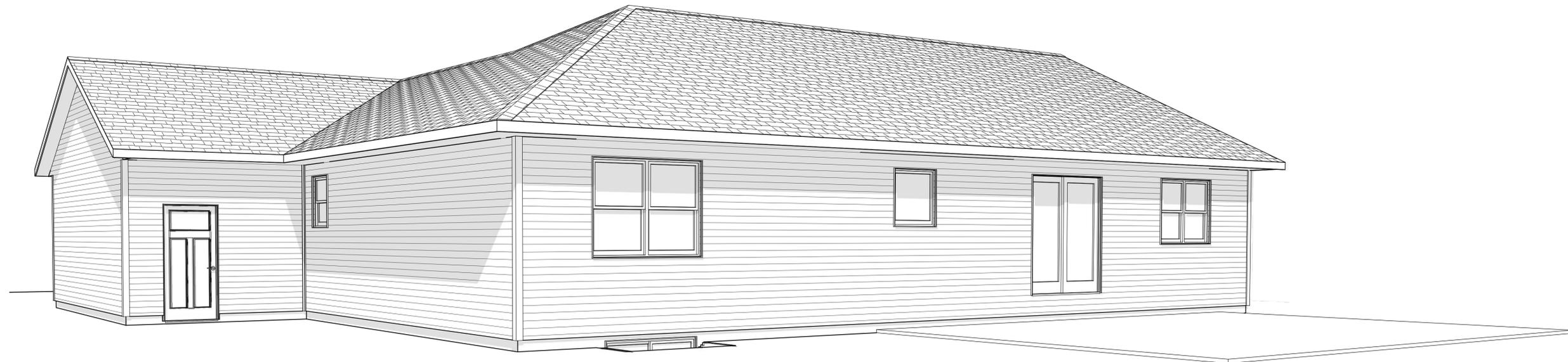
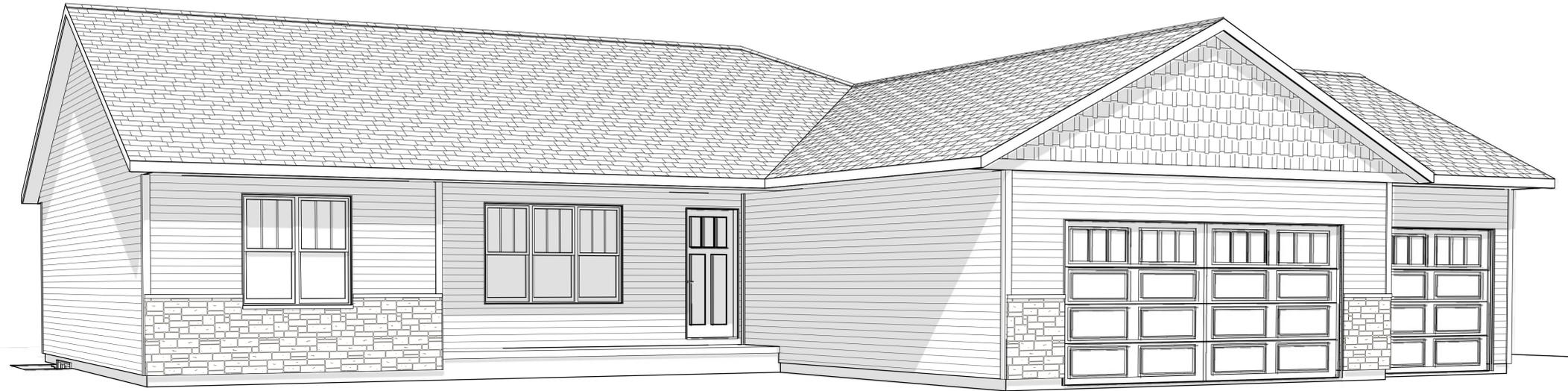
VDG : APV

SHEET:

**A-1**

# HS79 CUSTOM DAHLIA G1

8404 MAPLEFIELD WAY WESTON, WI



CUSTOM DAHLIA G1

FINAL SET

HS79

8404 MAPLEFIELD WAY  
WESTON, WI

Denyon Homes  
5309 Schofield Ave.  
Weston, WI 54476  
715.574.6005  
www.denyonhomes.com

**Denyon**  
HOMES

DATE:

6/19/2024

DRAWN BY:

VDG : APV

SHEET:

**A-1**

# REQUEST FOR CONSIDERATION

**Public Mtg/Date:** Plan Commission, June 6, 2025

**Description:** Project #20250223 – Site Plan Approval of a proposed Detached Accessory Structure (for Residential Use) that occupies land between the principal building on a residential lot and a street right of way at 8004 Lindenwood Ct per Sec. 94.4.09(2)(j). (Matthews)

**From:** Roman Maguire, Building Inspector  
Jennifer Higgins, Director of Planning & Zoning/Zoning Administrator

**Question:** Should the Plan Commission approve the site plan as requested by Karl Matthews for the construction of a Detached Accessory Structure (For Residential Use) that occupies land between the principal building on a residential lot and a street right of way at 8004 Lindenwood Ct per Sec. 94.4.09(2)(j)?

## BACKGROUND

Property owner at 8004 Lindenwood Ct, Karl Matthews, purchased an additional lot in the Linden Grove Subdivision south off of Weston Avenue and combined the two parcels via parcel combination to allow for building of a *Detached Accessory Structure (for Residential Use)* next to his home. The code section is listed below.

### **Sec. 94.4.09(2) Detached Accessory Structure (for Residential Use).**

An accessory structure serving a residential principal land use and building (e.g., a house or apartment building), but not attached to the principal building. Includes detached residential garages and carports (where permitted) designed primarily to shelter parked passenger vehicles, utility sheds as defined in Section 94.17.04, private recreation structures such as gazebos, and detached elevated decks or walkways associated with residential uses. All structures that are utilized for Agricultural Land Use Types (as listed in Section 94.4.03), that exceed 2,000 square feet in floor area, are within a rural and open space or RM zoning district, or are on parcels over 10 acres in area shall instead be regulated as a principal structure, and not as a “Detached Accessory Structure.”

### **Figure 4.09(2): Detached Accessory Structure (for Residential Use) Allowances**

Principal Land Use	Zoning District	Maximum Permitted Type and Quantity of Detached Accessory Structure <sup>1</sup>	Minimum Distance from Other Buildings <sup>2</sup>
Single-Family Detached Residence	FP, RM, AR and RR-5	Maximum of five <sup>3</sup>	10 feet
	Any other zoning district	1 Detached Garage; and 1 Utility Shed; and 1 Gazebo	10 feet
Two-Family Residence	Any district where principal building located	1 Utility Shed per Housing Unit	10 feet
Multi-Family Residence	Any district where principal building located	*As approved through Site Plan Procedures	10 feet
Manufactured Home or Mobile Home	MH	1 Utility Shed <sup>4</sup> and 1 Carport <sup>5</sup> or 1 Detached Garage <sup>6</sup>	5 feet from the accompanying home and 10 feet from all other buildings

<sup>1</sup>The terms detached garage, utility shed, gazebo and carport are defined in Section 94.17.04.  
<sup>2</sup> See Figures 5.01(1) and 5.01(2) for maximum floor areas, maximum lot coverage, minimum property line setbacks, and maximum heights relating to detached accessory buildings.  
<sup>3</sup> Except where approved by the Plan Commission as part of an approved site plan.  
<sup>4</sup> Each Utility Shed within the MH zoning district shall not be greater than 144 square feet in floor area with a 5-foot building separation.  
<sup>5</sup> Each Carport within the MH zoning district shall not be greater than 200 square feet in floor area with a maximum width of 10 feet.  
<sup>6</sup> Each Detached Garage within the MH zoning district shall not be greater than 344 square feet in floor area with a maximum width of 14 feet.

# REQUEST FOR CONSIDERATION

## Performance Standards:

- a. No Detached Accessory Structure (for Residential Use) shall be constructed on any lot prior to establishment of a principal use on that same lot.
- b. Except within the AR and RM zoning districts, no hoop building, tarp shed, or carport shall be a permitted as a Detached Accessory Structure (for Residential Use), except on a temporary basis for a maximum of five consecutive days within a 30-day period for a special event such as a sale on the property following issuance of a temporary use permit.
- c. The roof of each Detached Accessory Structure (for Residential Use), including those permitted under standard 2, shall be designed to withstand a minimum of a 40-pounds per square foot of snow load.
- d. All driveways built to serve Detached Accessory Structures (for Residential Use) are subject to associated standards under Section 94.12.08. Each Detached Accessory Structure (for Residential Use) shall be served by a driveway connected to a public road if used to shelter a motor vehicle or trailer, or where vegetative ground cover to an overhead door cannot be maintained in the determination of the Zoning Administrator or Building Inspector.
- e. The exterior walls of each Detached Accessory Structure (for Residential Use) shall be sided with wood, masonry, concrete, stucco, Masonite, horizontal vinyl or metal lap siding, or similar material approved by the Zoning Administrator. Vertical siding is also allowed in all RM and rural and open space zoning districts aside from RR-2. All exterior siding shall extend to the top of the foundation. If the top of the foundation is below grade, the siding shall extend to the ground.
- f. Roofs of Detached Accessory Structures (for Residential Use) shall be surfaced with any of the following materials: wood shakes; asphalt, composition, or wood shingles; clay, concrete or metal tiles; slate; built-up gravel materials; screw down metal roofing; rubber membrane (for flat roofs or roofs with no greater than a 1:12 pitch); or similar material approved by the Zoning Administrator.
- g. Pole or ladder constructed buildings shall be permitted only within the RM and rural and open space zoning districts, except for the RR-2 district, and shall be subject to subsections 5. and 6. of this section.
- h. No Detached Accessory Structure (for Residential Use) shall involve or include the conduct of any business, trade, or industry, except for home occupations and residential businesses as described and limited elsewhere in this Article 4.
- i. No Detached Accessory Structure (for Residential Use) shall be occupied as a dwelling unit or otherwise used for human habitation, unless it has first been approved for such use by the Building Inspector and meets all applicable requirements of the State for a dwelling and under Section 94.4.09(8).
- j. In all residential, RR-2 and non-residential and mixed-use zoning districts, and for all Multi-family Residences regardless of district, no portion of a Detached Accessory Structure (for Residential Use) shall occupy any land between the principal building on a residential lot and a street right-of-way, except where approved by the Plan Commission as part of an approved site plan.
- k. See Figures 5.01(1) and 5.01(2) for other setback, floor area, building height, and coverage standards associated with Detached Accessory Structures in residential zoning districts.

# REQUEST FOR CONSIDERATION

Maximum floor area and total building coverage shall not exceed the maximums set forth in Figure 5.01(1), except as allowed by a conditional use permit, subject to the procedures in Section 94.16.06 and all of the following standards for the Detached Accessory Structure:

1. Not taller or have more floors above ground level than the principal building.
  2. Has a similar roof slope and overhang width as the principal building. If the principal building has multiple roof slopes and/or overhang widths, the roof slopes and widths of the accessory structure shall reflect those principal building roof characteristics that are most visible from the public street.
  3. Shingles or other roof surface shall be of a similar material and color as the roof surface of the principal building.
  4. Siding shall be of a similar material and color as the siding on the principal building, except that where the siding on the principal building is stone or brick, another compatible material may be selected.
  5. May not be located further toward the front lot line than the principal building.
  6. Shall meet all setback requirements normally applicable to principal buildings per Figure 5.01(2).
1. Detached garages serving Multi-Family Residences shall be accompanied by a bufferyard meeting the requirements of Section 94.11.02(3)(d) between the garage and (a) the public right-of-way and (b) a property line abutting any residentially zoned property.

The garage is 768 sq ft, will match the look of his home, and meets all building setbacks and performance standards except (j) highlighted above. Mr. Matthews would like to extend a driveway off the existing driveway to a location that is higher on the lot to the east of the home. It also has better soil quality and would require less fill. Unfortunately, this location is in front of the existing home which per (j) allows the garage to occupy land between the principal structure and the street ROW only where approved by the Plan Commission as part of an approved site plan. Staff has no issues with this location. The property is located at the end of a cul de sac.

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**Attached Docs:** Site Plan and Building Elevations.

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**Committee Action:** None to date.

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**Fiscal Impact:** TBD

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**Recommendation:** Staff recommends approval.

## RECOMMENDED LANGUAGE FOR OFFICIAL ACTION

**I move to approve allowing a Detached Accessory Structure (for Residential Use) that occupies land between the principal building on a residential lot and a street right of way at 8004 Lindenwood Ct per Sec. 94.4.09(2)(j).**

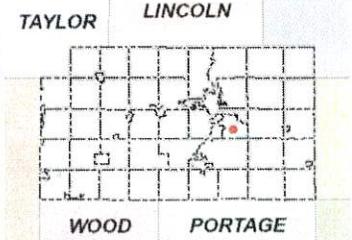
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**ADDITIONAL ACTION:** Notify applicant of [approval / denial] [Staff]

If approved, issuance of building permit [Staff]



# Land Information Mapping System



### Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities
- 2020 Orthos Countywide
  - Red: Band\_1
  - Green: Band\_2
  - Blue: Band\_3

Pre 2025

50.00 0 50.00 Feet



NAD\_1983\_HARN\_WISCRS\_Marathon\_County\_Feet

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

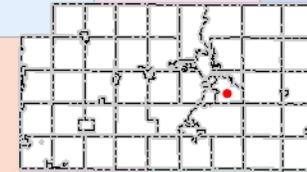
### Notes



# Land Information Mapping System

TAYLOR

LINCOLN



WOOD

PORTAGE



## Legend

- Road Names
- Parcels
- Parcel Lot Lines
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- Section Lines/Numbers
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New 2025

41.67 0 41.67 Feet



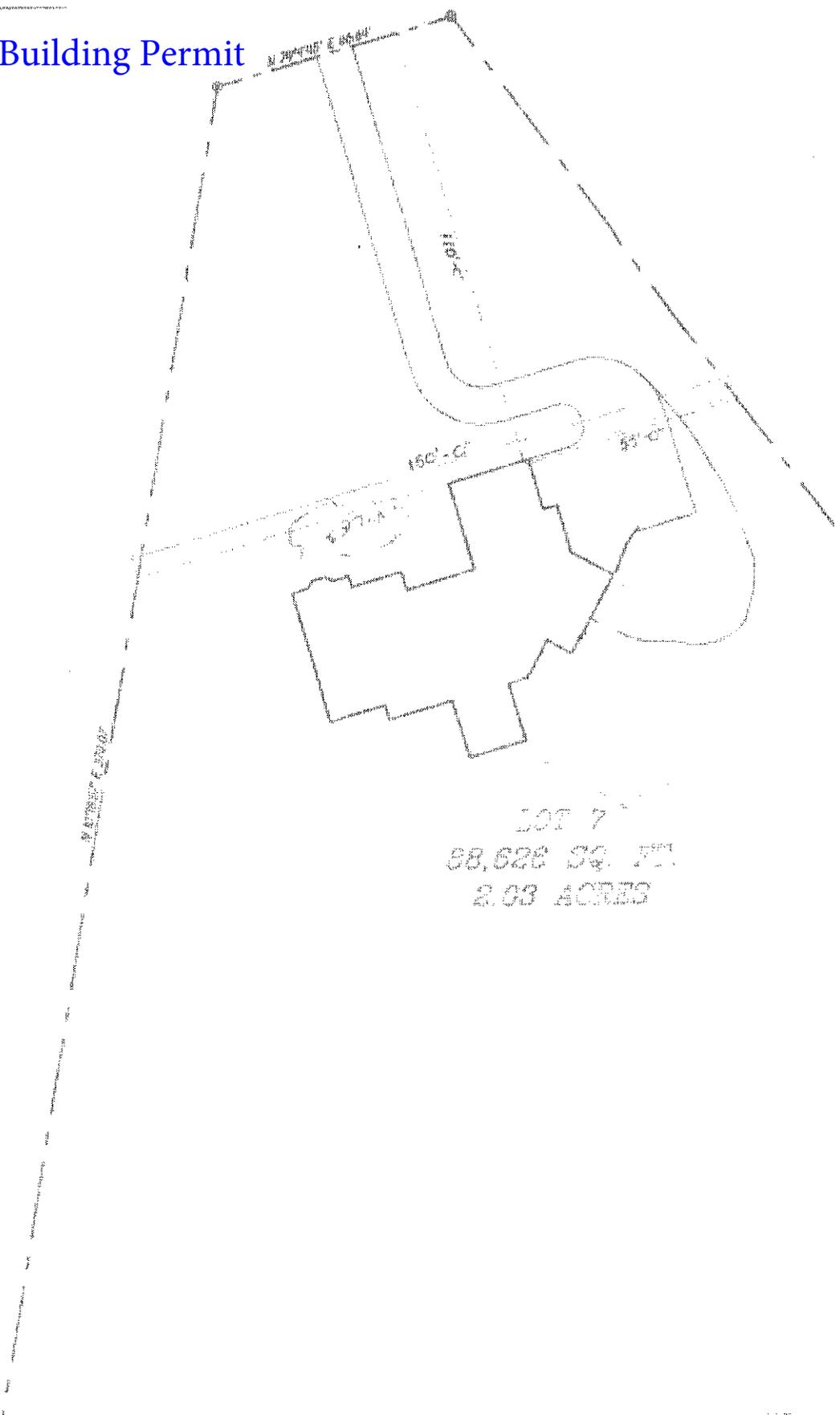
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## Notes

Original Site Plan from Building Permit



Jennifer Higgins  
Planning & Development Director

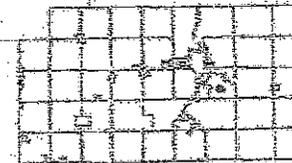


WAUSAU

# Land Information Mapping System

TAYLOR

LINCOLN

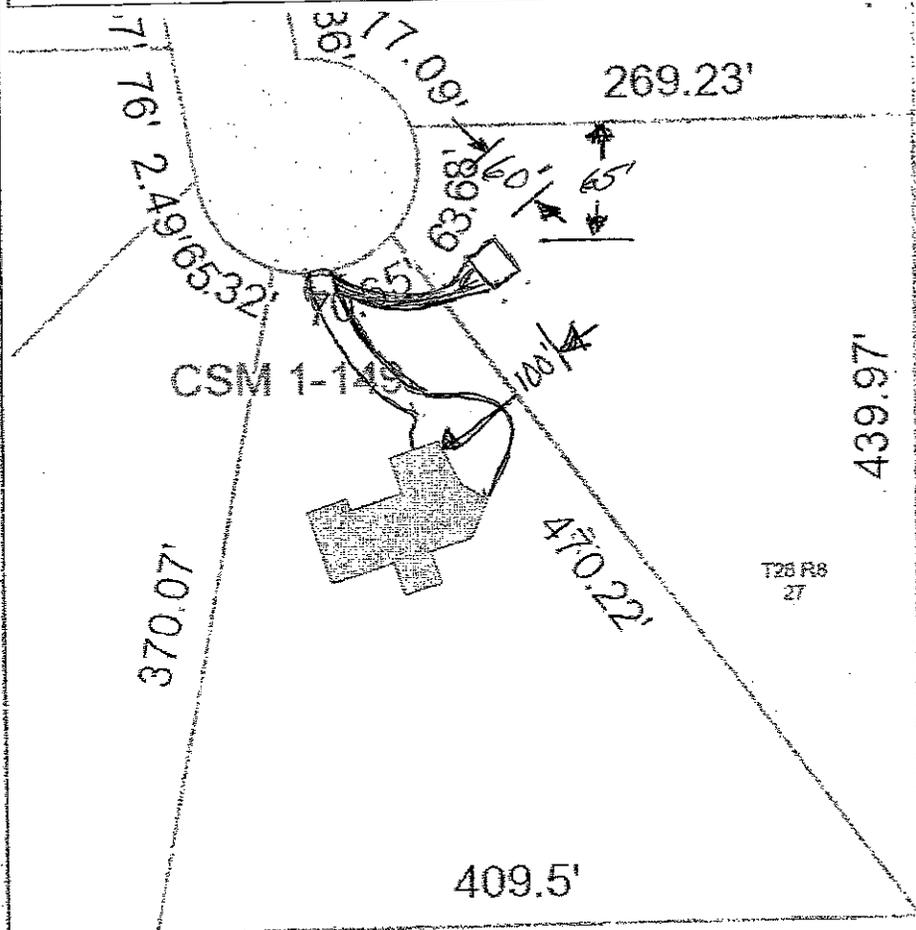


WOOD

PORTAGE

CSM 1-1

## Depicting Driveway Location



### Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- County-wide Buildings 2020
- Named Places
- Municipalities

659.7

50.00 0 50.00 Feet



NAD\_1983\_HARN\_WISCRS\_Marathon\_County\_Feet

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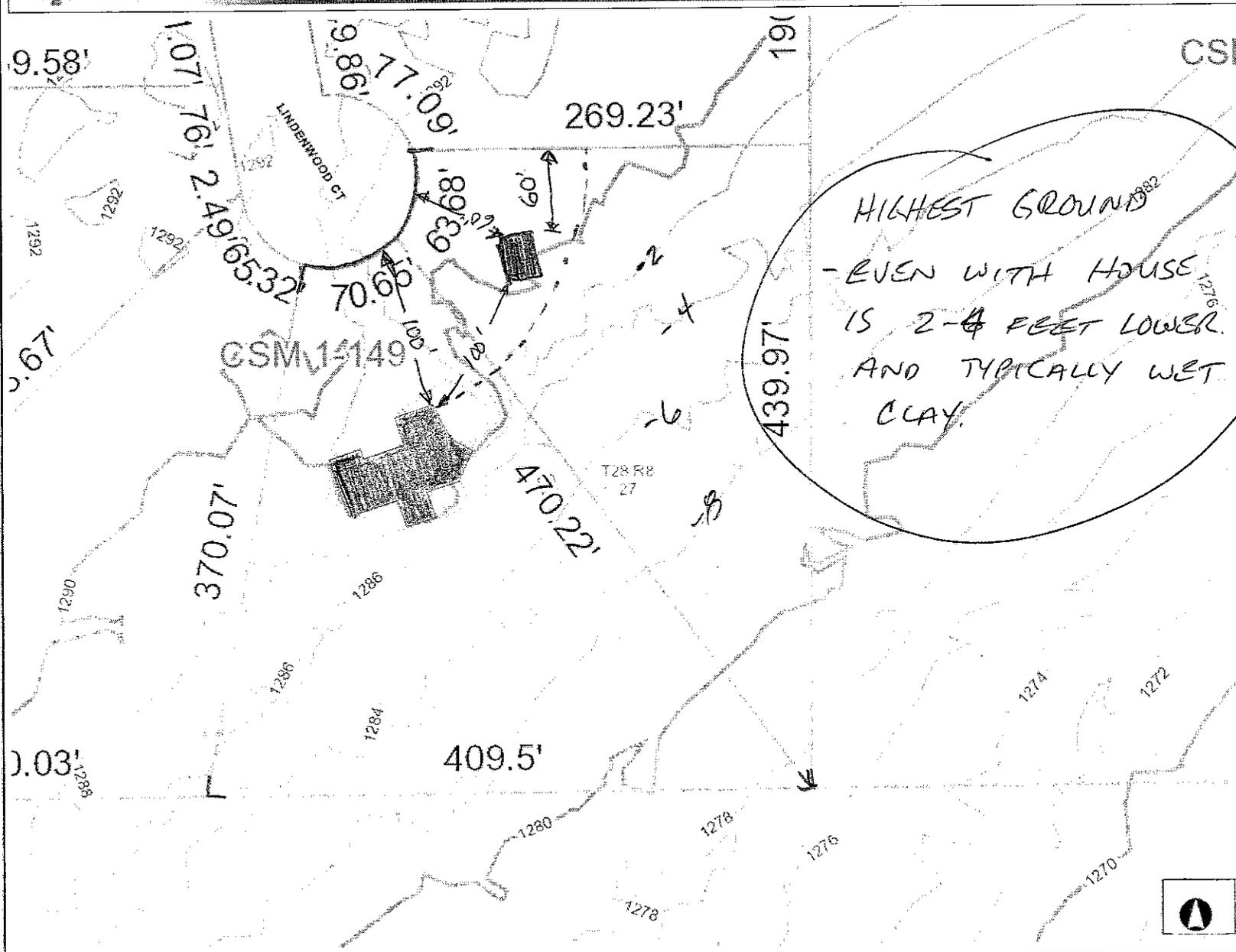
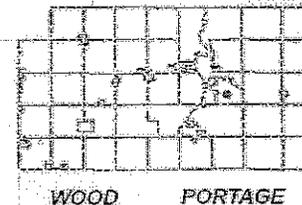


### Notes



# Land Information Mapping System

TAYLOR LINCOLN



## Legend

- Road Names
- ▭ Parcels
- ▭ Parcel Lot Lines
- Land Hooks
- ▭ Section Lines/Numbers
- ▭ Right Of Ways
- ▭ County-wide Buildings 2020
- ▭ Named Places
- ▭ Municipalities
- ▭ 2ft Contour Labels
- ▭ County-wide 2ft Contours (2012)
- ▭ Index
- ▭ Intermediate

50.00 0 50.00 Feet



NAD\_1983\_HARN\_WISCRS\_Marathon\_County\_Feet

**DISCLAIMER:** The information and depictions herein are for informational purposes and Marathon County-City of Wausau specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Marathon County-City of Wausau will not be responsible for any damages which result from third party use of the information and depictions herein or for use which ignores this warning.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

## Notes

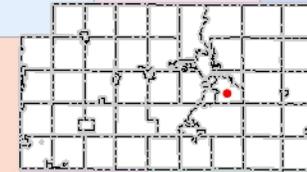




# Land Information Mapping System

TAYLOR

LINCOLN



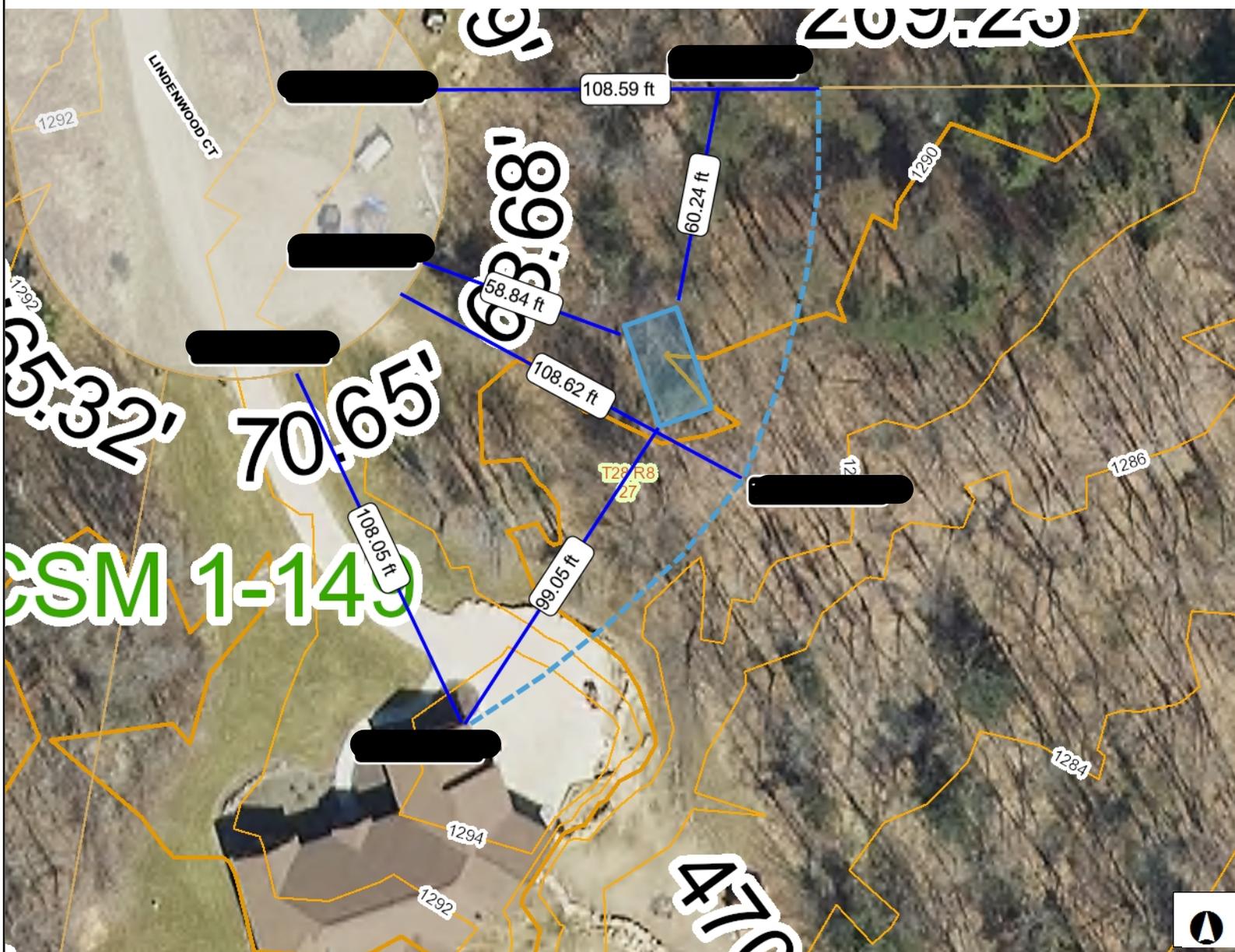
WOOD

PORTAGE

## Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities
- 2ft Contour Labels
- County-wide 2ft Contours (2012)
  - Index
  - Intermediate
- 2020 Orthos Countywide
  - Red: Band\_1
  - Green: Band\_2
  - Blue: Band\_3

Approximate building location  
\*White boxes are line distances for the line that the number is over.



20.83 0 20.83 Feet



NAD\_1983\_HARN\_WISCRS\_Marathon\_County\_Feet

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

## Notes



# Land Information Mapping System

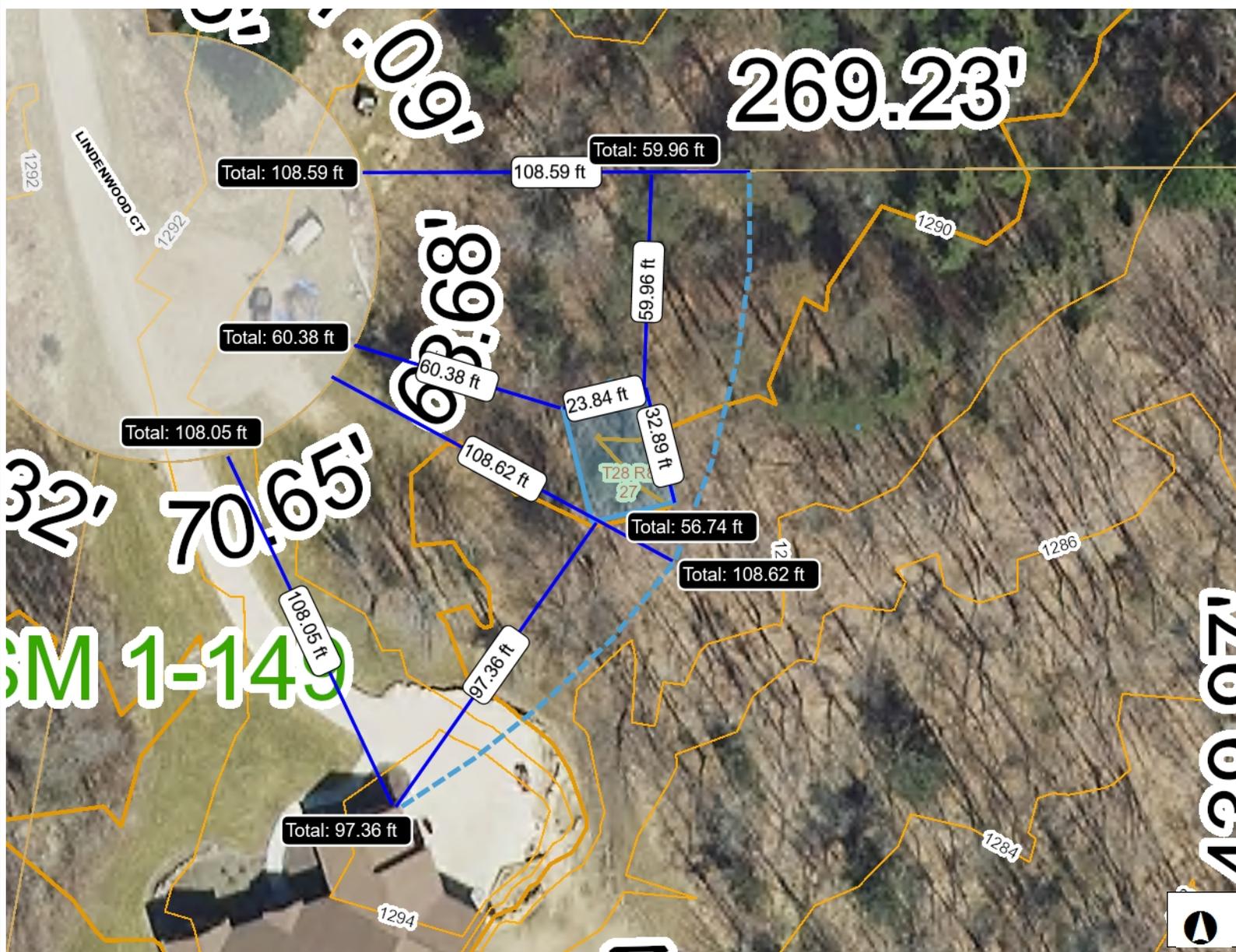
TAYLOR

LINCOLN



WOOD

PORTAGE



## Legend

- Road Names
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- Parcel Lot Lines
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  - Red: Band\_1
  - Green: Band\_2
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Approximate building location \*White boxes are line distances for the line that the number is over.

20.83 0 20.83 Feet



NAD\_1983\_HARN\_WISCRS\_Marathon\_County\_Feet

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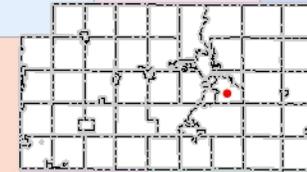
## Notes



# Land Information Mapping System

TAYLOR

LINCOLN

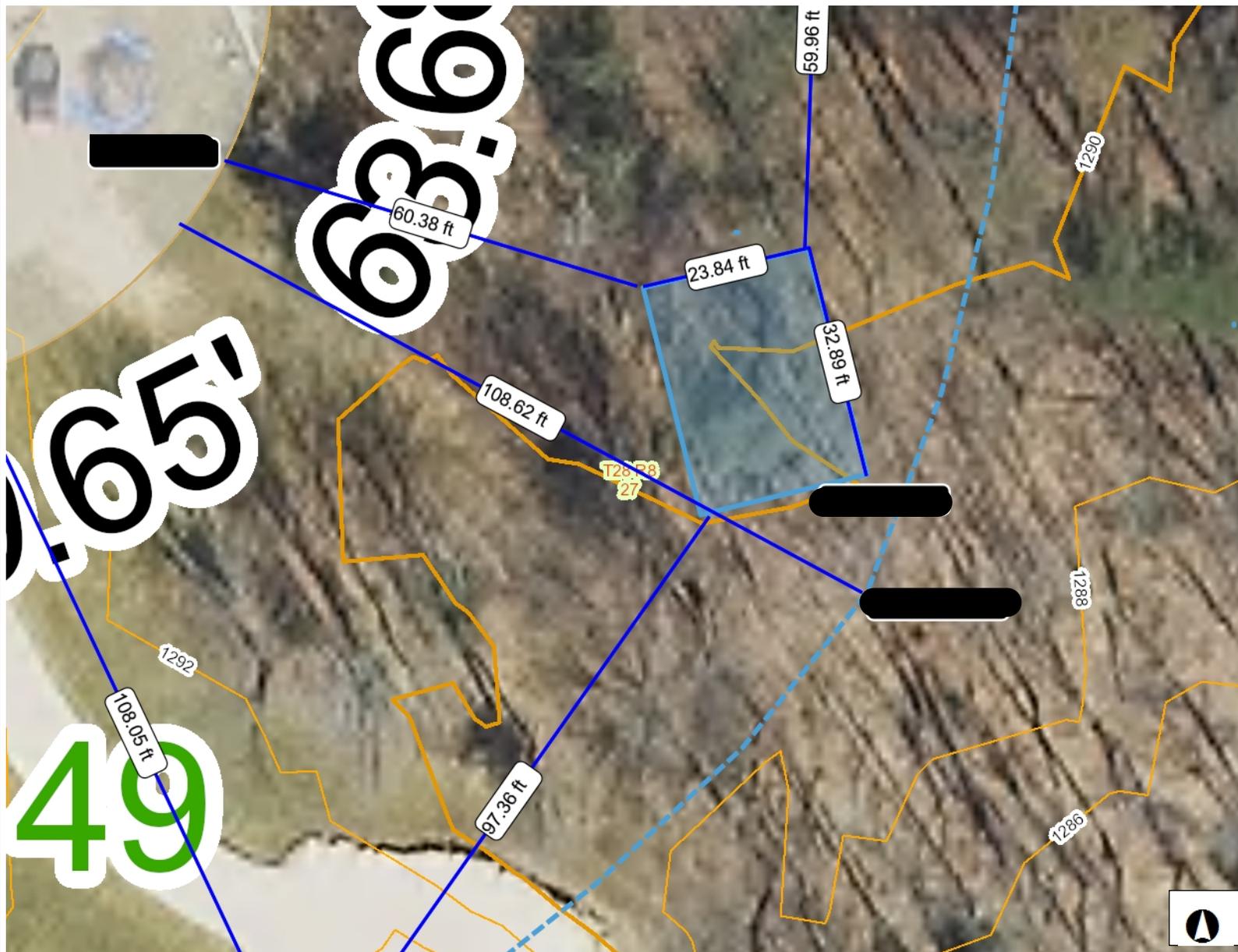


WOOD

PORTAGE

## Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities
- 2ft Contour Labels
- County-wide 2ft Contours (2012)
  - Index
  - Intermediate
- 2020 Orthos Countywide
  - Red: Band\_1
  - Green: Band\_2
  - Blue: Band\_3



10.42 0 10.42 Feet



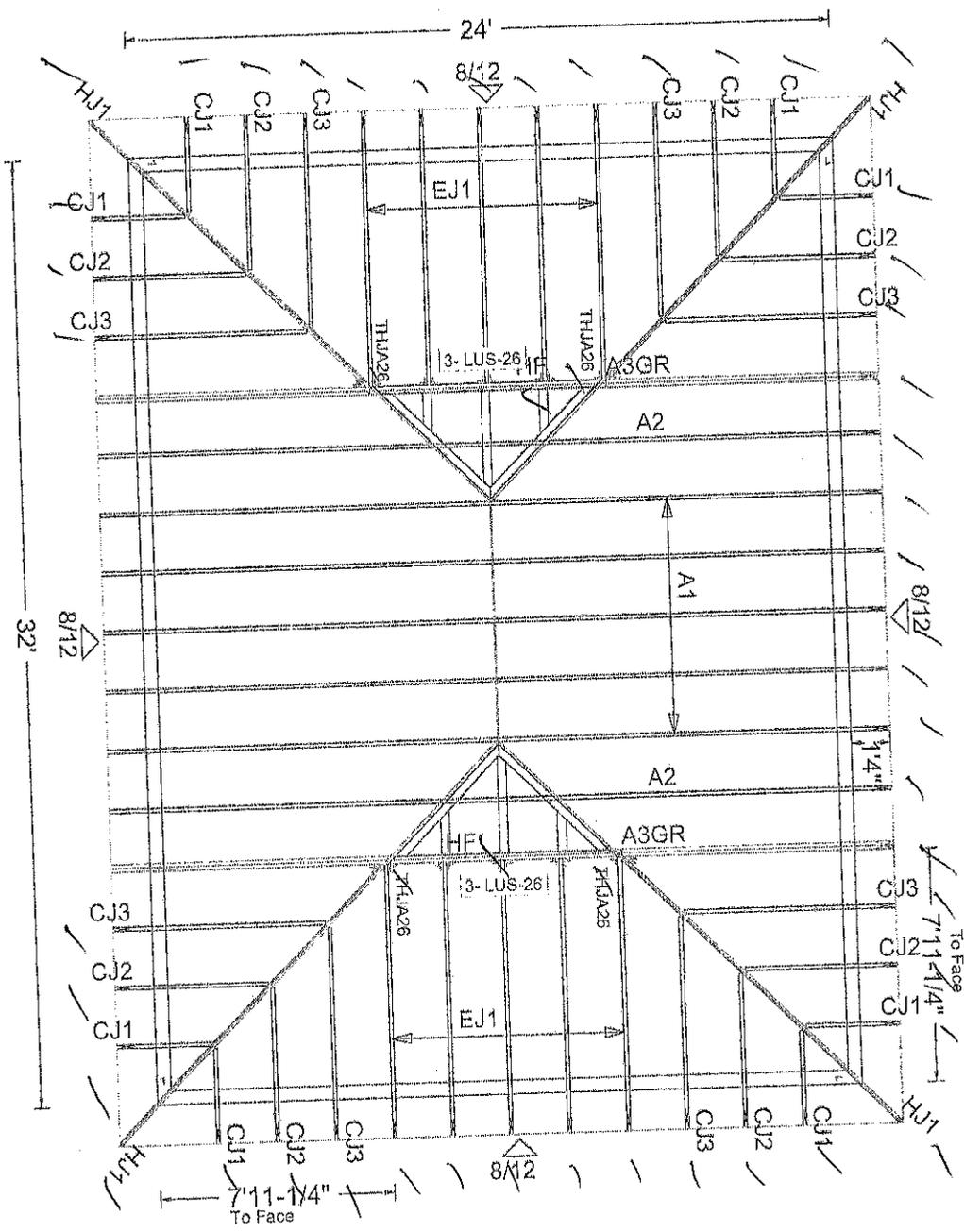
NAD\_1983\_HARN\_WISCRS\_Marathon\_County\_Feet

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**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

## Notes



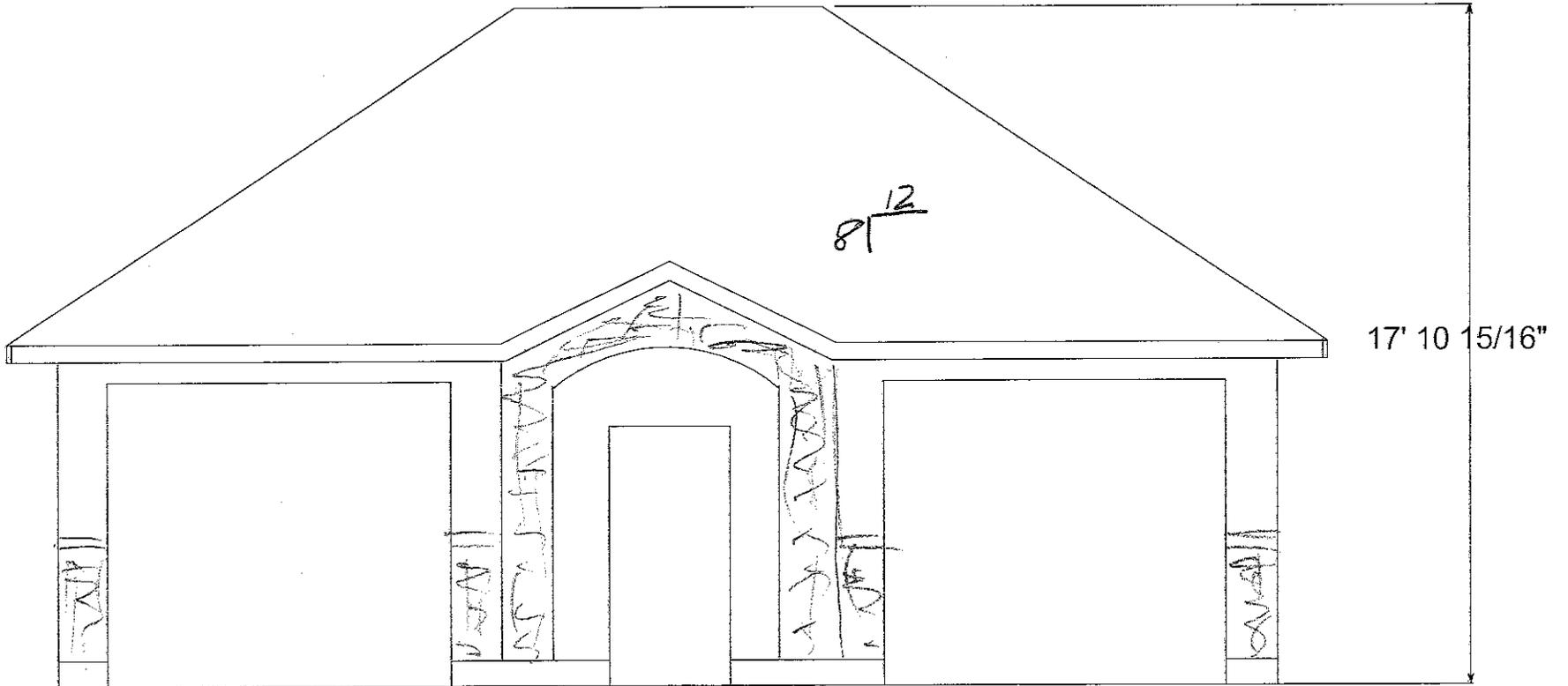


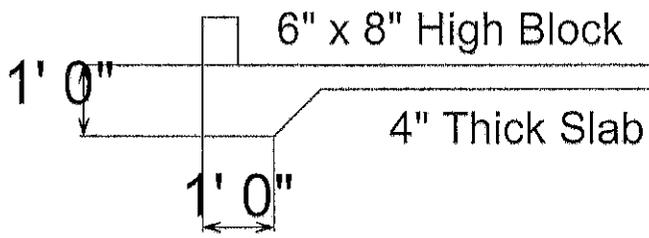
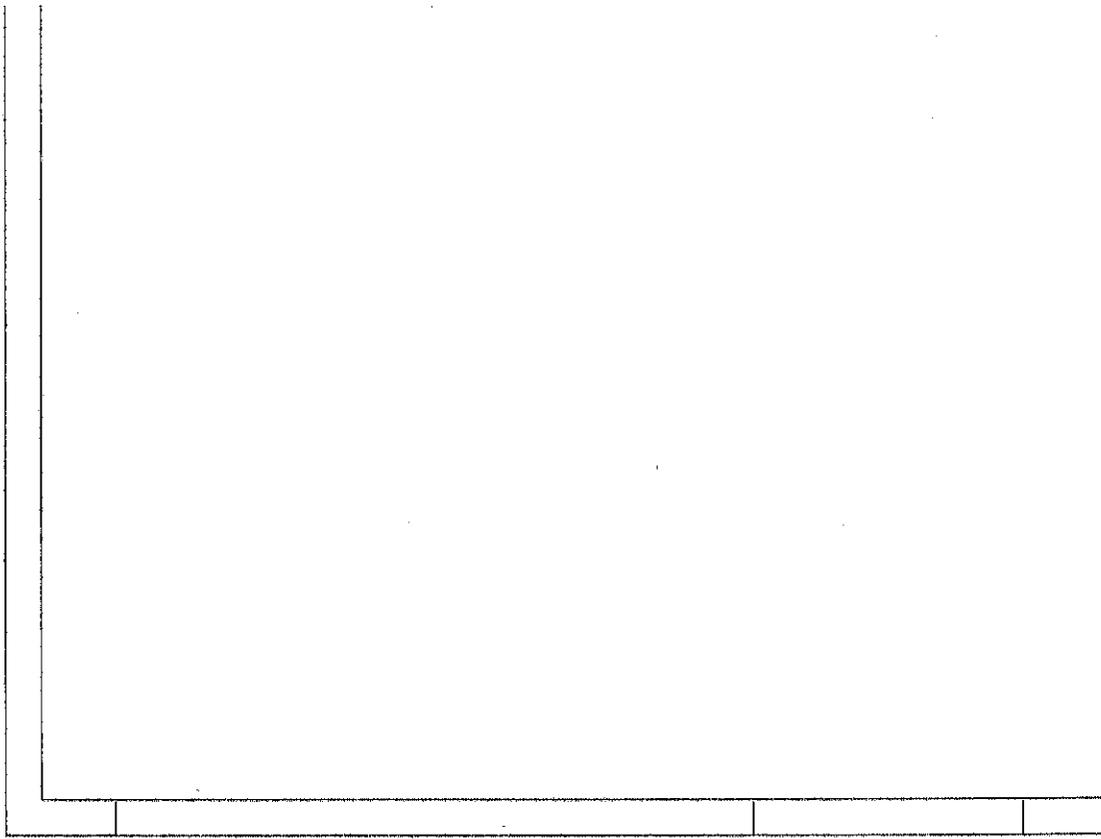
KARL MATTHEWS  
 8004 LINDENWOOD CT  
 WESTON, WI 54476  
 715-204-2034

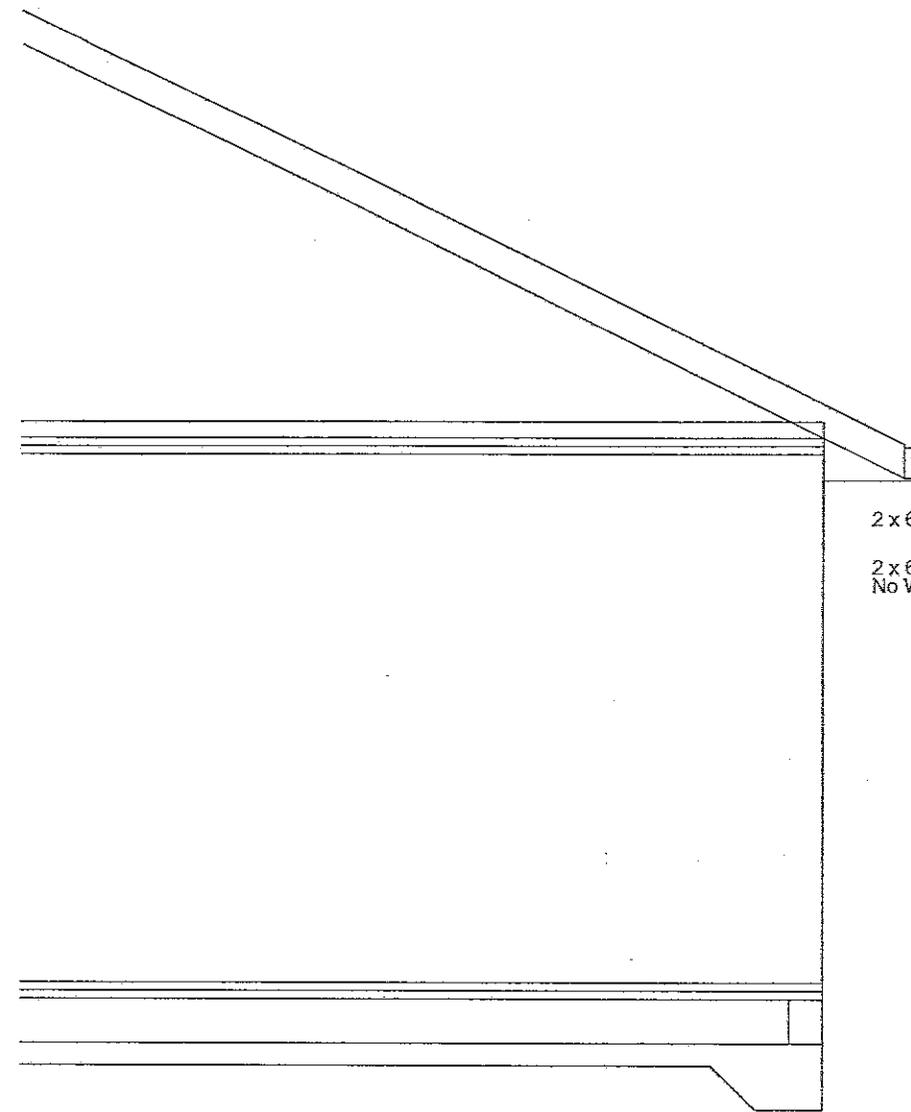
Total Truss Quantity = 51.  
 Roof Plane Sheathing Area = 1211 sq. ft  
 Total Sheathing Area = 1211 sq. ft  
 Fascia Material = 128 linear ft  
 Ridge Cap Material = 8 linear ft  
 Hip Ridge Material = 88 linear ft

PAGE NO: 1 OF 1	JOB NO: 136538V1	Job Number: 136538V1 Job Location: Buchkowski Lumber Co Job Name: Matthews 24x32, Karl Contractor: Layout By: Print Date: 04-15-2025	Roof Loading: 57=40-7-10 Floor Loading: Spacing: 24"OC Trussworks, Inc.: 11054 N Olson Rd: Hayward, WI 54843:	
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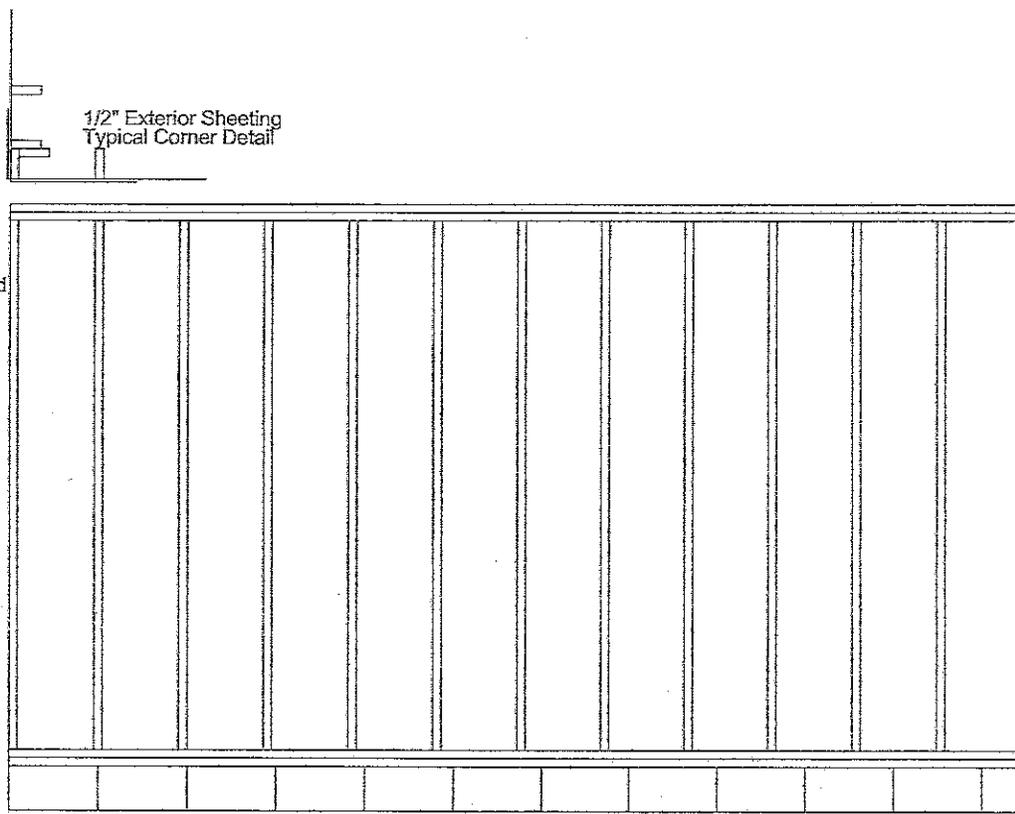
6 9



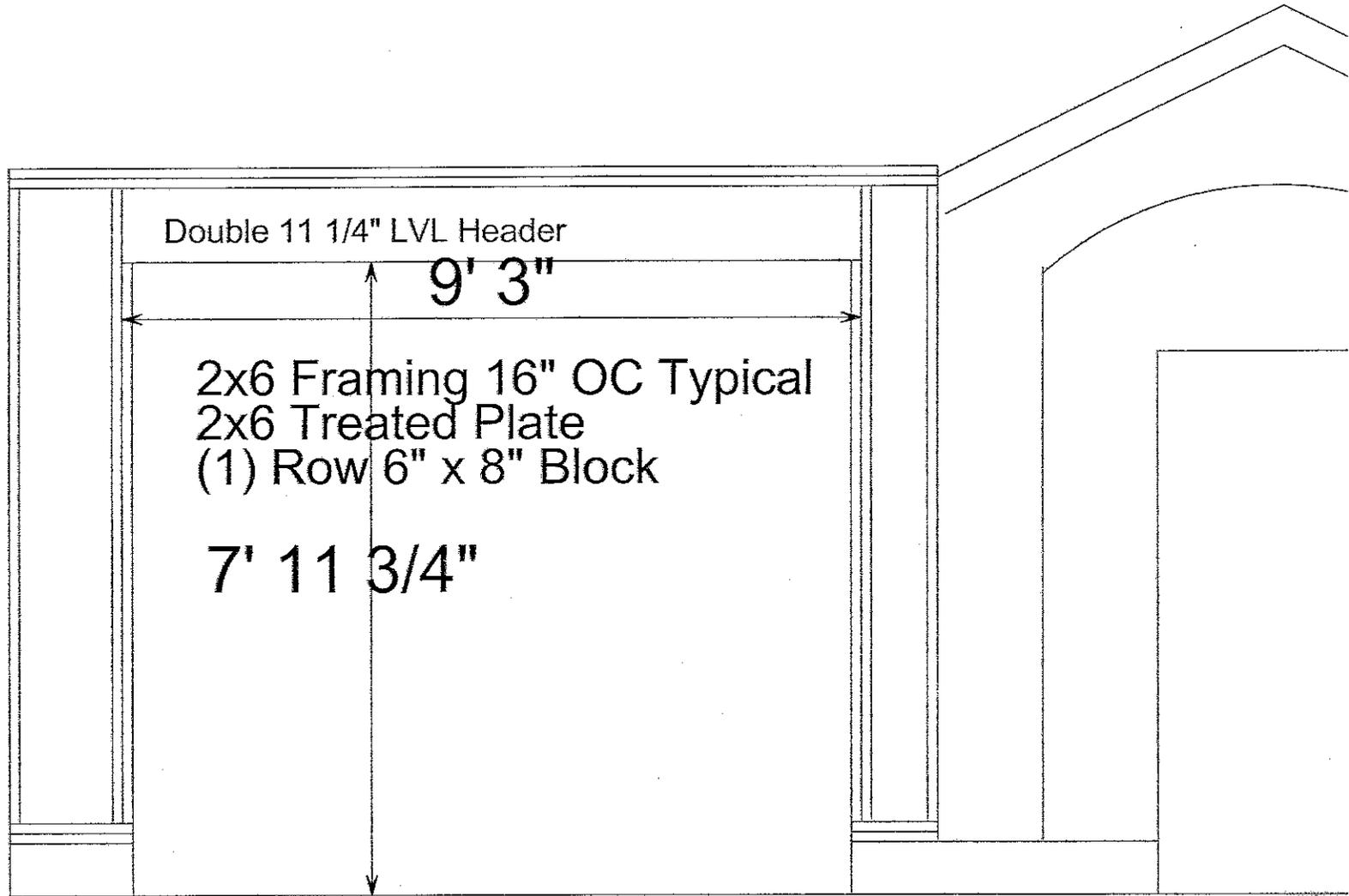




2 x 6 Facia Board  
2 x 6 16" OC  
No Windows



1/2" Exterior Sheeting  
Typical Corner Detail



VILLAGE OF WESTON, MARATHON COUNTY, WISCONSIN  
4747 CAMP PHILLIPS ROAD, WESTON, WI 54476  
REQUEST FOR CONSIDERATION

---

**Public Mtg/Date:** Plan Commission – June 9, 2025

---

**Description:** Acknowledge *2025 Village of Weston New Housing Fee Report* as required by Wisconsin Act 243.

---

**From:** Jennifer Higgins, Director of Planning & Development

---

**Question:** Should the Plan Commission Acknowledge the 2025 Village of Weston New Housing Fee Reports as prepared by staff and required by Wisconsin Act 243?

---

**Background**

On April 5, 2018, 2017 Wis. Act 243 was signed into law. When it was being developed in the Assembly it had been called the Developers bill (2017 AB 770) as it was sought by the WI Realtors & the WI Builders Associations. The main purpose of the bill was to limit municipal powers to regulate development and recover the cost of serving new development.

A requirement of the Act is to complete an annual report on our new housing fees. Please note, this is all related to housing only, not commercial fees. I have completed the *2025 Village of Weston New Housing Fee Report* and it is now ready for your review and acknowledgement. This report must be placed on our website and updated annually per WI state statutes.

---

**Attached Docs:** *2025 Village of Weston New Housing Fee Report*, Fee Schedule, 2024 WUBPA Permits Issued, 2024 Multi-Family Permits Issued

---

**Committee Action:** The Plan Commission reviewed and recommended approval of the draft Housing Assessment Report on 12/9/19 after a presentation by North Central Wisconsin Regional Planning Commission at the 10/14/19 PC meeting. The Board of Trustees took final action to approve the Report at their 12/16/19 meeting.

Acknowledged 2023 Village of Weston New Housing Fee Report at 5/8/2023 PC meeting.

Acknowledged 2024 Village of Weston New Housing Fee Report at 4/15/2024 PC meeting.

**VILLAGE OF WESTON, MARATHON COUNTY, WISCONSIN  
4747 CAMP PHILLIPS ROAD, WESTON, WI 54476  
REQUEST FOR CONSIDERATION**

**Fiscal Impact:** Staff time to compile data.

---

**Recommendation:** Staff recommends acknowledgement.

<b>Recommended Language for Official Action</b>
---

**I move to acknowledge the 2025 Village of Weston New Housing Fee Report as presented by staff.**

---

**Additional action:** Acknowledgment by BOT at 6/16/2025 meeting  
Post on Village Website (Staff)



**Village of Weston  
New Housing Fee Report – 2025**

**I. Purpose**

This annual fee report complies with the adopted New Housing Fee Report requirements enacted by 2017 WI Act 243 in Wis. Stat. 66.10014.

**II. Data Sources**

This report was prepared by Planning & Development staff for the calendar year ending December 31, 2024, using the adopted Village of Weston Fee Schedule. This report has been posted on the Village’s website ([www.westonwi.gov](http://www.westonwi.gov)) and has been shared with the Village’s Plan Commission and Village Board.

**III. Current Fee Schedule – 2025**

See attached [Exhibit A](#). It is also available on the Village’s website at [www.westonwi.gov/feeschedule](http://www.westonwi.gov/feeschedule).

**IV. Collected fees and fee per project – 2024\***

2024 WUBPA Permits Issued – see attached [Exhibit B](#).

2024 Multi-family Permits Issued – see attached [Exhibit C](#).

Type	Total Fees Collected	Fee per project
Rezone	\$750	\$250
Comprehensive Plan	\$0	\$0
Conditional Use Permit	\$2000	\$250
Zoning Board of Appeals	\$0	\$0
Street Vacation	\$0	\$0
Annexation	\$250	\$250
Certified Survey Map	\$600	\$50
Condo Plat Review	\$150	\$150
Subdivision Plat Review	\$0	\$0
Park & Rec Impact Fees previously known as Parkland Dedication Fees	\$13,400	\$353
Commercial Site Plan Review	\$4,100	\$410
Special Exception	\$100	\$100

\* Disclaimer...For record keeping purposes, projects are reported in the year in which they were permitted (approved). Projects approved in prior calendar years but completed and occupied in 2024 are not included in this report.

**V. Exclusions**

Only fees collected by the Village are reflected here, it does not include the most significant costs of residential development, including the cost of land, the cost of infrastructure, the cost of labor, and the cost of building materials.

The issue of housing affordability will be addressed in further detail in the Housing Affordability Report to be prepared later this year.

# FEE SCHEDULE

VILLAGE OF WESTON

# CLERK

## VILLAGE CLERK

Pam Brehm  
 (715) 241-2626  
[pbrehm@westonwi.gov](mailto:pbrehm@westonwi.gov)

## CLERKS DEPARTMENT

(715) 359-6114  
[clerks@westonwi.gov](mailto:clerks@westonwi.gov)

All credit/debit card transactions shall incur a 3.25% + \$1.00 convenience fee.  
 E-check transactions shall incur a \$.64 convenience fee.

ANIMAL LICENSING FEES		
Class	Fee Description	Fee
Animal Fancier	Foster Animal Rescue	NO FEE
	All Other Uses, Annual Fee	\$20.00 + Animal License Fee/Animal
Backyard chickens on residential lots	Annual Fee	\$35.00
Commercial Animal Establishment	Non-Municipal Animal Shelter	NO FEE
	Pet Shops/Store, Annual Fee	\$100.00
	All Other Uses, Annual Fee	\$100.00
Cats and Dogs	Unaltered, Annual Fee Cat (Prior to March 31)	\$10.00
	Altered, Annual Fee Cat (Prior to March 31)	\$5.00
	Unaltered, Annual Fee Dog (Prior to March 31)	\$20.00
	Altered, Annual Fee Dog (Prior to March 31)	\$10.00
	Late Fee (After March 31)	\$5.00
Kennel License	Annual Fee	\$100.00
Dangerous Animal License	Annual Registration Fee	\$250.00
	(After July 1 <sup>st</sup> )	\$125.00

BUSINESS LICENSING FEES		
Class	Fee Description	Fee
Adult Orientated Establishment	Annual Fee	\$1,000.00
Adult Escort	Annual Fee	\$300.00
Alcohol/Liquor	Class A Beer License	\$350.00
	Class A Combination Beer and Liquor	\$600.00
	Class B Beer License	\$100.00
	Class B Combination Beer and Liquor	\$600.00
	Class B Reserve Liquor	\$10,000.00
	Provisional Class A Beer, A Liquor, B Beer and B Liquor	\$15.00
	Class C Wine	\$100.00
	Temporary Class "B" (Picnic), Beer	\$10.00
	Temporary Class "B" (Picnic), Wine	\$10.00
	Change of Agent	\$10.00
Operator/Bartender	New Application	\$45.00
	Renewal	\$40.00
	Provisional	\$15.00
	Temporary	\$10.00
Cigarette	Annual Fee	\$100.00
Direct Sellers	Year	\$200.00
	6-Months	\$100.00
	Month	\$50.00

Hotel/Motel Establishment	Annual Fee	\$150.00
Junk/Salvage Yard	Annual Fee	\$300.00
Manufactured Home Park	Annual Fee	\$100.00 + \$2.00/lot over 50 lots
Mobile Food Vendor	Annual Fee	\$25.00
Pawnbroker	Annual Fee	\$210.00
	Billable Transaction	\$1.50/Transaction
Secondhand Article Dealers	Annual Dealer's Fee	\$27.50
	Annual Dealer Mall/Flea Market Fee	\$165.00
	Annual Secondhand Jewelry Dealer's Fee	\$30.00

#### WEIGHTS AND MEASURES

Class	Fee Description	Fee
Scales	Light Capacity Scale	\$6.00/device
	Medium Capacity Scale	\$12.00/device
	Heavy Capacity Scale	\$18.00/device
	Scanner	\$0.30/device
	Liquid Measuring Device	\$12.00/device
	High Speed Diesel Pump 20 gpm	\$18.00/device
	High Speed Diesel Pump 30 gpm	\$18.00/device
Penalties	Penalty for Non-Registered Devices	Additional \$30.00/device

#### OTHER SPECIAL FEES

Class	Fee Description	Fee
Public Record Requests	Assessment Letters	\$40.00/Request
	General Copy (Black and White)	\$.0135/Copy + Tax
	General Copy (Color)	\$/0.0632Copy + Tax
	Digital to Physical – DVD	\$0.13 (4.7 GB)
	Digital to Physical – Flash Drive	\$5.02 (8GB)
	Digital to Physical – Flash Drive	\$6.53 (16GB)
	Digital to Physical – Flash Drive	\$10.08 (32GB)
	Digital to Physical – Flash Drive	\$18.52 (64GB)
	Digital to Physical – Flash Drive	\$32.21 (128GB)
	Digital to Physical – Flash Drive	\$53.81 (500GB)
	Digital to Physical – Flash Drive	\$60.14 (1TB)
	Digital to Physical – Flash Drive	\$74.83 (2TB)
	Location Fees (can only charge if cost to locate is \$50 or more)	\$22.54/Hr.
	Paper to Digital and Digital to Digital	No charge
Garbage and Recycling	45/95-Gallon Collection, Annual Fee	\$167.00
	Garbage Bag Sticker	\$2.00
Room Tax	Imposed on fees received for furnishing rooms to transients	8% of gross receipts
Cable Franchise Fee	Imposed on gross revenue to each cable or video service provider	4% of gross revenue
Special Board Meeting Fee	Each Request	\$350.00

# DEPARTMENT OF PARKS, RECREATION AND FORESTRY

## PARKS, RECREATION AND FORESTRY DIRECTOR

Shawn Osterbrink  
(715) 241-2604

[sosterbrink@westonwi.gov](mailto:sosterbrink@westonwi.gov)

Please call 715-359-6114 for Park Rentals or visit <https://www.westonwi.gov/219/Rent-Reserve-Register> for online Park Rentals & Aquatic Center Registration.

All credit card transactions shall incur a 2.5% convenience fee, up to a maximum of \$5.00.

AQUATIC CENTER FEES		
Class	Fee Description	Fee
Daily Pass	Youth/Adult	\$5.00
	Senior Citizen (Age 62+)	\$2.00
	After 5:00PM (All Ages)	\$2.00
	Group Rate (50+)	\$3.00
Swim Lessons	Resident	\$35.00
	Non-Resident	\$40.00
Season Pass Fees	Individual, Resident	\$59.00
	Individual, w/ Rothschild, Resident	\$79.00
	Individual, Non-Resident	\$79.00
	Individual, w/ Rothschild, Non-Resident	\$99.00
	Family (up to 5), Resident	\$130.00
	Family (up to 5), w/ Rothschild, Resident	\$170.00
	Family (up to 5), Non-Resident	\$150.00
	Family (up to 5), w/ Rothschild, Non-Resident	\$190.00
	Senior Citizen (Age 62+), Resident	\$25.00
	Senior Citizen (Age 62+), Non-Resident	\$50.00
	Early Bird, Family (up to 5), Resident (up to 2 weeks prior to opening)	\$110.00
	Early Bird, Family (up to 5), Resident w/ Rothschild (up to 2 weeks prior to opening)	\$150.00
	Early Bird, Family (up to 5), Non-Resident (up to 2 weeks prior to opening)	\$130.00
Early Bird, Family (up to 5), Non-Resident w/Rothschild (up to 2 weeks prior to opening)	\$170.00	
Mid-Season, Family (up to 5)	\$70.00	
Mid-Season, Family (up to 5), w/ Rothschild	\$90.00	
Birthday Party	Minimum of 6 people	\$8.00/Person
Pool Rental (includes Rothschild) <i>8:30PM – 9:30PM or 8:30PM – 10:30PM time slots only.</i>	1 – 50 People w/ Water Slide	\$150.00/Hour
	51 – 75 People w/ Water Slide	\$175.00/Hour
	76 – 100 People w/ Water Slide	\$200.00/Hour
	Over 100 w/ Water Slide	\$200.00 + \$2.00/Person x 1-2 Hours
Programs	Water Aerobics	\$4.00
Special Events	Teen Night – General Public	\$4.00
	Teen Night – Season Passholder	\$2.00

PARK AND FACILITY RENTAL FEES		
Class	Fee Description	Fee
Facility Rental (Kennedy Hall)	Security Deposit - Always	\$50.00
	Private Party, Resident	\$75.00
	Private Party, Non-Resident	\$125.00
	Public Party	\$85.00

	Non-Profit Party, Resident	NO FEE
	Non-Profit Party, Non-Resident	\$75.00
	Weston-Based Youth, Children or Senior Citizen Group	NO FEE
Park Shelter Rental	Standard Security Deposit	\$25.00
	Business Security Deposit	\$50.00
	Family/Group Gatherings, Resident	\$60.00 + Tax
	Family/Group Gatherings, Non-Resident	\$85.00 + Tax
	Non-Profit, Resident	\$60.00 + Tax
	Non-Profit, Non-Resident	\$110.00 + Tax
	Business, Resident	\$160.00 + Tax
	Business, Non-Resident	\$310.00 + Tax
Field/Diamond Rental	Half Day Per Field/Diamond (4 hours)	\$40.00
	Full Day Per Field/Diamond (8 hours)	\$60.00
	5 Day Week Per Field/Diamond	\$250.00
	Weston Based Youth or Non-profit Groups	No charge

# DEPARTMENT OF PLANNING AND DEVELOPMENT

## DIRECTOR/ZONING ADMINISTRATOR

Jennifer Higgins  
 (715) 241-2638  
[jhiggins@westonwi.gov](mailto:jhiggins@westonwi.gov)

## BUILDING INSPECTOR

Jayson "Roman" Maguire  
 (715) 241-2619  
[rmaguire@westonwi.gov](mailto:rmaguire@westonwi.gov)

## PROPERTY INSPECTOR

Travis Meverden  
 (715) 241-2620  
[tmeverden@westonwi.gov](mailto:tmeverden@westonwi.gov)

## PLANNING TECHNICIAN

Valerie Parker  
 (715) 241-2607  
[vparker@westonwi.gov](mailto:vparker@westonwi.gov)

## PLANNING & DEVELOPMENT DEPARTMENT

(715) 241-2613  
[plandev@westonwi.gov](mailto:plandev@westonwi.gov)

Please note:

All fees within this section also pertain to the joint Town and Village of Weston Extraterritorial Zoning (ETZ) Area.

**Failure to obtain and file a permit or application shall result in a stop work order and the permit fees are TRIPLED.** Please visit The Planning and Development Department's Permit Applications page for permit applications and details at [www.westonwi.gov](http://www.westonwi.gov). [Permit & planning related applications may be applied for online at www.westonwi.gov/epermits](http://www.westonwi.gov/epermits). [If you have questions or would like to schedule appointments for inspections, please email plandev@westonwi.gov or call 715-241-2613.](mailto:plandev@westonwi.gov)

**All credit/debit card transactions shall incur a 3.25% + \$1.00 convenience fee.  
 E-check transactions shall incur a \$.64 convenience fee.**

PUBLIC HEARING FEES		
Class	Fee Description	Fee
Rezoning (Village and ETZ)	Map Amendment (Does not include PD & N)	\$350.00
	Text Amendment	\$300.00
Comprehensive Plan Amendment		\$500.00
Conditional Use	New	\$350.00
	Amendment to Conditional Use Permit	\$250.00
	Appeal of Decision to the Village Board	\$400.00
Planned Development or Neighborhood		\$500.00
Zoning Board of Appeals	Variance	\$400.00
	Interpretation	\$250.00
	Appeal of Decision	\$400.00
Street Vacation		\$500.00
Annexation		\$500.00 + \$50.00 per acre; \$1,500.00 maximum

MISCELLANEOUS		
Class	Fee Description	Fee
TIF Districts	TIF Application	\$1,000.00
	TIF Development Agreement Amendment	\$500.00/Revision
Recording/Filing Fees		\$50.00
Special Plan Commission Meeting		\$420.00

LAND DIVISION FEES		
Class	Fee Description	Fee
Certified Survey Map	Plat of Survey or Boundary Survey	\$50.00
	Extraterritorial Review	\$50.00
	Standard Certified Survey Map – no Street Dedication (Village & ETZ)	\$150.00
	Certified Survey Map with Street Dedication (PC, PW and Board) – (Village & ETZ)	\$350.00
Condo Plat Review	Condo Plat Review – 3 or less units	\$200.00
	Condo Plat Review – 4 or more units	\$500.00 + \$10.00/unit over 20
	Amendment or Revision	\$300.00 per Revision
Parcel Combination		\$50.00
Subdivision Plat Review	Concept Plat Review	\$200.00
	Preliminary Plat Review	\$500.00 + \$10.00/Lot over 20
	Final Plat Review	\$300.00 + \$10.00/Lot over 20
	Amendment or Revision	\$300.00/Revision
Park & Recreation Impact Fees	Single-Family Residence	\$300.00/Residential Unit
	Two-Family & Multiple family Residence	\$250.00/Unit
Consultant Review Fees		Cost

COMMERCIAL PERMIT FEES		
Class	Fee Description	Fee
Zoning and Occupancy	Zoning Permit	Included in Fees
	Occupancy Inspection and Certificate	\$75.00
	Add On: Occupancy Re-Inspection	+\$100.00
Site Plan Review	Minor Site Plan Amendment/Accessory Structure Plan Review	\$300.00
	Complete Site Plan Review < 1 acre	\$600.00
	Complete Site Plan Review > 1 acre	\$800.00
	New Construction – Large Retail/Commercial Services	\$850.00 + \$10.00/Acre over 10 Acres
	New Construction - Large Retail/Commercial Services over 75,000 ft <sup>2</sup>	\$1000 + \$10.00/Acre over 10 Acres
	Partial Site Plan Review or Amendment/Revision to approved Site Plan - General Site Plan showing setbacks, Architectural Review & Facade, Landscape Plan, Parking Lot Plan, Utility Plan, Grading Plan, Erosion Control, (Stormwater Agreement & Stormwater Plan – see Drainage review fees)	\$200.00 each as needed
	Add On: Consultant Fees	Cost
	Add On: Plan Commission Review Regular Meeting	\$200.00
	Add On: Plan Commission – Special Meeting	\$420.00
	Early Start Permit	Footings and Foundation
Building Permit	All Projects	\$.10/ft <sup>2</sup>
	Minimum Fee	\$100.00
	Maximum Fee	\$5,000.00
Drainage Review	Multiple Family Dwelling Units (3+ units)	\$200.00
	Multiple Family Dwelling Units (3+ units) (Over 1 acre)	\$300.00
	Commercial and Industrial	\$200.00
	Commercial and Industrial (Over 1 acre)	\$300.00

Electrical Permits <i>Minimum Fee \$100.00</i> <i>Maximum Fee \$5,000.00</i>	Multi-family (over 2 units) (new, additions & remodel)	\$0.11 per sq. ft. plus service size fee & additional metering fee (per meter) – (Min. fee \$100.00)
	Local Business, Institutional & Office Buildings (new, additions & remodel)	\$0.10 per sq. ft. plus service size fee & additional metering fee (per meter) – (Min. fee \$100.00)
	Manufacturing & Industrial Buildings (new, additions & remodel)	\$0.06 per sq. ft. plus service size fee & additional metering fee (per meter) – (Min. fee \$100.00)
	Warehouses (new, additions & remodel)	\$0.05 per sq. ft. plus service size fee & additional metering fee (per meter) – (Min. fee \$100.00)
	Building Shells (new)	\$0.05 per sq. ft. plus service size fee & additional metering fee (per meter) – (Min. fee \$100.00)
	Service Change – 200 AMPS, Single Meter	\$105.00
	Service Change – 400 AMPS, Single Meter	\$105.00
	Service Change – 600 AMPS, Single Meter	\$105.00
	Service Change – 800 AMPS, Single Meter	\$125.00
	Service Change – 1,000+ AMPS, Single Meter	\$150.00
Add On: Multiple Metering	+\$10.00/Meter	
Electrical Inspection Fees	Inspection Fee per Inspection (rounded up to nearest hour)	\$100.00/Hour
	Re-Inspection Fee – per Inspection	\$100.00
Solar Photovoltaic (PV)	Commercial Small (7.5 KW and less)	\$300.00
	Commercial Large (over 7.5 KW)	\$500.00
Plumbing Permit	All Projects	\$100.00
HVAC Permit	All Projects	\$100.00
Roofing Permit	All Projects	\$100.00
Cell Tower/Site Modifications	Class 1 - New – requires site plan approval	\$500.00
	Class 2 - Antennae & Electrical changes	\$200.00
Signs	Permanent, Wall Signs	\$50.00 + \$1.00/ft <sup>2</sup> over 50 ft <sup>2</sup>
	Permanent, Freestanding Signs (Single Business)	\$100.00 + \$1.00/ft <sup>2</sup> over 50 ft <sup>2</sup>
	Permanent, Development Signs (Multiple Businesses)	\$150.00 + \$1.00/ft <sup>2</sup> over 100 ft <sup>2</sup>
	Permanent, Freestanding or Development Sign Panel Replacement	\$50.00/Sign
	Face Copy Replacement Only, Existing Business	No Charge
	Add On: Electrical Inspection, New Signs/Lighting Upgrades/VMS	See Electrical Permit Fees
	One-Time Use Sign (60-day use max), Non-Residential (>32 and <=64 sq ft)	\$50.00/Sign
Special Exception (Signs)	\$250.00 + Cost of Sign Permit	
Parking Lots	Repaving/Resurfacing/Restriping	Permit included in site plan review fees.

### RESIDENTIAL PERMIT FEES

Class	Fee Description	Fee
Zoning and Occupancy	Zoning/Pre-Application Permit	Included
	Occupancy Inspection and Certificate	Included
Early Start Permit	Footings and Foundations	\$100.00
Building Permit	Plan Review - New One and Two-Family Residence (Includes Finished Floor Area and Garage Area)	\$300.00 + \$10.00/100 ft <sup>2</sup> over 1,500 ft <sup>2</sup>
	Inspection Fees - New One and Two-Family Residence (Includes Finished and Unfinished Floor Area and Garage Area)	\$600.00 + \$20.00/100 ft <sup>2</sup> over 1,500 ft <sup>2</sup>
	Add On: State of Wisconsin UDC Seal	\$40.00
	Manufactured Home Installation	\$200.00
	1 & 2 Family Interior Structural Remodel	\$100.00 + \$20.00/100 ft <sup>2</sup> over 200 ft <sup>2</sup> plus all plumbing, electric and HVAC fees if applicable
	1 & 2 Family Interior Non-Structural Remodel	\$50.00 + \$20.00/100 ft <sup>2</sup> over 200 ft <sup>2</sup> plus all plumbing, electric and HVAC fees if applicable
	Add On: Plumbing Inspection, Non-Structural/Structural Remodel	\$40.00
	Add On: Electrical Inspection, Non-Structural/Structural Remodel	\$40.00
	Add On: HVAC, Non-Structural/Structural Remodel	\$40.00
	Home Additions (Includes Plumbing, Electrical and HVAC)	\$200.00 + \$20.00/100 ft <sup>2</sup> over 200 ft <sup>2</sup>
Electrical	Attached Garage Addition (Principal Structure) (Includes Electrical, Plumbing and HVAC)	\$100.00 + \$20.00/100 ft <sup>2</sup> over 200 ft <sup>2</sup>
	Re-Roofing, Siding, Soffit and Fascia	\$50.00
	Electrical Service Upgrade/Relocate/Generator Installation	\$65.00
Solar Photovoltaic (PV)	Re-wiring/Circuit Extension/New Circuit – per circuit	\$10.00
	Residential Rooftop System	\$200
Plumbing	Residential Ground Mounted System	\$250
	Plumbing as Defined by the State of WI	\$50.00
HVAC	Installing/Replacing of Fireplace/Wood Stove/Furnace	\$50.00/Unit
Completion Surcharge	Single-Family Detached and Two-Family Residence	\$1,000.00
Re-Inspection Fees	<i>*Returned after completion and final inspection of both site and building.</i>	
	Charged after 1st failed inspection	\$75.00
	2 <sup>nd</sup> Re-inspection	\$150.00
Drainage Review	3 <sup>rd</sup> and Subsequent Re-inspections	\$200.00
	Single-Family Detached Residence/Zero Lot Line Structure	\$100.00
In-Home Business	Two-Family Residence	\$150.00
	Home Occupation Permit	\$50.00
	Residential Business Permit	\$100.00
	Residential Sign Permit	\$50.00

### MISCELLANEOUS PERMITS FEES

Class	Fee Description	Fee
Accessory Structure	Up to 200 ft <sup>2</sup> , Residential	\$40.00
	201 to 800 ft <sup>2</sup> , Residential	\$60.00 + \$0.10/ ft <sup>2</sup>

	Over 800 ft <sup>2</sup> , Residential	\$120.00 + \$0.20/ft <sup>2</sup>
	Non-Residential (Up to 2,000 ft <sup>2</sup> )	\$300.00 + \$0.20/ft <sup>2</sup> over 1000 ft <sup>2</sup>
	Add On: Plan Commission Review	+\$250.00
	Add On: Plumbing Inspection, Accessory Structure	+\$40.00
	Add On: Electrical Inspection, Accessory Structure	+\$40.00
	Add On: HVAC, Accessory Structure	+\$40.00
Driveway	New, Residential	\$75.00
	Resurfacing or Expansion, Residential (Excludes Seal Coat)	\$40.00
	Temporary, Residential	\$100.00
Deck	New/Alteration/Addition	\$75.00
	Repair (Re-decking with like material exempt from permit)	\$35.00
Fence	Residential	\$40.00
	Commercial, Institutional and Industrial	\$100.00
In-Ground Sprinkler	Residential	\$60.00
	Commercial, Institutional, and Industrial	\$100.00
Swimming Pool	Portable, Removed Annually	No Permit Required
	Permanent, Above Ground	\$60.00
	Permanent, In-Ground	\$100.00
	Hot Tub, Indoor/Outdoor, Residential	\$60.00
	Commercial Pool Indoor/Outdoor	\$200.00
	Commercial Hot Tub Indoor/Outdoor	\$200.00
Demolition	Principal Structure	\$150.00/Structure
	Accessory Structure	\$75.00/Structure
	Manufactured Homes	\$100.00/Structure
Shoreland	Shoreland Grading	\$220.00
	Shoreland Grading, Waterfront	\$300.00
	Cutting Vegetation	\$30.00
	Shoreland Zoning Permit	\$100.00
Shoreland Restoration	1 to 500 ft <sup>2</sup>	\$150.00
	501 to 1500 ft <sup>2</sup>	\$250.00
	1500+ ft <sup>2</sup>	\$350.00
Ponds	Decorative	No Permit Required
	Groundwater Pond	\$220.00
	Diked Pond	\$275.00
Temporary Use Permits	Outdoor Sales	\$50.00
	Outdoor Sales, Non-Profit	No Fee
	Outdoor Assembly or Special Event	\$100.00
	Contractor's Project Office	\$50.00
	Contractor's On-Site Equipment Storage Facility	\$50.00
	On-Site Real Estate's Office	\$50.00
	Relocatable Building	\$50.00
	Seasonal Outdoor Sales of Farm Products (Include Christmas Trees)	\$25.00
	Temporary Portable Storage Containers (Pods) - Residential	\$50.00
	Temporary Shelter	\$50.00
	Temporary Unscreened Outdoor Storage, Accessory to Industrial Use	\$50.00
	Add On: Police Department Background Check	+\$25.00
	Add On: Use of Tent	+\$25.00
	Add On: Plan Commission Review - Special Meeting	+\$420.00
Add On: Plan Commission Review - Regular Meeting	+\$200.00	
Miscellaneous	Fire/House Number Sign (includes installation & pole)	\$75.00
	Floodplain Zoning Permit	\$100.00
	Snow Shovel/Fine	\$100.00 + Cost
	Lawn Mowing/Fine	\$100.00 + Cost (1 <sup>st</sup> Mow)
		\$150.00 + Cost (2 <sup>nd</sup> Mow)
	\$200.00 + Cost (3 <sup>rd</sup> Mow)	
	\$250.00 + Cost (4 <sup>th</sup> Mow)	

	Due Process Hearing Fee	\$100.00
	Document Filing/Recording Fee	\$50.00
	Administrative Fee – charged in half hour increments	\$30.00
Streets and Public Property	Special Event on Public Property	\$100.00
	Add On: Police Department Assistance	+\$95.00/hour (2-hour minimum)
	Moving Permit, Principal Structures through Village	\$150.00
	Moving Permit, Principal Structures into Village (PC Approval)	\$200.00
	Moving Permit, Accessory Structures, Wide Load	\$50.00
	Road Excavation, Utility	\$75.00
	Road Excavation, Other	\$150.00
	Street Privilege for Construction Materials, 30-days	\$100.00
Zoning Compliance Letter	Residential	\$25.00
	Non-Residential (Multi-Family and Commercial)	\$150.00
Paper Copies and Look-Ups	Copy of Building Permit	\$0.0135/Page + tax (black & white) \$0.0632/Page + tax (color)
	Copy of Subdivision Code	\$10.00 + Tax
	Copy of Zoning Code	\$20.00 + Tax
	Copy of Village Map (8.5" x 11")	\$0.0135/Page + tax (black & white) \$0.0632/Page + tax (color)
	Copy of Village Map (11" x 17")	\$0.0135/Page + tax (black & white) \$0.0632/Page + tax (color)
	Copy of Black and White Village Maps (36" x 42")	\$5.00 + Tax
	Copy of Colored Village Maps (36" x 42")	\$11.00 + Tax
GIS Services	Elevations, 2ft Contours	\$150.00/Section
	Aerials, Color	\$200.00/Section
	Miscellaneous Digital Data	\$25.00/Shapefile
	Labor	\$40.00/Hour
	Data on Flash Drive (1 GB)	\$5.00/Drive

# MUNICIPAL UTILITIES

## DIRECTOR OF PUBLIC WORKS

Michael Wodalski

(715) 241-2636

[mwodalski@westonwi.gov](mailto:mwodalski@westonwi.gov)

Utility After Hours – (715) 359-2876

## UTILITY SUPERINTENDENT

Josh Swenson

(715) 241-2637

[jswenson@westonwi.gov](mailto:jswenson@westonwi.gov)

## UTILITY CLERK

Stacy Gilmeister

(715) 241-4534

[sgilmeister@westonwi.gov](mailto:sgilmeister@westonwi.gov)

### METER RATES AND FEES

Class	Fee Description	Fee
Sewer Meter Hookup	5/8" and 3/4" Meter	\$600.00
	1" Meter	\$1,500.00
	1 1/2" Meter	\$3,000.00
	2" Meter	\$5,000.00
	3" Meter	\$9,000.00
	4" Meter	\$15,000.00
	6" Meter	\$30,000.00
Lateral Inspections	Water	\$10.00/Lateral
	Sewer	\$40.00/Lateral
Sewer Base Rates	5/8" and 3/4" Meter	\$34.65/Quarter
	1" Meter	\$103.43/Quarter
	1 1/2" Meter	\$206.85/Quarter
	2" Meter	\$344.40/Quarter
	3" Meter	\$791.70/Quarter
	4" Meter	\$1,411.20/Quarter
	6" Meter	\$3,166.80/Quarter
	Volume Rate	+\$4.55/1,000gal of Metered Water
	Wastewater BOD's Exceeds 250 mg/L	*Additional Charges
	Wastewater Suspended Solids Exceeds 250 mg/L	*Additional Charges
Sanitary Sewer Connection w/o Metered Water Connection (Minimum)	\$111.00/Quarter	
Private Well Permit	Cross Connection Inspection	\$75.00
	Water Sample/Additional Water Samples	\$60.00
Water Rates and Fees	<a href="#">Public Service Commission Website – Weston Water Utility</a>	See PDF
Stormwater	1 ERU	\$17.50
	*Single Family Home = 1 ERU	
	*Duplex = 0.7 ERU per unit (1.4 ERU total)	
	*All non-residential properties charged based on 1 ERU = 3,338 Square Feet of Impervious Area	

# SAFER FIRE DEPARTMENT

## FIRE CHIEF

Josh Finke

(715) 355-6763

[jfinke@saferdistrict.org](mailto:jfinke@saferdistrict.org)

## Deputy Fire Chief

Eric Lang

(715) 355-6763

[elang@saferdistrict.org](mailto:elang@saferdistrict.org)

### EMERGENCY MEDICAL SERVICES FEES

Class	Fee Service Description	Fee
Emergency Medical Services	BLS Emergency-Resident	\$900.00
	BLS Emergency-Non-Resident	\$1,050.00
	ALS Emergency-Resident	\$1,075.00
	ALS Emergency Non-Resident	\$1,225.00
	ALS 2-Resident	\$1,475.00
	ALS 2-Non-Resident	\$1,625.00
	SCT-Resident	\$1,475.00
	SCT-Non Resident	\$1,625.00
	NICU	\$3,000.00
	Intercept	\$225.00
	No Transport BLS Resident	\$425.00
	No Transport BLS Non Resident	\$500.00
	No Transport ALS Resident	\$425.00
	No Transport ALS Non Resident	\$500.00
	BLS Care at Standby Event	\$50.00
	ALS Care at Standby Event	\$100.00
	Mileage-Resident	\$20.00
	Mileage-Non Resident	\$20.00
	Mileage IFT	\$20.00
	Oxygen	\$65.00
	EMS Standby-Ambulance	\$100.00/hr
	EMS Standby-SUV/UTV	\$75.00
	Wait Time	\$100.00
	Fire Standby (Engine or Truck crew of 3)	\$350.00
	Haz Mat Response/Large Fuel Spill Cleanup	\$500.00/per truck per hr. \$25.00/per FF hr.
	Fire Inspection 3rd and Subsequent	\$30.00
	Crash Response	\$500.00
	CPR Full	\$60.00
	CPR Refresher	\$40.00
	ACLS Full	\$150.00
	ACLS Refresher	\$75.00
	ACLS-EP	\$100.00
	PALS Full	\$150.00
	PALS Refresher	\$75.00
	CPR/First Aid	\$70.00
	EMS/Fire Report Admin Fee	-
False Fire Alarms (30 Day Period)	-	
First and Second Alarms	No Fee	
Third and Fourth Alarms	\$55.00	
Fifth thru Eighth Alarms	\$400.00	
Ninth and Subsequent Alarms	\$800.00	

# Exhibit B

## Permits Issued

Date From 1/1/2024 and Date To 12/31/2024 and Template WUBPA and Jurisdiction Village of Weston

Permit #	Templates	Permit Address	Parcel ID	Owner Name	Contractor	Finished Sq Ft	Issue Date	Valuation	
<b>Village of Weston</b>									
202400714	WUBPA	5707 FULLER ST, WESTON	1922808153097 3	BALSAM RIDGE LLC	PLEASANT VALLEY TREE FARM	1,280	05/13/2024	\$75,000	\$540.00
202400715	WUBPA	5707 FULLER ST, WESTON	1922808153097 3	BALSAM RIDGE LLC	PLEASANT VALLEY TREE FARM	1,280	05/13/2024	\$75,000	\$540.00
202401718	WUBPA	3801 GREEN PASTURES LN, WESTON	1922808291007 9	DENYON HOMES INC	Denyon Homes, Inc	938	10/14/2024	\$180,000	\$2,745.00
202401719	WUBPA	3805 GREEN PASTURES LN, WESTON	1922808291008 0	DENYON HOMES INC	Denyon Homes, Inc	938	10/14/2024	\$180,000	\$2,670.00
202400547	WUBPA	8950 HINNER SPRINGS DR, WESTON	1922808294004 8	DENYON HOMES INC	Denyon Homes, Inc	1,405	04/25/2024	\$194,250	\$1,935.00
202401666	WUBPA	3617 GREEN PASTURES LN, WESTON	1922808291006 3	DENYON HOMES INC	Denyon Homes, Inc	1,213	10/02/2024	\$195,000	\$1,835.00
202401667	WUBPA	3703 GREEN PASTURES LN, WESTON	1922808291006 4	DENYON HOMES INC	Denyon Homes, Inc	1,213	10/02/2024	\$196,000	\$1,865.00
202401668	WUBPA	3811 GREEN PASTURES LN, WESTON	1922808291008 1	DENYON HOMES INC	Denyon Homes, Inc	1,373	10/02/2024	\$210,000	\$2,010.00
202401669	WUBPA	3813 GREEN PASTURES LN, WESTON	1922808291008 2	DENYON HOMES INC	Denyon Homes, Inc	1,373	10/02/2024	\$210,000	\$1,980.00
202401027	WUBPA	8807 HINNER SPRINGS DR, WESTON	1922808294001 8	DENYON HOMES INC	Denyon Homes, Inc	1,541	06/24/2024	\$211,500	\$1,875.00
202400548	WUBPA	8956 HINNER SPRINGS DR, WESTON	1922808294004 9	DENYON HOMES INC	Denyon Homes, Inc	1,968	04/25/2024	\$219,000	\$2,045.00
202400546	WUBPA	8506 HINNER SPRINGS DR, WESTON	1922808294003 1	DENYON HOMES INC	Denyon Homes, Inc	1,968	04/25/2024	\$220,000	\$2,105.00

## Permits Issued

*Date From 1/1/2024 and Date To 12/31/2024 and Template WUBPA and Jurisdiction Village of Weston*

Permit #	Templates	Permit Address	Parcel ID	Owner Name	Contractor	Finished Sq Ft	Issue Date	Valuation	
202401028	WUBPA	8805 HINNER SPRINGS DR, WESTON	19228082940019	DENYON HOMES INC	Denyon Homes, Inc	1,560	06/24/2024	\$229,000	\$1,875.00
202401148	WUBPA	8708 HINNER SPRINGS DR, WESTON	19228082940038	DENYON HOMES INC	Denyon Homes, Inc	1,877	07/15/2024	\$240,750	\$2,175.00
202401150	WUBPA	8714 HINNER SPRINGS DR, WESTON	19228082940040	DENYON HOMES INC	Denyon Homes, Inc	2,018	07/15/2024	\$242,250	\$2,085.00
202401826	WUBPA	8414 MAPLEFIELD WAY, WESTON	19228082910071	DENYON HOMES INC	Denyon Homes, Inc	1,777	11/11/2024	\$243,000	\$1,590.00
202401201	WUBPA	8404 MAPLEFIELD WAY, WESTON	19228082910069	DENYON HOMES INC	Denyon Homes, Inc	1,938	07/24/2024	\$244,000	\$2,025.00
202401535	WUBPA	3501 GREEN PASTURES LN, WESTON	19228082910061	DENYON HOMES INC	Denyon Homes, Inc	1,373	09/12/2024	\$260,000	\$1,875.00
202401536	WUBPA	3503 GREEN PASTURES LN, WESTON	19228082910062	DENYON HOMES INC	Denyon Homes, Inc	1,373	09/12/2024	\$260,000	\$1,845.00
202400316	WUBPA	8402 HINNER SPRINGS DR, WESTON	19228082910049	DENYON HOMES INC	Denyon Homes, Inc	1,938	04/01/2024	\$260,000	\$2,085.00
202400352	WUBPA	8408 HINNER SPRINGS DR, WESTON	19228082910050	DENYON HOMES INC	Denyon Homes, Inc	2,037	04/04/2024	\$260,000	\$2,075.00
202400429	WUBPA	8412 HINNER SPRINGS DR, WESTON	19228082910051	DENYON HOMES INC	Denyon Homes, Inc	1,405	04/11/2024	\$260,000	\$1,450.00
202400128	WUBPA	8501 HINNER SPRINGS DR, WESTON	19228082910053	DENYON HOMES INC	Denyon Homes, Inc	1,405	02/22/2024	\$260,000	\$1,825.00
202400129	WUBPA	8413 HINNER SPRINGS DR, WESTON	19228082910054	DENYON HOMES INC	Denyon Homes, Inc	2,018	02/22/2024	\$260,000	\$2,085.00
202400161	WUBPA	8409 HINNER SPRINGS DR, WESTON	19228082910055	DENYON HOMES INC	Denyon Homes, Inc	1,938	02/29/2024	\$260,000	\$2,025.00
202400162	WUBPA	8403 HINNER SPRINGS DR, WESTON	19228082910056	DENYON HOMES INC	Denyon Homes, Inc	2,037	02/29/2024	\$260,000	\$3,135.00

# Permits Issued

*Date From 1/1/2024 and Date To 12/31/2024 and Template WUBPA and Jurisdiction Village of Weston*

Permit #	Templates	Permit Address	Parcel ID	Owner Name	Contractor	Finished Sq Ft	Issue Date	Valuation	
202400163	WUBPA	8323 HINNER SPRINGS DR, WESTON	19228082910057	DENYON HOMES INC	Denyon Homes, Inc	1,417	02/29/2024	\$260,000	\$1,885.00
202400164	WUBPA	8313 HINNER SPRINGS DR, WESTON	19228082910058	DENYON HOMES INC	Denyon Homes, Inc	1,297	02/29/2024	\$260,000	\$1,725.00
202400165	WUBPA	8307 HINNER SPRINGS DR, WESTON	19228082910059	DENYON HOMES INC	Denyon Homes, Inc	1,417	02/29/2024	\$260,000	\$1,825.00
202400332	WUBPA	8318 HINNER SPRINGS DR, WESTON	19228082910048	DENYON HOMES INC	Denyon Homes, Inc	1,541	04/03/2024	\$260,000	\$1,875.00
202401149	WUBPA	8710 HINNER SPRINGS DR, WESTON	19228082940039	DENYON HOMES INC	Denyon Homes, Inc	2,252	07/15/2024	\$264,750	\$2,205.00
202401167	WUBPA	8415 MAPLEFIELD WAY, WESTON	19228082910073	DENYON HOMES INC	Denyon Homes, Inc	2,252	07/17/2024	\$265,000	\$2,325.00
202401599	WUBPA	9407 ANASTASIA DR, WESTON	19228083420978	REEDY BUILDERS LLC	Reedy Builders	1,908	09/20/2024	\$325,000	\$2,385.00
202400333	WUBPA	7103 EXECUTIVE CT, WESTON	19228081510075	DENYON HOMES INC	Denyon Homes, Inc	2,990	04/03/2024	\$367,000	\$2,525.00
202401534	WUBPA	6502 CONNIE LN, WESTON	19228082110942	DENYON HOMES INC	Denyon Homes, Inc	2,990	09/12/2024	\$375,000	\$2,380.00
202401871	WUBPA	3404 MIRAGE LN, WESTON	19228083220213	DAVID PLISCH	JOHN CHRISTENSE N CONSTRUCTI ON	1,706	11/15/2024	\$380,000	\$2,715.00
202401837	WUBPA	5204 WINDING CREEK DR, WESTON	19228080910069	SCHOENFELDT FAMILY LEGACY TRUST		1,700	11/12/2024	\$440,000	\$3,115.00
202401888	WUBPA	5305 SHIRLEY AV, WESTON	19228082810016	LIVING LEGACY CONSTRUCTION LLC	Living Legacy Construction, LLC	2,104	11/21/2024	\$524,000	\$3,280.00
								Village of Weston Permits	38
								Village of Weston Permits	\$78,535
								Village of Weston Permits	\$9,685,500

# Permits Issued

*Date From 1/1/2024 and Date To 12/31/2024 and Template WUBPA and Jurisdiction Village of Weston*

Permit #	Templates	Permit Address	Parcel ID	Owner Name	Contractor	Finished Sq Ft	Issue Date	Valuation
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<b>Total Permits Issued</b>	<b>38</b>
<b>Total Permits Fees</b>	<b>\$78,535</b>
<b>Total Permits Valuation</b>	<b>\$9,685,500</b>
<b>Total Finished Sq Ft</b>	<b>64,758</b>

# Exhibit C

## Permits Issued

Date From 1/1/24 and Date To 12/31/24 and Template Multi Family and Jurisdiction Village of Weston

Permit #	Templates	Permit Address	Parcel ID	Owner Name	Contractor	Finished Sq Ft	Issue Date	Valuation
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### Village of Weston

202401884	Multi Family	1303 FOOTHILL AV, WESTON	1922808192005 1	KOBLE PROPERTIES LLC	Scherrer Construction Co, Inc		11/19/2024	\$1,200,000	\$2,784.00
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Village of Weston Permits	1
Village of Weston Permits	\$2,784
Village of Weston Permits	\$1,200,000

<b>Total Permits Issued</b>	<b>1</b>
<b>Total Permits Fees</b>	<b>\$2,784</b>
<b>Total Permits Valuation</b>	<b>\$1,200,000</b>
<b>Total Finished Sq Ft</b>	

VILLAGE OF WESTON, MARATHON COUNTY, WISCONSIN  
4747 CAMP PHILLIPS ROAD, WESTON, WI 54476  
REQUEST FOR CONSIDERATION

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**Public Mtg/Date:** Plan Commission – June 9, 2025

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**Description:** Acknowledge 2019-2025 *Village of Weston Housing Affordability Report* as required by Wisconsin Act 243.

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**From:** Jennifer Higgins, Director of Planning & Development

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**Question:** Should the Plan Commission Acknowledge the 2019 - 2025 Village of Weston Housing Affordability Reports as prepared by the NCWRPC & staff and required by Wisconsin Act 243?

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**Background**

In 2018, the Wisconsin State Legislature approved new legislation that requires villages and cities of 10,000 population or more to provide, prepare and post a “Housing Affordability Report” to report on development activity and analyze the impact of their residential development regulations on the cost of developing new housing.

This report must be placed on our website and updated annually per WI state statutes. We have created a separate webpage on our website for these Housing Affordability Reports. <https://westonwi.gov/954/Housing-Affordability-Report>

The original report was completed in 2019 and updated in 2020 & 2021 by the RPC. Due to short staffing in 2022 & 2023 these updates were missed. Earlier this year we worked with the RPC to update the Report and put it in a format that could easily be updated by staff each year. This new report completed by the RPC fills the 2022 through 2025 gap we had and also includes 2019 – 2021 data. Going forward staff will be able to update this document easily with new data.

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**Attached Docs:** 2025 *Village of Weston Housing Affordability Report*

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**Committee Action:**

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**Fiscal Impact:** TBD

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**Recommendation:** Staff recommends acknowledgement.

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**Recommended Language for Official Action**

**VILLAGE OF WESTON, MARATHON COUNTY, WISCONSIN  
4747 CAMP PHILLIPS ROAD, WESTON, WI 54476  
REQUEST FOR CONSIDERATION**

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**I move to acknowledge the 2025 Village of Weston Housing Affordability Report as presented by staff.**

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**Additional action:** Acknowledgment by BOT at 6/16/2025 meeting  
Post on Village Website (Staff) - completed

# Housing Affordability Report Village of Weston, Wisconsin

## Introduction

[Wisconsin State Statute 66.10013](#) mandates that municipalities with 10,000 or more prepare a Housing Affordability Report that is to be updated each year. This report is based upon the implementation of the Village's 2024 Comprehensive Plan's Housing Element, which has the overall goal:

*“Weston will accommodate more housing, quality and affordable housing choices, and attractive neighborhoods—all of which to support families, older residents, and our local workforce and contribute to a welcoming and interactive community.”*

2019 Wisconsin Act 243 required the Village of Weston to prepare a report by the end of the year, which was followed by several updates. In 2022, the Village participated in [the Wausau Metropolitan Housing Assessment](#) led by North Central Wisconsin Regional Planning Commission, which forms the basis for the Village's future housing efforts together with the Comprehensive Plan. Therefore, this Housing Affordability Report provides a template to meet the annual updates required under 66.10013 while summarizing the affordability strategies and programs in the two documents. This document will be updated and posted to the Village's website every year based on the previous year's data per [Wis. Stats. 66.10013\(3\)](#).

This report was created by the North Central Wisconsin Regional Planning Commission (NCWRPC), 210 McClellan St Suite 210, Wausau, WI 54403. For more information, see [www.ncwrpc.org](http://www.ncwrpc.org).

## Housing Affordability Analysis

Wis. Stats. 66.10013(2)(e) requires the Village to analyze the following aspects of housing development:

- [Residential Development Regulations](#) such as land use controls and site improvement requirements
- [Fees and land dedication requirements](#)
- [Permit procedures](#).

The Village must then identify ways to modify construction and development regulations, lot sizes, approval processes, and related fees to meet forecasted demand and reduce the time and cost necessary to approve and develop a new residential subdivision in the municipality by 20 percent.

### Residential Development Regulations

The Village of Weston has both zoning and subdivision ordinances that require preliminary plats, final plats, certified survey maps, land use controls, and design standards. There are requirements for paved streets and driveways, sidewalks, curbs, gutters, lighting, storm sewers, sanitary sewers, and water mains. Five-foot sidewalks are required on both sides of arterial, collector, and local roads, with at least one tree for every 100 feet of frontage on a public right-of-way. This provides walkability, safety, and environmental benefits.

There are several residential zoning districts: RR-2, RR-5, SF-L, SF-S, 2F, MF, and MH. There are additional non-residential zoning districts that allow some residential uses: AR, FP, B-1, B-2, B-3, BP, and RM. Finally, there are Planned Development (PD) and Neighborhood (N) special zoning districts that allow more flexibility and

creativity with varied housing styles, but they have stricter architectural standards and a different review process. See the Village's website for a list of zoning district [fact sheets](#). Past NCWRPC housing studies have found that **reduced setbacks, lot sizes, and street widths can lower prices by 10 to 25 percent** because less land and fewer feet of road, sewer, and water pipes are needed per dwelling unit, though these cost reductions are less pronounced the smaller the subdivision is.

In general, each zoning district has a robust number of regulations that limit housing options within each district, but the availability of a wide variety of zoning districts still enables varied housing units of different prices and styles that area builders commonly build. For example, minimum widths and roof pitches in single family zoning districts would prohibit manufactured homes because of their typical dimensions, but the MH district allows manufactured homes to be built elsewhere. Manufactured homes are the most affordable owner-occupied housing.

#### **Recommendations to reduce development costs include:**

- Reducing form-based requirements (garage orientation, roof pitch, etc.).
- Reduce minimum standards (square footage per unit, parking spaces per unit, large single family lot sizes).
- Reduce excess architectural standards for Planned Development (PD) and Neighborhood (N) Zoning Districts to increase the likelihood they will be used to provide a variety of affordable housing styles.
- Explore higher-density residential districts near existing high-volume roads in locations that are walkable to jobs and amenities, rather than in existing lower density neighborhoods.
- Consider rezoning commercial areas for residential housing or enabling more housing units in nonresidential zoning districts that are appropriate.
- Maintain a Comprehensive Plan with an updated housing chapter to qualify for various programs that can reduce the cost of development.
- Maintain a Comprehensive Plan and other planning documents (e.g., corridor plans) to clearly identify suitable areas for residential land uses.
- Utilize the funding programs, housing strategies, and recommendations in the [2022 Wausau Metropolitan Housing Assessment](#).

#### **Fees and Land Dedication Requirements**

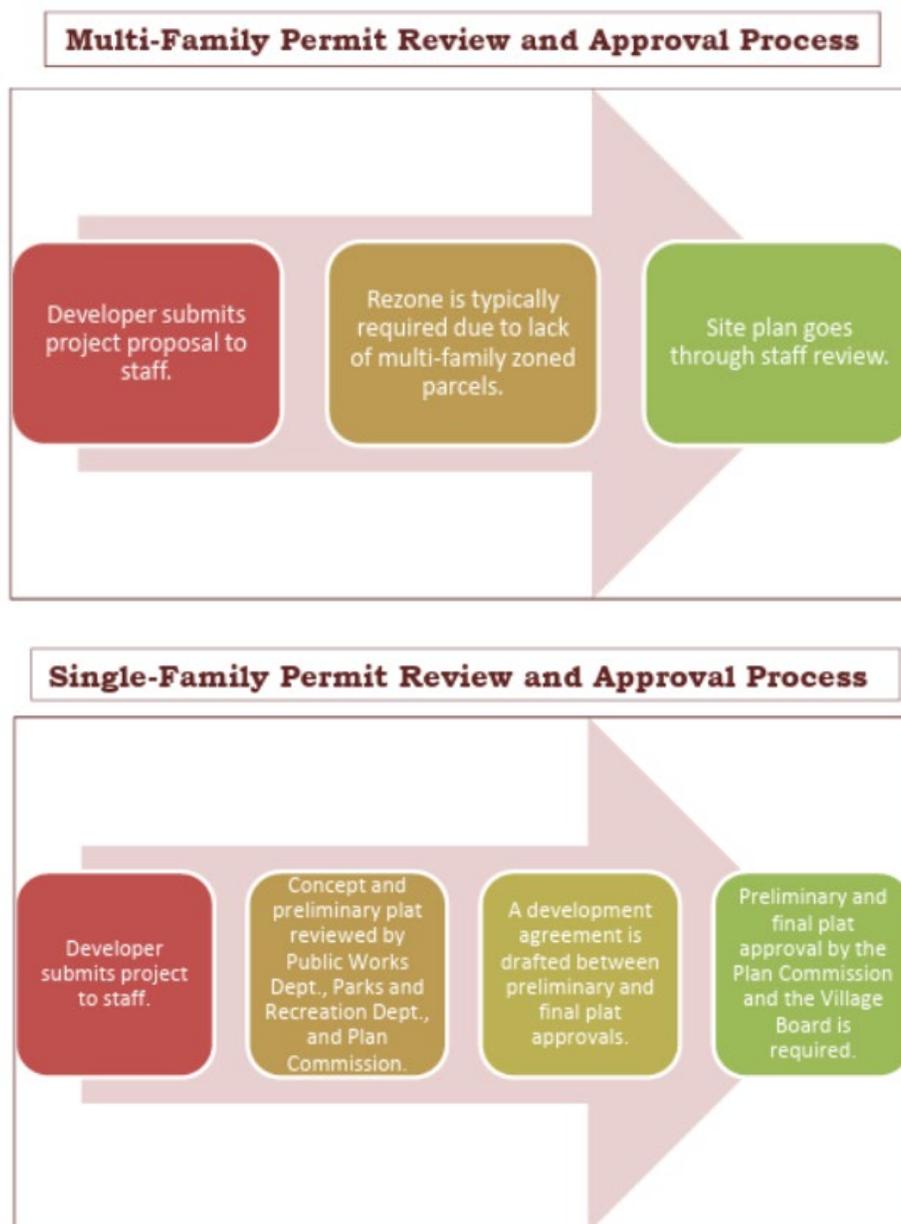
The Village requires park dedication for all new residential dwelling units based on the type and number of proposed units divided by 100 persons per 1.2 acres. Alternately, park dedication fees are paid, which are posted to the Village's website each year. These requirements are needed to promote public health and welfare, to ensure orderly and beneficial growth, to protect property values, and to ensure adequate and safe provision of water, sewage treatment, streets, parks, and environmental protection.

#### **Recommendations to reduce fee and land dedication requirements:**

- Maintain a Comprehensive Outdoor Recreation Plan (CORP) as well as other studies related to services and utilities to ensure dedication fees and property taxes are allocated efficiently.
- Utilize the CORP and other studies to obtain grants or other programs to reduce construction and maintenance costs.
- Prioritize maintaining the quality of existing facilities, infrastructure, and services over expansion that increases the burden on fees and property taxes.

## Permit Procedures

The Village has various processes depending on the development proposed, which often involve Plan Commission and Village Board involvement. The Village has a track record of being development-friendly through projects like its Comprehensive Plan, Weston Avenue Corridor Plan, Schofield Avenue Corridor Plan and County Road X Corridor Plan. These plans promote new development that uses existing infrastructure, reducing infrastructure costs and tax burden, which contributes to housing affordability. These plans also identify areas for future housing, which communicates to the public that new development is to be expected. Developments also do not need to be approved by various sub-committees, which can be common in larger municipalities. This means that developers save time and money as there are fewer steps and fewer opportunities for the public to oppose development during the process, contributing to housing affordability. The Village's development review processes are summarized in the graphics below:



### Recommendations related to permitting procedures:

- Maintain the Village’s procedures that avoid lengthy approvals
- Continue to survey developers and use feedback to simplify and/or expedite the process
- Continue to monitor programs and strategies that the Village may qualify for that make developing in the Village more feasible and affordable.

### Forecasted Demand

The 2022 Wausau Metropolitan Housing Assessment forecasted housing needs for the Village as well as 7 other municipalities: The Villages of Kronenwetter, Maine, Marathon City, Rib Mountain, and Rothschild, as well as the Cities of Schofield and Wausau. Although the study has forecasts for each individual community, it notes that development in any of them is supported because the regional demand is high in the near-term. Additionally, the 2024 Village of Weston Comprehensive Plan supports expanding the Village’s housing options. Below are the regional and Village totals, which predict the Village absorbing nearly half of the regional demand. Additionally, projected acreage from the 2021 Weston Housing Affordability Report was included to illustrate demand for land. Note that the years 2020 and before were subtracted and numbers were adjusted to show the demand for each five-year increment, rather than a cumulative total.

<b>Category</b>	<b>2025</b>	<b>2030</b>	<b>2035</b>	<b>2040</b>	<b>Total</b>
Village of Weston Projected Units	775	476	414	330	<b>1,995</b>
All 8 Municipalities Projected Units	2,077	1,153	854	446	<b>4,531</b>
2021 Village Land Projections (acres)	328	314	273	217	<b>1,132</b>

*Source: 2022 Wausau Metropolitan Housing Assessment and 2024 Weston Comprehensive Plan*

Since this five-year period of housing unit demand began (2020-2025), the Village has approved at least 319 new housing units, primarily in the Green Tree Acres development north of Ross Avenue near Machmueller Park (88 units) and the Hinners Springs subdivision (83 single-family, 12 two-family, and 28 townhome units). The Stone Gate Condominiums, which were platted prior to the 2022 Assessment, have also seen several new units built. Recently, a 10-lot subdivision called Arrowhead Estates First Addition was also approved on the Village’s eastern border. Though this is well below the forecasted need of 775 units needed between 2020 and 2025, this is second only to the City of Wausau in the total number of units permitted of all municipalities in the study area, highlighting Weston’s ability to rapidly approve attainable housing. Continuing to implement the recommendations in this report ensures that the Village can continue approving needed units.

### Time and Cost Reductions

There are opportunities to amend existing ordinances, maximize the use of existing fees and dedication requirements, and refine permitting processes as laid out in this report’s recommendations that will reduce residential development time and costs. The goal specified in Wis. Stats. 66.10013(e)(2.) is a reduction of 20 percent to develop a new subdivision. This is difficult to calculate as inflation, supply chain, and workforce issues have occurred since the statute was enacted, and they are unrelated to the Village’s role in the development process. But implementation of the recommendations in this report, as well as the [2022 Wausau Metropolitan Housing Assessment](#) and the [2024 Village of Weston Comprehensive Plan](#) will ensure that the Village is continuously working towards that goal. Please see the linked documents for a more

detailed overview of the programs, strategies, goals, objectives, and policies that can be used to address the housing affordability issues that are being recognized statewide.

## **Housing Data and Maps**

The following data and maps are required under Wis. Stats. 66.10013 (2)(a) through (d) and include:

- The number of subdivision plats, certified survey maps, condominium plats, and building permit applications approved in the prior year.
- The total number of new residential dwelling units that were approved by the municipality in the prior year.
- A list and map of undeveloped parcels in the municipality that are zoned for residential development.
- A list of all undeveloped parcels in the municipality that are suitable for, but not zoned for, residential development, including vacant sites and sites that have potential for redevelopment, and a description of the zoning requirements and availability of public facilities and services.

The following attachments contain these lists and maps. Note that the acreage totals in the attached parcel descriptions do not factor wetlands, floodplains, or zoning standards that may reduce the area of each parcel that is able to be developed.

### **Available Land Summary**

There is abundant developable land throughout the Village, and extraterritorial zoning and subdivision review prevents the Village from becoming landlocked by surrounding development in unincorporated areas. But there is a need to rezone more land for multifamily housing. There is abundant land that could be rezoned for multifamily housing, such as the vacant commercial land on either side of the Camp Phillips Road/County Highway X and State Highway 29 interchange. There are also many large, vacant parcels along Schofield Avenue east of Camp Phillips Road/County Highway X and other redevelopment opportunities in existing developed areas in the Village. Finally, there is abundant vacant land in the southern and eastern portions of the Village. Enabling housing in a variety of locations may require a Comprehensive Plan Land Use Map amendment and/or a rezoning approval. The vacant sites listed in Table 2 add up to a total of 5,367 acres of vacant land, which is nearly five times the projected demand of 1,132 acres needed by 2040. Redevelopment opportunities discussed in Attachment 2 also provide additional land for residential development.

### **Available Utilities Summary**

Please see the Village's Sanitary Sewer Master Plan (2019), Water Master Plan (2020), Broadband Technology Plan (2014), and [Comprehensive Outdoor Recreation Plan \(2023\)](#) for a detailed description of available utilities and facilities by location. The Village also has several active [Tax Incremental Districts](#) that facilitate housing development and address infrastructure costs. See Map 3: Future Utility Expansion Areas, attached.

## Conclusion

This report meets all the requirements of Wis. Stats. 66.10013 while summarizing the Village of Weston's housing affordability efforts to date. The Village's 2024 Comprehensive Plan and the 2022 Wausau Metropolitan Housing Assessment contain the most detailed demographics, projected housing demand, strategies, and programs that the Village is considering to help reduce construction costs and timelines, and their content replaces the Village's detailed 2021 Housing Affordability Report. This current report is to be posted on the Village's website and the following attachments updated annually to ensure the most recent data is available to track housing progress. An interactive map of current development in the Village, along with building permit totals, [is available on the Village's website](#).

The following pages of this report are to be updated every January to incorporate the previous year's data and mapping changes.

### Attachment 1: New Residential Building Permits and Lots by Year

Table 2: Village of Weston Total Approved New Units by Year					
Year	Single-Family Units	Duplex (Total units)	Manufactured Homes	Multi-Family Units	Total
2019	22	0	0	31	53
2020	21	0	9	28	58
2021	16	0	4	59	79
2022	42	4	2	24	72
2023	28	10	18	8	64
2024	28	8	2	8	46
Average	26	4	6	26	62
Total	157	22	35	158	372

Source: Village of Weston Building Permits

Table 3: New Lots Created by Year				
Year	Newly Created Certified Survey Map Lots	Subdivision Lots	Condominium Lots	Total Newly Created Lots
2019	1	0	0	1
2020	0	0	0	0
2021	1	0	0	1
2022	1	83 SF Lots 12 TW Lots	28 TH Lots	124
2023	1 SF lot 1 DU lot	0	0	2
2024	3	98	0	101
Average	1	32	5	38
Total	8	193	28	229

Source: Village of Weston.

SF = single family, DU = duplex, TW = twin home, TH = townhome, MF = multifamily

## Attachment 2: List of Vacant Parcels.

The spreadsheet on the following pages lists vacant parcels depicted in Maps 1 and 2, with the following color coding:

- Parcels with residential zoning are yellow (RR-2, RR-5, SF-L, SF-S, 2F, MF, and MH).
- Parcels with nonresidential zoning that allows for some housing are orange (AR, FP, B-1, B-2, B-3, BP, and RM).
- Parcels that do not allow any residential uses are red (all other zoning districts). These could be rezoned residential, but it is important to note that some may have physical limitations like public parks, wetlands, floodplains, or for example, the Weston Dog Park, which sits on an old landfill. In those examples, residential development is typically not feasible anywhere on the parcel.

Many of the parcels have not been assigned an address by Marathon County. Therefore, latitude and longitude coordinates and parcel ID numbers are provided, which can be used to locate said parcels. For information about the utilities and infrastructure available for these parcels, see Map 3: Future Utility Expansion Areas.

**For a list of developed parcels that are potential redevelopment sites, click on the following master plans:**

- [County Road X Corridor Plan](#)
- [Schofield Avenue Corridor Plan](#)
- [Weston Avenue Corridor Plan](#)

In general, the Village's busiest corridors are County Road X/Camp Phillips Road between Ross Avenue and Weston Avenue, Weston Avenue between Alderson Street and County Road J, and Schofield Avenue between Business Highway 51 and Hunt Street. These areas and their surrounding neighborhoods are identified for redevelopment that encourages a variety of housing and job opportunities while improving aesthetics, walkability, and traffic safety.

**For an up-to-date list of specialized housing that serves the needs of unique populations,** see the [Wisconsin Department of Health Services \(DHS\)](#), which maintains directories for Adult Family Homes (AFHs), Community Based Residential Facilities (CBRFs), Residential Care Apartment Complexes (RCACs), and other providers like hospice care, nursing homes, facilities serving people with developmental disabilities, and more.

## Attachment 3: Maps

**The following Maps are attached to the end of this Housing Affordability Report:**

- Map 1: Vacant Parcels with Zoning
- Map 2: Future Land Use
- Map 3: Future Utility Expansion areas

Parcel ID	Site Address	Zoning	Acres	Longitude	Latitude
19228082910005		?	3.41	-89.57831902	44.88613072
19228082910007		?	3.28	-89.57658644	44.88603442
19228082910029	7808 FRANCISCAN WAY	?	1.22	-89.57961919	44.8859739
19228081720950		2F	0.39	-89.58708923	44.91627641
19228081720968		2F	0.97	-89.58824424	44.91627
19228081720925		2F	0.21	-89.58951092	44.91631417
19228081720926		2F	0.02	-89.58991141	44.91636459
19228081610084	5111 CHADWICK STREET	2F	0.36	-89.55430442	44.91043586
19228082210001	6906 LORA LEE LANE	2F	0.77	-89.53584639	44.90070528
19228082020172	3006 FOXTAIL COURT	2F	0.52	-89.58439595	44.8993368
19228082110017		2F	0.51	-89.55968355	44.89632326
19228082110014	4911 ANNABELLE COURT	2F	0.41	-89.56109646	44.89571327
19228081920043		2F	0.45	-89.60321026	44.89494377
19228081920045	1606 HIGHLAND AVENUE	2F	0.55	-89.60432283	44.89493337
19228082430033	7111 BRIANNA STREET	2F	0.96	-89.50663542	44.89205011
19228082230985		AR	36.09	-89.54824645	44.89165195
19228082140999		AR	40.30	-89.55450601	44.89291629
19228082230984		AR	56.46	-89.54461479	44.89201633
19228082140998		AR	39.23	-89.55955333	44.89290824
19228082030999		AR	32.63	-89.58528026	44.89256036
19228082240990	7403 RYAN STREET	AR	74.12	-89.53156769	44.88956628
19228082240996		AR	35.71	-89.53929554	44.88952809
19228082230988		AR	14.18	-89.54330101	44.88898186
19228082140997		AR	36.87	-89.55960058	44.88937638
19228082620999		AR	38.20	-89.52415711	44.88576305
19228082520999		AR	40.39	-89.50368702	44.88568707
19228082510992		AR	41.74	-89.49858093	44.88206638
19228082510991		AR	26.78	-89.49450841	44.88202022
19228082620995		AR	20.07	-89.52908235	44.88490216
19228082620996		AR	38.47	-89.5240444	44.88212845
19228082610997		AR	39.00	-89.51892677	44.88211453
19228082520996		AR	41.29	-89.50368669	44.88204816
19228082720995		AR	40.23	-89.54946352	44.88202882
19228082810990		AR	39.48	-89.56068622	44.88018757

19228082820994		AR	35.75	-89.56473004	44.88204272
19228082920992		AR	36.54	-89.59000606	44.88194088
19228082530998	8901 JONES STREET	AR	39.28	-89.50874898	44.87845068
19228082640999		AR	38.07	-89.5139619	44.87847684
19228082640998		AR	38.43	-89.51885349	44.87847144
19228082630999		AR	37.59	-89.52396131	44.8784731
19228082530999		AR	40.12	-89.50367165	44.87840429
19228082540997		AR	40.28	-89.49854015	44.87835303
19228082730999		AR	40.44	-89.54433237	44.87842335
19228082830999		AR	38.89	-89.56444749	44.87837121
19228082730993		AR	20.26	-89.54948714	44.87750082
19228082530997		AR	38.69	-89.50864124	44.87484687
19228082630997		AR	37.94	-89.52880405	44.87490063
19228082530996		AR	39.54	-89.50363954	44.87479407
19228082740994	9205 RYAN STREET	AR	38.99	-89.53382737	44.87489143
19228082540996		AR	40.37	-89.49854007	44.87473703
19228082740995		AR	39.01	-89.53917237	44.874869
19228082730995		AR	40.00	-89.54431074	44.87483468
19228082730997		AR	30.17	-89.54886168	44.87481812
19228082940987	3810 SHOREY AVENUE	AR	31.85	-89.57450194	44.87487321
19228082940990		AR	5.58	-89.5776374	44.87382848
19228083510999		AR	39.99	-89.51372533	44.87124878
19228083620998		AR	39.81	-89.5086707	44.87121823
19228083510998		AR	39.93	-89.51878838	44.87124231
19228083620999		AR	39.64	-89.5036215	44.87116955
19228083610998		AR	40.20	-89.49852693	44.87112718
19228083610994		AR	20.07	-89.49467187	44.87109093
19228083420999		AR	39.81	-89.5442568	44.87113018
19228083310998		AR	35.99	-89.55951294	44.87108835
19228083220975	9404 CAMP PHILLIPS ROAD	AR	29.52	-89.58467105	44.8706627
19228083510996		AR	39.49	-89.51379847	44.8676075
19228083620997		AR	40.40	-89.508739	44.86758282
19228083510997		AR	39.46	-89.51879899	44.86760523
19228083520996		AR	39.24	-89.52378808	44.86759892
19228083520997		AR	39.15	-89.52876136	44.86759718

19228083610993		AR	65.09	-89.49517973	44.86770527
19228083420995		AR	40.39	-89.54418336	44.86754029
19228083310996		AR	38.53	-89.55942372	44.86748727
19228083610991		AR	24.83	-89.50028268	44.86700543
19228083540999		AR	39.46	-89.51378316	44.86395787
19228083630998		AR	40.57	-89.50871941	44.86394933
19228083540998		AR	39.39	-89.51877863	44.86396061
19228083630999		AR	40.58	-89.50357805	44.86392484
19228083530999		AR	39.46	-89.5237802	44.86396075
19228083640998		AR	40.14	-89.49845595	44.86389779
19228083530998		AR	37.98	-89.52873442	44.86399071
19228083640995		AR	39.28	-89.49459047	44.86190418
19228083640994		AR	39.70	-89.49210774	44.86230323
19228083440998		AR	40.56	-89.53900102	44.86392913
19228083430999		AR	40.14	-89.54412144	44.86390302
19228083320975		AR	1.41	-89.56547179	44.86569898
19228083430998		AR	40.15	-89.54921539	44.86387844
19228083340998		AR	38.83	-89.55939686	44.86384657
19228083330999		AR	39.50	-89.56436185	44.86383541
19228083540996		AR	38.90	-89.51368317	44.86036012
19228083630997		AR	39.26	-89.50861274	44.86035149
19228083540997		AR	38.83	-89.51873226	44.8603696
19228083530996		AR	39.12	-89.5237863	44.8603593
19228083630996		AR	39.26	-89.50351276	44.86033299
19228083640997		AR	39.10	-89.49841425	44.86031237
19228083440996		AR	39.29	-89.53395742	44.860313
19228083440997		AR	40.01	-89.53898725	44.86029568
19228083430996		AR	40.12	-89.54407102	44.86026966
19228083530997		AR	37.69	-89.52879579	44.86031843
19228083230997		AR	39.95	-89.58978456	44.86026512
19228083230996	10608 CAMP PHILLIPS ROAD	AR	36.23	-89.58491009	44.86027425
19228083240991		AR	37.89	-89.57953819	44.86027026
19228083240990		AR	40.11	-89.57452339	44.86020694
19228082710992		AR	74.59	-89.54189366	44.8856145
19228082630998		AR	38.65	-89.52882173	44.87847529

19228082740999		AR	22.75	-89.532907	44.87878377
19228082610999		AR	38.37	-89.51404162	44.88571865
19228082520993		AR	33.43	-89.50850464	44.8856793
19228082940989		AR	35.09	-89.57429834	44.87838415
19228081810045	2003 ROSS AVENUE	B-1	0.41	-89.59804468	44.91258293
19228081810046	1901 ROSS AVENUE	B-1	0.55	-89.5989968	44.91248051
19228081740211	6005 BIRCH STREET	B-1	1.59	-89.58177843	44.90278154
19228081740936	6001 BIRCH STREET	B-1	0.47	-89.58228129	44.90299199
19228081740212		B-1	1.21	-89.58161025	44.90225306
19228082210970	6505 SCHOFIELD AVENUE	B-1	9.49	-89.53969366	44.90143806
19228082320003	7403 SCHOFIELD AVENUE	B-1	0.58	-89.53014795	44.90058205
19228082320002	7407 SCHOFIELD AVENUE	B-1	0.60	-89.52976285	44.90052777
19228082320001	7411 SCHOFIELD AVENUE	B-1	0.60	-89.52937337	44.90047406
19228081920983		B-1	0.41	-89.60758593	44.89863857
19228081730950		B-2	3.12	-89.58888618	44.90925822
19228081830003		B-2	0.11	-89.60521076	44.908871
19228081830001	5304 BUSINESS HIGHWAY 51	B-2	0.58	-89.60567358	44.90885302
19228081840998	1919 SCHOFIELD AVENUE	B-2	3.89	-89.59940595	44.90804659
19228081740886		B-2	2.26	-89.57608152	44.90573737
19228081740882	4005 MOUNT VIEW AVENUE	B-2	0.89	-89.57697225	44.9058714
19228081730039	3010 GLAD STREET	B-2	0.55	-89.585005	44.90592687
19228081630945		B-2	3.09	-89.56827776	44.90467997
19228081830064	5805 BUSINESS HIGHWAY 51	B-2	0.96	-89.60618592	44.90423564
19228081630963	6004 VON KANEL STREET	B-2	4.96	-89.56286978	44.90323768
19228081740035		B-2	0.34	-89.57331861	44.90384021
19228082010026		B-2	5.76	-89.57743929	44.89736077
19228082010982		B-2	2.68	-89.57524156	44.89752841
19228082010029		B-2	2.11	-89.57615777	44.89742053
19228082120081	4310 BARBICAN AVENUE	B-2	1.68	-89.56868125	44.8971892
19228082120080	4410 BARBICAN AVENUE	B-2	1.64	-89.56786675	44.89719469
19228082010030		B-2	2.17	-89.58220516	44.89699396
19228082120076	4205 BARBICAN AVENUE	B-2	1.86	-89.57063744	44.89603642
19228082010023		B-2	9.14	-89.57771078	44.89563437
19228082120079	4405 BARBICAN AVENUE	B-2	2.28	-89.56789966	44.89591772
19228082120078	4305 BARBICAN AVENUE	B-2	1.93	-89.56883332	44.89592221

19228082010024		B-2	10.18	-89.58061291	44.89551557
19228082130997		B-2	17.35	-89.56863729	44.89255385
19228082040971		B-2	10.10	-89.57969674	44.8929589
19228082040962		B-2	6.97	-89.57477998	44.8932461
19228082040955		B-2	4.38	-89.57509734	44.89188772
19228082040960		B-2	2.89	-89.57311659	44.89076929
19228082130992		B-2	1.00	-89.56271135	44.89081242
19228082130993		B-2	36.64	-89.56479968	44.889276
19228082130991		B-2	33.43	-89.56939589	44.88932262
19228082040966		B-2	2.19	-89.5755004	44.88904935
19228082040977		B-2	2.38	-89.57251048	44.88858805
19228082040965		B-2	2.82	-89.57648191	44.88850379
19228082040964		B-2	2.01	-89.57459336	44.88834147
19228082040973	3309 MINISTRY PARKWAY	B-2	5.80	-89.58072377	44.88790901
19228082040001	3914 WESTON AVENUE	B-2	0.94	-89.5726611	44.88780161
19228082820999		B-2	37.53	-89.56466163	44.88559098
19228082820992	4405 WESTON AVENUE	B-2	2.75	-89.56760876	44.88668657
19228082820001	4307 WESTON AVENUE	B-2	2.01	-89.56858444	44.88686501
19228082820002	4205 WESTON AVENUE	B-2	2.00	-89.56959151	44.88684172
19228082920999	3003 WESTON AVENUE	B-2	38.65	-89.58512692	44.88549366
19228082820003	4103 WESTON AVENUE	B-2	2.47	-89.57081473	44.88679293
19228082910010		B-2	4.03	-89.57288581	44.88650809
19228082910032		B-2	1.38	-89.57450443	44.88686559
19228082910011		B-2	2.16	-89.57360585	44.885963
19228082910024		B-2	2.67	-89.5733767	44.88511845
19228082910014		B-2	4.07	-89.57538102	44.88472659
19228082910015		B-2	4.59	-89.57675218	44.88454336
19228082910013		B-2	2.35	-89.57459934	44.88405548
19228082910983		B-2	4.28	-89.57431079	44.88327416
19228081630941		B-2	11.89	-89.56483607	44.90491702
19228081830006	1610 POST AVENUE	B-2	0.51	-89.60302078	44.90812303
19228081740873		B-2	1.80	-89.58188619	44.90338917
19228081640972		B-3	2.87	-89.56164521	44.90408022
19228081530965	6101 SCHOFIELD AVENUE	B-3	0.75	-89.54658622	44.90241432
19228082320950	7503 SCHOFIELD AVENUE	B-3	2.12	-89.52887982	44.90008884

19228082420997	6404 COUNTY ROAD J	B-3	1.74	-89.50611287	44.89847954
19228082420980	6411 COUNTY ROAD J	B-3	1.08	-89.50419987	44.89822134
19228082420951		B-3	2.10	-89.50200535	44.89568208
19228082020978	6804 BIRCH STREET	B-3	9.32	-89.58538399	44.89515467
19228082440002	10102 ADVENTURE WAY	B-3	10.01	-89.49421636	44.88988186
19228082440011		B-3	5.50	-89.4967439	44.88995617
19228082440003	10302 ADVENTURE WAY	B-3	3.50	-89.49227404	44.88987364
19228082440004	10402 ADVENTURE WAY	B-3	3.56	-89.4912529	44.88985722
19228082440006	10205 ADVENTURE WAY	B-3	2.57	-89.49332152	44.8885707
19228082440007	10005 ADVENTURE WAY	B-3	2.79	-89.49465899	44.88814155
19228082440005	10305 ADVENTURE WAY	B-3	2.50	-89.49162175	44.88855242
19228082440009	10302 WESTON AVENUE	B-3	2.87	-89.49159238	44.88784323
19228082440008	10202 WESTON AVENUE	B-3	2.55	-89.49330706	44.88786272
19228082510994		B-3	12.64	-89.49697583	44.88535823
19228082510989		B-3	16.21	-89.49308771	44.88643114
19228081530938	5904 AMIR DRIVE	BP	1.31	-89.55024082	44.90323578
19228081530924		BP	2.42	-89.55027593	44.90243843
19228081530935	5809 AMIR DRIVE	BP	1.40	-89.54872511	44.9024661
19228081530944		BP	0.98	-89.54954219	44.90210756
19228082220065	5714 STELLA AVENUE	BP	0.81	-89.55078923	44.90181818
19228082220066	5802 STELLA AVENUE	BP	0.81	-89.55004833	44.90181414
19228082220067	5810 STELLA AVENUE	BP	0.80	-89.54930936	44.90181011
19228082120104	4815 BARBICAN AVENUE	BP	1.20	-89.56278169	44.89813974
19228082120103	4707 BARBICAN AVENUE	BP	1.34	-89.56364912	44.89805312
19228082120102	4703 BARBICAN AVENUE	BP	1.62	-89.56401667	44.89736204
19228082120101	4605 BARBICAN AVENUE	BP	2.37	-89.56539652	44.8964343
19228082120106	4702 ANNABELLE COURT	BP	1.65	-89.56410198	44.89649843
19228082120100	4503 BARBICAN AVENUE	BP	4.88	-89.56664721	44.89593369
19228082120105	4804 ANNABELLE COURT	BP	1.18	-89.56281057	44.89645565
19228082120107	4705 ANNABELLE COURT	BP	2.67	-89.56500665	44.89569778
19228082120109	4805 ANNABELLE COURT	BP	1.54	-89.56280097	44.89568987
19228082120108	4715 ANNABELLE COURT	BP	1.48	-89.56382719	44.89567413
19228082330993	7808 ZINSER STREET	BP	15.38	-89.52398258	44.88872666
19228082340029	8505 PROGRESS WAY	BP	3.51	-89.51555376	44.88827313
19228082440999	10107 SCHOFIELD AVENUE	GI	77.19	-89.49441	44.89406899

19228081020298		INT	5.95	-89.54516126	44.93047069
19228080910121		INT	2.22	-89.55366708	44.92922901
19228080920991		INT	35.78	-89.56494593	44.92571338
19228080910060		INT	1.08	-89.55933625	44.92488588
19228080830987		INT	22.62	-89.58942382	44.91871897
19228081510078		INT	0.10	-89.53626488	44.91515948
19228081510079		INT	0.19	-89.53586086	44.91492182
19228081510995	6800 KIOWA LANE	INT	39.26	-89.53911244	44.91121884
19228081540992		INT	7.76	-89.53919413	44.90903648
19228081740881		INT	1.75	-89.57829465	44.90885607
19228081740997		INT	1.43	-89.57747652	44.90598817
19228082320998		INT	5.41	-89.522345	44.90136546
19228082220002		INT	1.70	-89.54578476	44.90124131
19228082020179	2616 PARK RIDGE DRIVE	INT	0.28	-89.59035816	44.90005662
19228082010021		INT	6.01	-89.57880988	44.89764424
19228082010020		INT	1.06	-89.58225464	44.89795334
19228082120110		INT	1.74	-89.56300464	44.89741138
19228082120111		INT	1.50	-89.56310001	44.89691859
19228082010019		INT	1.12	-89.58215969	44.89581068
19228082120084		INT	2.02	-89.56949376	44.89538924
19228082430002		INT	0.27	-89.51103406	44.89487173
19228082330995	7610 ZINSER STREET	INT	0.08	-89.52183963	44.88938536
19228082040954	3604 WESTON AVENUE	INT	3.44	-89.57781394	44.88826551
19228082430054		INT	2.56	-89.50722189	44.88799257
19228082720014		INT	0.33	-89.55025189	44.88718506
19228082720013		INT	0.36	-89.55099345	44.88718037
19228082910023		INT	1.46	-89.57827954	44.88454785
19228082910021		INT	1.55	-89.58032772	44.88428692
19228082840999	8601 HEEREN STREET	INT	36.93	-89.55447468	44.87835055
19228082930085	8601 WINDSOR DRIVE	INT	1.60	-89.58406111	44.87712286
19228082930078		INT	0.66	-89.58283649	44.87737359
19228083210048		INT	1.46	-89.57470899	44.86893468
19228083210044		INT	0.12	-89.57663736	44.86923449
19228083210046		INT	0.21	-89.57575408	44.86617675
19228083230001		INT	0.86	-89.58689401	44.86352052

19228080830985	3113 MALLARD COURT	INT	19.66	-89.58546276	44.9189983
19228081640093		INT	0.92	-89.55571843	44.903646
19228082040968		INT	11.54	-89.57684043	44.89004896
19228082940982		INT	0.73	-89.57764037	44.87568478
19228082940983		INT	1.35	-89.57877319	44.87452635
19228082940986		INT	1.40	-89.5764854	44.87588599
19228082940988		INT	1.11	-89.57640268	44.87710783
19228081610969		LI	0.52	-89.55961828	44.91323934
19228082340022	7103 VENTURE CIRCLE	LI	2.00	-89.51283422	44.89431748
19228082330021		LI	3.22	-89.52393382	44.89096427
19228082430052	9108 PROGRESS WAY	LI	10.04	-89.50732573	44.8899118
19228082430991	9308 WESTON AVENUE	LI	6.12	-89.50499887	44.88932871
19228082430989		LI	5.57	-89.50418164	44.88928962
19228082430053	9202 PROGRESS WAY	LI	2.55	-89.50734846	44.8885757
19228082820023		LI	3.54	-89.56800098	44.88562214
19228082820024	4315 TRANSPORT WAY	LI	3.73	-89.56786056	44.88466959
19228082110988		LI	1.20	-89.55781801	44.90114222
19228082110943		LI	13.22	-89.55610639	44.89963467
19228081640152		LI	0.73	-89.55602302	44.90408411
19228082430977		LI	8.49	-89.50317217	44.88924519
19228082340984		LI	12.51	-89.51888077	44.88834376
19228081620984		MF	7.20	-89.56911571	44.91350751
19228081620966		MF	0.26	-89.56808064	44.91412927
19228081620958		MF	3.63	-89.56661319	44.91347992
19228081620957	4702 ROSS AVENUE	MF	3.53	-89.56544373	44.91320775
19228081620983		MF	1.98	-89.56766137	44.91272854
19228081810062	2403 ROSS AVENUE	MF	1.05	-89.59379119	44.91241292
19228081620967	4210 ROSS AVENUE	MF	0.51	-89.57046237	44.91194554
19228081810033		MF	0.54	-89.59571966	44.91191113
19228081810015	2407 RADTKE AVENUE	MF	0.34	-89.59341479	44.91079432
19228081710008	3811 ROSS AVENUE	MF	0.65	-89.57554894	44.91035322
19228081810973		MF	0.34	-89.59991048	44.91008441
19228081810934		MF	0.40	-89.60123659	44.91006035
19228081840054	5673 NORMANDY STREET	MF	0.39	-89.60221369	44.90595241
19228081730953		MF	1.76	-89.58586729	44.90406818

19228081730967		MF	1.13	-89.58556799	44.90328404
19228081730943	6003 BIRCHWOOD LANE	MF	0.94	-89.58443444	44.9032264
19228081630009	5909 CAMP PHILLIPS ROAD	MF	0.50	-89.57248009	44.9028971
19228081630008		MF	0.50	-89.57249047	44.90259522
19228082020076		MF	0.36	-89.58485769	44.89914936
19228081920054	1309 HEUSS AVENUE	MF	0.43	-89.60811692	44.8961847
19228082910984		MF	20.08	-89.57582622	44.88190076
19228081720915		MF	0.64	-89.58286437	44.91224511
19228081831019		MF	0.29	-89.60295638	44.90655304
19228082910111		MF	18.58	-89.57967249	44.88329298
19228082910110	3808 GREEN PASTURES LANE	MF	0.09	-89.578775	44.88250997
19228082910095	3502 GREEN PASTURES LANE	MF	0.09	-89.58068112	44.88279336
19228082910096	3504 GREEN PASTURES LANE	MF	0.07	-89.58056875	44.88279472
19228082910097	3506 GREEN PASTURES LANE	MF	0.07	-89.58047337	44.88279379
19228082910098	3508 GREEN PASTURES LANE	MF	0.21	-89.58028128	44.88278144
19228082910099	3612 GREEN PASTURES LANE	MF	0.18	-89.58001804	44.88272485
19228082910100	3614 GREEN PASTURES LANE	MF	0.07	-89.57985004	44.88269581
19228082910101	3616 GREEN PASTURES LANE	MF	0.07	-89.57975756	44.88267982
19228082910102	3618 GREEN PASTURES LANE	MF	0.09	-89.57964839	44.88266095
19228082910103	3702 GREEN PASTURES LANE	MF	0.09	-89.57952251	44.88263919
19228082910104	3704 GREEN PASTURES LANE	MF	0.07	-89.57941334	44.88262032
19228082910105	3706 GREEN PASTURES LANE	MF	0.07	-89.57932087	44.88260434
19228082910106	3708 GREEN PASTURES LANE	MF	0.09	-89.57921169	44.88258546
19228082910107	3802 GREEN PASTURES LANE	MF	0.09	-89.57908582	44.8825637
19228082910108	3804 GREEN PASTURES LANE	MF	0.07	-89.57897665	44.88254483
19228082910109	3806 GREEN PASTURES LANE	MF	0.07	-89.57888417	44.88252884
19228081520972		PR	8.46	-89.54318547	44.91514215
19228081520166		PR	0.12	-89.54499189	44.9157522
19228081510046		PR	1.27	-89.54115357	44.91345887
19228081530999		PR	40.23	-89.5442316	44.9075383
19228081540993		PR	20.56	-89.53922648	44.90771822
19228081540991	5600 RYAN STREET	PR	11.13	-89.53924377	44.90624927
19228081840976	2210 JELINEK AVENUE	PR	0.74	-89.59537307	44.9022444
19228082220990		PR	28.42	-89.54436131	44.89661255
19228082020146		PR	21.79	-89.5895511	44.89604134

19228082340020		PR	27.36	-89.51211607	44.88871975
19228080810970	3512 CAMP PHILLIPS ROAD	PR	38.30	-89.57496734	44.92552228
19228081010991	MACHMUELLER PARK	PR	18.29	-89.534817	44.926781
19228081010992	MACHMUELLER PARK	PR	12.97	-89.533618	44.925051
19228081430037		ROW	0.13	-89.52934358	44.90474941
19228083210047		ROW	0.22	-89.57253648	44.86907559
19228080820055	3106 HAMPTON AVENUE	RR-2	3.02	-89.58491817	44.93052988
19228080930993	4107 CAMP PHILLIPS ROAD	RR-2	4.44	-89.57076492	44.91975336
19228080840992	4320 CAMP PHILLIPS ROAD	RR-2	2.21	-89.57360408	44.9184821
19228082330996	7802 WESTON AVENUE	RR-2	3.00	-89.52551121	44.88803421
19228082810993		RR-2	4.91	-89.5544651	44.88360252
19228082810992		RR-2	2.79	-89.5561169	44.88069041
19228082740997	8411 RYAN STREET	RR-2	3.67	-89.53563322	44.87932935
19228082930983		RR-2	3.74	-89.59150743	44.87482168
19228083420991		RR-2	3.89	-89.55084806	44.87179015
19228083210976		RR-2	4.12	-89.58135794	44.872068
19228083420976		RR-2	10.97	-89.54806594	44.87029337
19228083420984		RR-2	26.35	-89.54841491	44.86752305
19228083320985	9902 WOODLAND DRIVE	RR-2	5.16	-89.56756368	44.86847803
19228083210986		RR-2	3.60	-89.57849928	44.86901223
19228083220973		RR-2	3.00	-89.58771376	44.86651209
19228082930949		RR-2	2.01	-89.5903126	44.87570079
19228082930981		RR-2	3.21	-89.59155254	44.87735884
19228080810999	2910 CAMP PHILLIPS ROAD	RR-5	9.95	-89.57532335	44.9304465
19228080920986	4303 LAHR AVENUE	RR-5	12.07	-89.56911342	44.93004628
19228080820993		RR-5	10.89	-89.5902089	44.93038759
19228080940996		RR-5	13.39	-89.56038031	44.91739829
19228080930991		RR-5	19.91	-89.56456434	44.91743829
19228081620990		RR-5	5.60	-89.56819548	44.91602933
19228081620999		RR-5	15.15	-89.56488573	44.91578913
19228082410995		RR-5	0.97	-89.4977615	44.89758594
19228082240991		RR-5	6.55	-89.53477284	44.89350495
19228082330953		RR-5	10.12	-89.53030305	44.89205899
19228082720993	5903 WESTON AVENUE	RR-5	15.66	-89.54822953	44.88529039
19228082920998	2525 WESTON AVENUE	RR-5	9.57	-89.59027449	44.8868909

19228082920019		RR-5	0.37	-89.59259068	44.88631514
19228082920020		RR-5	0.37	-89.59210854	44.88630831
19228082920021		RR-5	0.37	-89.5916264	44.88630147
19228082920022		RR-5	0.37	-89.59114426	44.88629464
19228082920023		RR-5	0.37	-89.59066211	44.8862878
19228082920024		RR-5	0.37	-89.59017997	44.88628096
19228082920025		RR-5	0.37	-89.58969783	44.88627412
19228082920026		RR-5	0.37	-89.58921569	44.88626728
19228082920027		RR-5	0.38	-89.58872838	44.88627436
19228082920028		RR-5	0.73	-89.58810325	44.88621094
19228082920029		RR-5	0.39	-89.58796284	44.88586091
19228082920001		RR-5	0.37	-89.59258148	44.88579312
19228082920002		RR-5	0.37	-89.59209935	44.88578629
19228082920003		RR-5	0.37	-89.59161721	44.88577946
19228082920004		RR-5	0.37	-89.59113507	44.88577262
19228082920005		RR-5	0.37	-89.59065293	44.88576579
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19228080840041	4306 FLORLANA LANE	SF-L	0.49	-89.58206854	44.91859845
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19228081420009	7906 KOSTUCK LANE	SF-L	1.31	-89.5240675	44.91104143
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19228082410006	6704 PENINSULA LANE	SF-L	0.65	-89.50017012	44.89853467
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19228082810001	5305 WESTON AVENUE	SF-L	0.91	-89.55756906	44.88710275
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19228082810003	5103 WESTON AVENUE	SF-L	1.05	-89.55916653	44.8871015
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19228082810012	5002 SHIRLEY AVENUE	SF-L	1.05	-89.56004601	44.88655657
19228082810011	4904 SHIRLEY AVENUE	SF-L	0.92	-89.56087549	44.88655819

19228082720002	7802 LINDENWOOD COURT	SF-L	1.20	-89.5513512	44.88652874
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19228082720003	7804 LINDENWOOD COURT	SF-L	1.28	-89.55143515	44.88603583
19228082810017	5205 SHIRLEY AVENUE	SF-L	0.92	-89.55831302	44.88584174
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19228082720004	7902 LINDENWOOD COURT	SF-L	1.20	-89.55149884	44.88546293
19228082720009	7903 LINDENWOOD COURT	SF-L	1.43	-89.55008381	44.8853204
19228082720005	7904 LINDENWOOD COURT	SF-L	1.27	-89.55157827	44.88485567
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19228080830012	3208 BEVERLY LANE	SF-L	0.48	-89.58325418	44.92141882
19228080840033		SF-L	0.52	-89.58133747	44.92084535
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19228080830001	3215 BEVERLY LANE	SF-L	0.47	-89.58272945	44.92084138
19228080830003	3207 BEVERLY LANE	SF-L	0.48	-89.58379889	44.92084042
19228081510052	6806 N APACHE LANE	SF-L	1.95	-89.53697817	44.91618073
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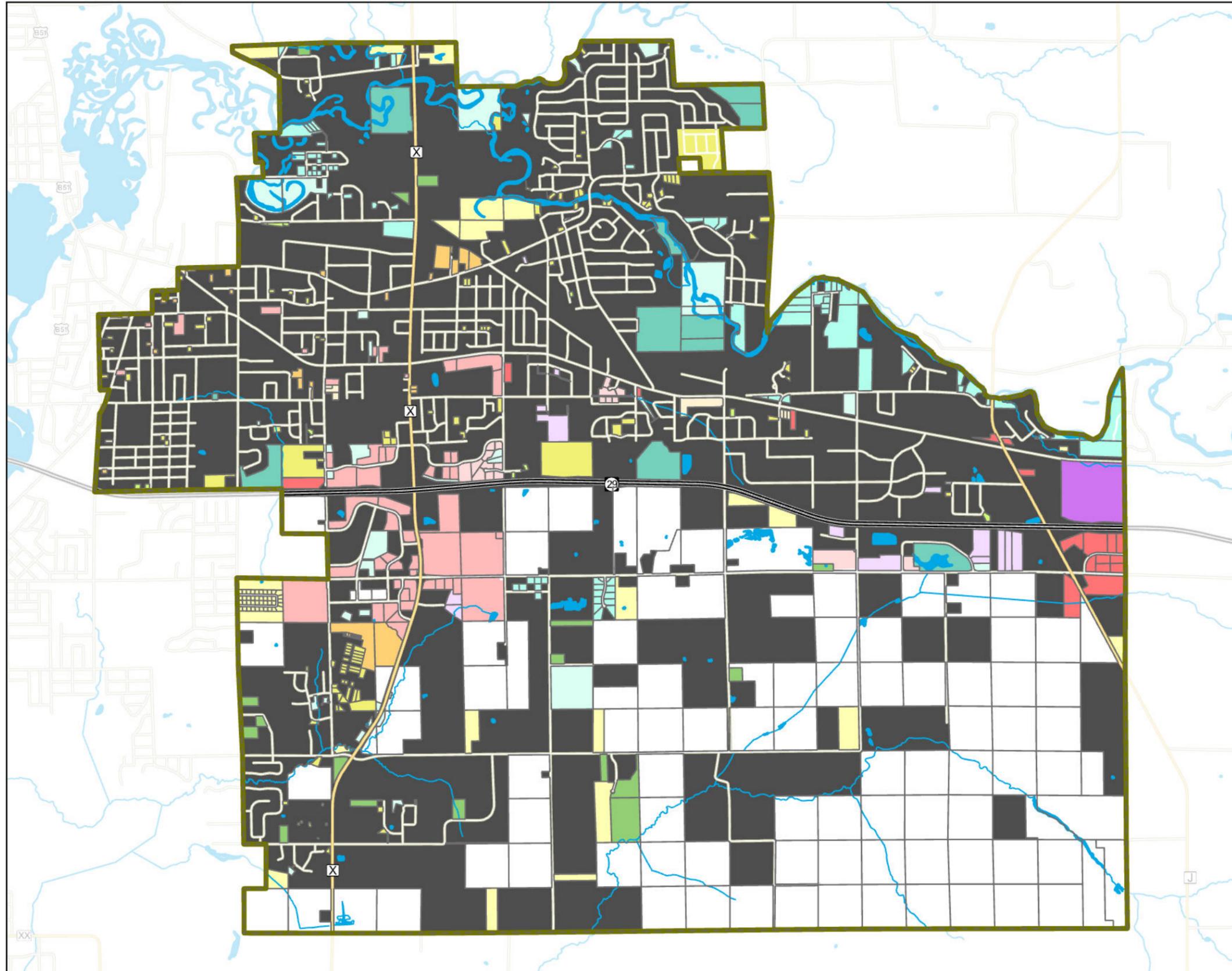
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19228081030059	6404 RED OAK COURT	SF-S	0.63	-89.54384354	44.91864991
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19228080940220		SF-S	0.07	-89.55703236	44.91857637
19228080940233		SF-S	0.52	-89.55646265	44.91847776
19228081030117	4112 RIVER BEND ROAD	SF-S	0.56	-89.54519859	44.91845787
19228081030971		SF-S	0.59	-89.54985965	44.91788547
19228081030972	5708 BABL LANE	SF-S	0.43	-89.55042113	44.91785897
19228080940189	5506 DJ LANE	SF-S	0.74	-89.55372155	44.91770305
19228081030049	6004 RIVER PINES COURT	SF-S	0.66	-89.54536846	44.91768965
19228081030048	4207 OAK TERRACE	SF-S	0.51	-89.54586314	44.91783275
19228080940206		SF-S	1.45	-89.55816038	44.91741175
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19228081610064	4803 MESKER STREET	SF-S	0.47	-89.55655523	44.91299711
19228081810951	5005 PINE STREET	SF-S	0.36	-89.59923348	44.91192916
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19228081720013	5107 MAPLE STREET	SF-S	0.34	-89.58878801	44.91082828
19228081830997	1410 PRIEBE AVENUE	SF-S	0.25	-89.60627451	44.9088789
19228081830993		SF-S	0.21	-89.60667825	44.90888491
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19228081910023	1721 LAGUNA AVENUE	SF-S	0.41	-89.60139377	44.89889036
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19228081910025	1728 EVEREST AVENUE	SF-S	0.40	-89.60094765	44.89849275
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19228080940260	5401 ROCK RAPIDS DRIVE	SF-S	0.68	-89.55547564	44.91841237
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19228083220211	3108 BALLY PARK PLACE	SF-S	0.19	-89.58471431	44.86729475
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19228082940029	8502 MAPLEFIELD WAY	SF-S	0.49	-89.58080238	44.87974677
19228082940025	8709 HINNER SPRINGS DRIVE	SF-S	1.07	-89.57856923	44.87962684
19228082940052	8425 MAPLEFIELD WAY	SF-S	0.71	-89.5794978	44.87980683

19228082910052	8504 HINNER SPRINGS DRIVE	SF-S	0.46	-89.58194773	44.88041175
19228082910072	8418 MAPLEFIELD WAY	SF-S	0.38	-89.58062333	44.88026392
19228082940053	8421 MAPLEFIELD WAY	SF-S	0.71	-89.57941486	44.88004935
19228082910076	8325 MAPLEFIELD WAY	SF-S	0.71	-89.57908314	44.88101939
19228082910074	8411 MAPLEFIELD WAY	SF-S	0.71	-89.57924902	44.88053437
19228082910078	8303 MAPLEFIELD WAY	SF-S	1.11	-89.57892363	44.88157738
19228082910077	8315 MAPLEFIELD WAY	SF-S	0.71	-89.5790002	44.8812619
19228082910075	8405 MAPLEFIELD WAY	SF-S	0.71	-89.57916608	44.88077688
19228082910065	8302 MAPLEFIELD WAY	SF-S	0.38	-89.58004369	44.88195885
19228082910066	8308 MAPLEFIELD WAY	SF-S	0.38	-89.58012572	44.881719
19228082910067	8312 MAPLEFIELD WAY	SF-S	0.38	-89.58020865	44.88147649
19228082910068	8320 MAPLEFIELD WAY	SF-S	0.38	-89.58029159	44.88123398
19228082910070	8410 MAPLEFIELD WAY	SF-S	0.38	-89.58045745	44.88074895
19228082940051	8424 MAPLEFIELD WAY	SF-S	0.38	-89.58070626	44.88002139

**Total: 5,366.98**



## Vacant Parcels

**Legend**

- State Highway
- County Highway
- Local Roads
- Developed Parcels

**Residential Zoning**

- RR-2
- RR-5
- SF-L
- SF-S
- 2F
- MF
- MH

**Nonresidential Zoning that allows some residential uses**

- AR
- B-1
- B-2
- B-3
- BP
- RM

**Zoning that doesn't allow residential uses**

- GI
- INT
- LI
- PR
- ROW
- Water

Source: Village of Weston

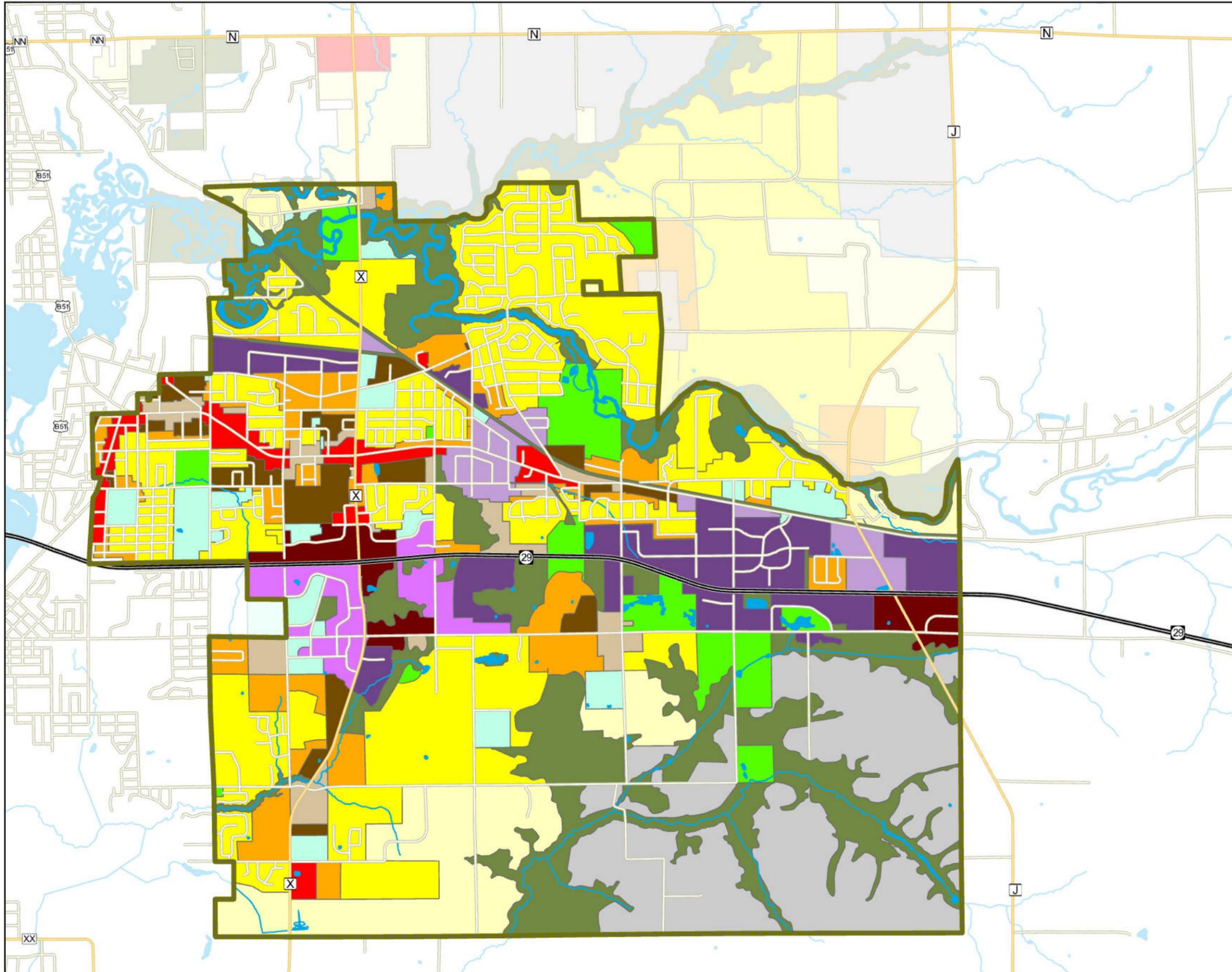


This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information and data used for reference purposes only. NCWRPC is not responsible for any inaccuracies herein contained.



**North Central  
Wisconsin Regional  
Planning Commission**

210 McClellan St., Suite 210, Wausau, WI 54403  
715-849-5510 - staff@ncwrpc.org - ncwrpc.org



## Future Land Use

**Legend**

- State Highway
- County Highway
- Local Roads
- Water

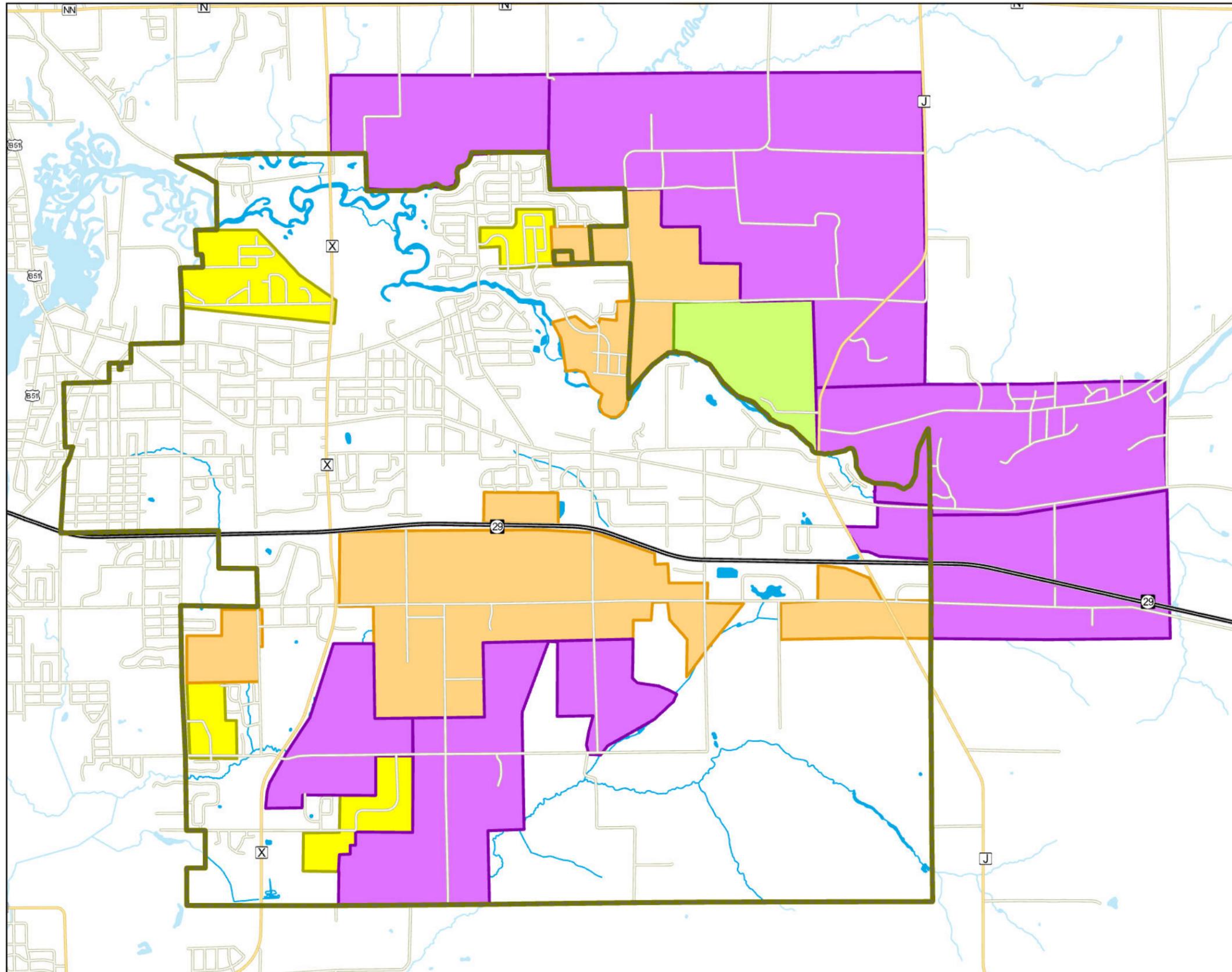
**Future Land Use**

- Agriculture
- Business/Office Park
- Community Commercial
- Environmental Corridor
- Higher Density Village Residential
- Industrial
- Institutional
- Low Density Village Residential
- Mixed or Flex Commercial/Industrial
- Mixed or Flex Commercial/Residential
- Moderate Density Village Residential
- Parks and Recreation
- Regional Commercial
- Rural Density Residential

Source: Village of Weston Comprehensive Plan

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## Future Utility Expansion Area

**Legend**

Future Development Areas

- Unsewered Development Areas
- 2025
- 2030
- 2040
- State Highway
- County Highway
- Local Roads
- Water



Source: Village of Weston Water Utility Master Plan  
 This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information and data used for reference purposes only. NCWRPC is not responsible for any inaccuracies herein contained.



**North Central Wisconsin Regional Planning Commission**  
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**VILLAGE OF WESTON, WISCONSIN  
AGENDA ITEM COVER SHEET / REQUEST FOR CONSIDERATION**

---

**DESCRIPTION:** May Staff-approved Certified Survey Maps and Site Plans.

---

**FROM:** Jennifer Higgins, Director of Planning & Development  
Valerie Parker, Planning Technician

---

**FOR REVIEW BY:** Plan Commission, 06/9/2025

---

**POLICY QUESTION:** Should the PC acknowledge the staff approvals as submitted by the Department?

---

**ISSUE-IN-BRIEF:** April Staff-approved Certified Survey Maps and Site Plans.

---

**FISCAL IMPACT:** TBD.

---

**GUIDANCE:** Director of Planning & Development recommends the PC acknowledge the report and place on file.

---

**PRIOR REVIEW:** No previous public review.

---

**REQUEST:** Acknowledge and place on file.

---

**Is there an additional briefer with this agenda item?**

---

**Are there additional documents which have been attached to this report?**

**List of CSM's and Site Plans Approved by Staff Since the last PC Meeting:**

**Certified Survey Maps –**

Project #20250205 – Ruenger/Higginbotham, 4104 Howland Avenue – 2-Lot CSM

**Site Plans –**

Project #20250200 – Birchwood Highlands, 8015, 5025 Birch Street – Regrading of Existing Swales

**\*\*To view any of the above-approved projects (CSM's & Site Plans), visit:  
<https://evolvepublic.infovisionsoftware.com/weston/>, under the PROJECT heading, select **PROJECT SEARCH**. You can then search any of the above projects by name, address, or date range. \*\***



**VILLAGE OF WESTON, WISCONSIN  
AGENDA ITEM COVER SHEET / REQUEST FOR CONSIDERATION**

---

**DESCRIPTION:** Report re: May 2025 Building Permits

---

**FROM:** Roman Maguire, Building Inspector  
Travis Meverden, Building Inspector

---

**FOR REVIEW BY:** Plan Commission, 6/9/2025  
Board of Trustees, 6/16/2025

---

**POLICY QUESTION:** Should the PC & BOT acknowledge the May 2025 building permits issued as submitted by the Department?

---

**ISSUE-IN-BRIEF:** Monthly report from the Planning & Development Department – Building Inspections Division.

---

**FISCAL IMPACT:** \$22,063,995 in permit valuation  
\$201,779 in permit fees  
558 total permits issued (540 Village, 11 Town, 7 Rothschild)  
(YTD as of 6/3/25)

**Month of May 2025 Permits Issued.**  
Village of Weston - 107  
Town of Weston - 5  
Village of Rothschild - 3  
\$38,691 received in permit fees.  
\$3,903,064 in permit valuation

---

**GUIDANCE:** Inspectors recommend the PC & BOT acknowledge the report and place on file.

---

**PRIOR REVIEW:** No previous public review.

---

**REQUEST:** Acknowledge and place on file.

---

**Is there an additional briefer with this agenda item?**

---

**Are there additional documents which have been attached to this report?**

**May 2025 Building Permits**

# Permit Total Report Code

Issued From 5/1/2025 and Issued To 6/1/2025

Type	Report Code	Jurisdiction	No of Permits	Total Valuation	Fees Paid
<i>Accessory</i>					
	101 - Residential Accessory Building	Village of Weston	7	\$116,400	\$995.60
	203 - Commercial Accessory Building	Village of Weston	1	\$15,000	\$100.00
	106 - Residential Attached Garage Addition	Village of Weston	1	\$40,000	\$240.00
<i>Commercial Building</i>					
	202 - Commercial Addition/ Build Out/ Remodel	Village of Weston	2	\$103,500	\$300.00
<i>Deck</i>					
	103 - New/Alteration/Addition Residential Deck	Village of Weston	4	\$39,100	\$300.00
	104 - Residential Deck Repair	Village of Weston	2	\$4,000	\$70.00
<i>Driveway</i>					
	111 - New Residential Driveway/Driveway Addition	Village of Weston	1	\$10,700	\$75.00
<i>Electrical</i>					
	702 - Residential Electrical	Town of Weston	7	\$23,895	\$455.00
<i>Electrical Comm</i>					
	700 - Commercial Electrical	Village of Weston	4	\$36,500	\$400.00
<i>Excavation</i>					
	300 - Excavation	Village of Weston	5		\$300.00
<i>Fence</i>					
	108 - New Fence or Alteration (Residential)	Village of Weston	9	\$63,361	\$360.00
<i>General</i>					
	115 - Early Start (Residential)	Village of Weston	4	\$0	\$400.00
	759 - Zoning Verification	Village of Weston	1	\$0	\$0.00
<i>Home Improvement</i>					
	105 - Interior Remodel - 1&2 Family	Village of Weston	3	\$158,050	\$530.00
<i>HVAC</i>					
	600 - Commercial HVAC New Project	Village of Weston	1	\$49,900	\$100.00
	604 - Residential HVAC Install/Replacement	Village of Weston	3	\$13,815	\$150.00
<i>Lateral</i>					

# Permit Total Report Code

Issued From 5/1/2025 and Issued To 6/1/2025

Type	Report Code	Jurisdiction	No of Permits	Total Valuation	Fees Paid
	503 - Residential Lateral	Village of Weston	4		\$200.00
<i>Meter</i>					
	506 - Residential Water Meter	Village of Weston	4		\$5,300.00
	507 - Commercial Water Meter	Village of Weston	1		\$900.00
<i>Minor Home Improvement</i>					
	901 - Residential Exterior Remodel	Village of Weston	9	\$161,863	\$450.00
<i>Moving</i>					
	301 - Moving	Village of Weston	1		\$50.00
<i>Occupancy</i>					
	750 - Non-Residential Zoning	Village of Weston	3		\$150.00
<i>Occupation</i>					
	751 - Home Occupation	Village of Weston	1		\$50.00
<i>Plumbing</i>					
	500 - Commercial Plumbing	Village of Weston	3	\$32,000	\$300.00
	502 - Residential Plumbing	Village of Weston	1	\$1,000	\$50.00
<i>Sign</i>					
	400 - Permanent Sign	Village of Weston	1	\$2,000	\$250.00
<i>Sign Panel</i>					
	405 - Development Sign Panel Replacement	Village of Weston	1		\$50.00
<i>Special Assessment</i>					
	910 - Special Assessment	Village of Weston	16		\$640.00
	911 - Special Assessment (Non-Resident)	Village of Rothschild	2		\$30.00
<i>Special Event</i>					
	302 - Special Event on Public Property	Village of Weston	1		\$0.00
<i>Sprinkler</i>					
	110 - In-Ground Irrigation System	Village of Weston	1	\$4,675	\$50.00
<i>Well</i>					
	311 - Well Certification, Serviced Area (10- and 5-year)	Village of Rothschild	1		\$0.00
<i>WUBPA</i>					

# Permit Total Report Code

*Issued From 5/1/2025 and Issued To 6/1/2025*

Type	Report Code	Jurisdiction	No of Permits	Total Valuation	Fees Paid
	100 - New Home Construction	Village of Weston	10	\$3,816,196	\$29,205.00
<b>Total</b>			<b>115</b>	<b>\$4,691,955</b>	<b>\$42,450.60</b>



**Jennifer Higgins**  
**Planning & Development Director**

To: Plan Commission

Date: May 8, 2025

Re: Planning & Development Project Updates

1. **Assistant Zoning Administrator/Code Enforcement Officer Update** – Dustin Gessert started with us in this position on April 28. He has experience in law enforcement, facilities management, public works and construction. He has jumped right in on helping us with code enforcement, building maintenance and really wherever he is needed. He has been a nice addition to the Village Team.
2. **Comprehensive Plan Update** – Staff met with MDRoffers staff on 2/14/25 to kick off the project. We should have a rough draft of a public engagement survey later this spring and the first draft of the conditions issues by early summer. We will need to take some updated pictures for the document later this month or in early June.
3. **2025 Housing Availability Report** – NCWRPC finished up our 2025 Housing Availability Report a few weeks ago. I am in the process of getting it up on the website and plan to bring that and the New Housing Fee Report for 2025 to the PC in June. I also worked with Sam from the NCWRPC to create a [Village of Weston Development Map](#) (currently in draft and still housed at the RPC) to track current development projects. Right now it just shows housing projects but once it moves over onto our GIS system I will be working with Michael to add current road projects and other commercial/industrial development projects that are coming in. The Housing Permits Issued and Housing Lots created tabs also help us to meet state statute requirements for Wisconsin State Statute 66.10013.
4. **Evolve Software Upgrade** – Staff will be meeting again with Evolve the week of May 19<sup>th</sup> to go over the upgrade. I've been able to make a lot of procedural changes internally already that better mimics staff workflows when reviewing permits/projects. Code enforcement has also been updated to include all current ordinances due to the recent changes being done to CLPS related ordinances.



**Jennifer Higgins  
Planning & Development Director**

5. **Commercial Building Inspections** – The Department is still working towards being able to provide this new service. We have been unexpectedly busy over the last month in the Inspections Division with a number of new home permits coming in so this has been put on hold until fall.
  
6. **Request to vacate a portion of Everest Hilltop Addition Subdivision** – The Board approved the street vacation and the resolution was sent to the landowner. They are now proceeding through Circuit Court to vacate the unbuilt portion of the subdivision in Weston.

**TIF 1**

1. We have been working with a potential business on a portion of the vacant lot south of Tommy Docks off of Progress Way/Weston Avenue. They will be asking for TIF funding in addition to the purchase of the lot so that will go to the Board in May or June now as they have been delayed some since I first reported on this. If funded the site plan will come through PC for approvals.
  
2. **Fabick Cat, 9601 County Road J** – I received an update last week that they should be submitting updated plans in the next few weeks. The building addition site plan has been on hold awaiting NOI and stormwater information from applicant. Building 1 is an 18,443-sf expansion and will add additional maintenance/service bays and offices to their existing maintenance facility. Building 2 is a 4,050-sf addition creating a covered area adjacent to the existing paint booth.
  
3. **Project Timberwolf (Amazon), County Road J** – Final Occupancy Issued. Project Completion is scheduled for June.
  
4. **Wiesman Storage Units, 4305 Progress Way** –Conditional Use Permit and Site Plan were approved in August. Building permits were issued in April 2024. CUP amendment was approved on the December 2024 PC Agenda. They are currently finishing up the site and we will schedule the Project Completion in June.



**Jennifer Higgins  
Planning & Development Director**

5. **Weston Mini-Maxi Storage, 8211 Schofield Avenue** – Under Construction – At least 4 of the buildings have received occupancy to date.
6. **C-Tech, 8311 Technology Dr** – Under Construction - Building addition. Site Plan Approved in September. Early start footing and foundation permit issued 10/26/23. Building Permit issued.
7. **Wausau Supply, 8011 Technology Dr.** – We received a revision for landscaping that Meverden is following up on. Project Completion is scheduled for June with the others.
8. **Norcon, Progress Way, Phase 1 – Cold Storage & Phase II - Office Building** – Office area received temporary CO on 4/4/25. Another inspection is needed. Project Completion will come later this summer after occupancy is issued and all plantings are installed.

**TIF 2**

1. **ABC Weston, 3200 & 3202 Schofield Avenue** – Final Occupancy Issued for Building 1 – Weston House Café & Adventure Awaits businesses opened in May 2024. No building permit has been received yet for Building 2. Board approved giving them 50% of the original \$115,470 for building #1 (or \$57,735). All new/updated plans for building 1 and 2 have been approved as of November 2024. Development Agreement has also been updated as of 11/24. Staff has received the state approval letter for building 2 as of 12/3/24 however no permits have been pulled to date.
2. **Lokre/Stehr Retail Multi-tenant Building 2302 Schofield Avenue**— The Board approved a TIF ask on 2/19/24 and the site plan on 5/20/24. 8/19/24 a change from a 3 tenant to a 4-tenant building was approved and the development agreement amended. The project received another amendment in September 2024 due to them changing the scope from a 4 tenant to a 5-tenant building. The additional door to the east façade required the PC to review and approve the plans again. The Board approved the site plan amendment and amended the development agreement in September 2024. Amendment #4 was approved in November 2024. Building Inspection Staff issued occupancy on Suite 5 - Firehouse Subs for all trades in



**Jennifer Higgins**  
**Planning & Development Director**

December 2024 and the restaurant is open. We have received zoning permits for Suite 3 Juvly Aesthetics (moving from the AbbyBank Building) and Suite 2 Mathnasium – customized math tutoring services. Both are currently under construction. Juvly recently received a temporary OC. The Board authorized 75% of the TIF funds to be released in March for the project. The rest will be done after project completion which we have scheduled in late May/early June.

3. **Wendy's, 5401 Business Hwy 51** – Project Completion scheduled for late May/early June. I recently received a request for information from a surveyor looking to potentially split the lot so there may be some additional activity occurring on the eastern side of the lot.
4. **A&W, 2805 Schofield Avenue** – I am still awaiting details on the 2<sup>nd</sup> drive-thru lane and how it will fit with the existing parking lot. Building permits have been approved for façade work and interior remodeling.

**Outside TIF**

1. **Greenheck Turner Community Center (GTCC)** – Project Completion Scheduled for late May/early June.
2. **Badgerland Industries** – building addition approved 4/14/23. Building permit issued 5/22/23 Under construction. No final has been requested. Inspections followed up on this on 2/5/25 and met for an inspection. We are still waiting for some emergency egress information from the contractor before we can close out the project.
3. **Beyond the Office Door** – 7/25/23 building permit issued. Under construction. No final has been requested. Inspections need to follow up on this.
4. **TA Hoffman Warehouse Suites, 5804 Wayfair Ave** – Building permit issued. Dumpster enclosure area is currently being worked on. Project Completion will be scheduled as soon as we are notified the work is complete.
5. **Crystal Finishing Building Addition, 4704 Bayberry St** – 7/19/23 building permit issued. Small addition. Building Inspections need to follow up on its progress.



**Jennifer Higgins**  
**Planning & Development Director**

6. **BUG Properties** – CUP received, and site plan approved by PC. Development Agreement finally signed January 2nd. Building permit issued 2/13/24. Still under Construction. Staff has notified them they need to now remove the storage crates from out front.
7. **Central WI Powersports** – Site plan review for a small (1089 sq ft) cold storage building at this business was approved in April. Erosion control plans were submitted and approved in July. Building permit issued in early September. Progress unknown. Inspections will need to follow up on this in the spring.
8. **Ryan Street Storage Units** – Developer has revised the site plan to include a smaller project. The CUP was amended in November 2024. Occupancy Certificates were issued for buildings E, F, G & H as of 4/3/25 and they have the ok to rent those out as the fence and gate have been fully installed.
9. **Koble Investments 8-unit Apartment on Foothill** – Under Construction - 8-unit apartment building. Site plan approved 11/7/24. Building Permit issued 11/19/24.
10. **Green Tree Acres Final Plat** – Subdivision Plat and Development Agreement recorded. Phase 1 roads are complete. They have started applying for home permits and staff is working through the reviews on them. Replat was approved in March 2025.
11. **Arrowhead Estates First Addition** – Subdivision Plat was approved and recorded in April 2024. Under construction. DA has been amended. Believe all lots are now sold. We received the first permit request in late January and the 2<sup>nd</sup> in February.