



Village of Weston, Wisconsin

**Meeting of the PLAN COMMISSION & JOINT
TOWN & VILLAGE EXTRATERRITORIAL ZONING
(ETZ) COMMITTEE**

**During the 29th legislative session of the elected
Board of Trustees (2025 – 2026)**

Monday, November 10, 2025, at 6:00 P.M.

Packet Prepared By: Jennifer Higgins, Director of Planning & Development



Village of Weston, Wisconsin MEETING NOTICE

- Meeting of: **PLAN COMMISSION AND JOINT VILLAGE & TOWN EXTRATERRITORIAL ZONING COMMITTEE**
- Commissioners: **Cronin {c}, Zeyghami {vc}, Diesen, Guerndt, Hoffman, Jordan, Mumper**
- Committee: **Cronin {c}, Phelps {vc}, Christiansen, Guerndt, Hull, Mumper**
- Staff: **Jennifer Higgins, Director of Planning & Development
Audrey Webster, Assistant Planner**
- Date/Time: **Monday, November 10, 2025, 6:00 p.m.**
- Location: **Weston Municipal Center (4747 Camp Phillips Road) – Board Room**
- Agenda: **The agenda packet will be sent out at least 3 days prior to the meeting.**
- Attendance: **All Village officials are encouraged to attend. Commissioners, Committee members, Department Directors, and guests, please indicate if you will, or will not, be attending so we may determine in advance if there will be a quorum by sending an RSVP to the assigned Administrative Support person:**
- RSVP: **Valerie Parker, Plan Commission Secretary
(715) 241-2613
vparker@westonwi.gov**
- Questions: **Jennifer Higgins, Director of Planning & Development
(715) 241-2638
jhiggins@westonwi.gov**

This notice was posted at the Municipal Center, 4747 Camp Phillips Road, Weston and was e-mailed to local media outlets (Print, TV, and Radio) on 11/03/2025.

A quorum of members from other Village governmental bodies (boards, commissions, and committees) may attend the above-noticed meeting in order to gather information. No actions will be taken by any other board, commission, or committee of the Village, aside from the Village Plan Commission. Should a quorum of other government bodies be present, this would constitute a meeting pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis.2d 553,494 N.W.2d 408 (1993).

Wisconsin State Statutes require all agendas for Committee, Commission, or Board meetings be posted in final form, 24 hours prior to the meeting. Any posted agenda is subject to change up to 24 hours prior to the date and time of the meeting. All final agendas will be posted on the Village's website at www.westonwi.gov and a hard copy posted at the Village Municipal Center.

Any person who has a qualifying disability, as defined by the Americans with Disabilities Act, that requires the meeting or the materials to be in an accessible location or format, must contact the Weston Clerk's Department, by 12 noon, the Friday prior to the meeting, so any necessary arrangements can be made to accommodate each request.



VILLAGE OF WESTON, MARATHON COUNTY, WISCONSIN
REGULAR MEETING AGENDA OF THE VILLAGE PLAN COMMISSION AND JOINT TOWN & VILLAGE OF
WESTON EXTRATERRITORIAL ZONING COMMITTEE
Weston Municipal Center - Board Room
4747 Camp Phillips Road, Weston, WI 54476

Monday, November 10, 2025, at 6:00 p.m.

Some or all of the members of the Plan Commission, applicants, or members of the public, may participate in the meeting remotely by teleconference or videoconference via the Zoom links listed below.

Join Zoom Meeting by Computer:

<https://zoom.us/j/5445915099>

Join Zoom Meeting by Phone:

+1 312 626 6799 US (Chicago)

Meeting ID: 544 591 5099

If the public wishes to speak under public comment or any hearings listed on the agenda, please fill out a [Public Comment form](#) (external web link) and register it with the Clerk prior to the start of the meeting, or please log in using the Zoom meeting information listed above and raise your hand to be recognized to speak.

1. Call to Order – Roll Call & Declaration of Quorum.
 - Plan Commission – Cronin {C}, Zeyghami {VC}, Diesen, Guerdnt, Hoffman, Jordan, Mumper.
 - Extraterritorial Zoning Committee – Cronin {C}, Phelps {VC}, Christiansen, Guerdnt, Hull, Mumper
2. Open public comment period for items that do not appear on this agenda noted as public hearings.
3. Written Communications, Disclosures and Recusals. Members of the body should make any required disclosures or recusals during this time.
4. [Minutes from October 13, 2025, Joint Plan Commission and ETZ Committee Meeting.](#) (PC & ETZ)
5. [Public Hearing – Proposed Zoning Code amendments affecting portable outdoor storage units and residential accessory buildings including greenhouses and chicken enclosures and coops.](#) (PC & ETZ)
 - a. Open Public Hearing.
 - b. Presentation by Staff.
 - c. Take Public Comment
 - d. Close Public Hearing.
 - e. Recommendation from Staff
 - f. Discussion & Recommendation to the Board of Trustees by the Plan Commission.
 - g. Discussion & Recommendation to the Board of Trustees by the ETZ Committee
6. Adjourn ETZ Committee



VILLAGE OF WESTON, MARATHON COUNTY, WISCONSIN OFFICIAL MEETING AGENDA OF THE PLAN COMMISSION

7. [Public Hearing - Project #20250414](#) – Conditional Use Permit and Site Plan Review for Clubhouse Expansion at Crane Meadows Golf Course, 8103 Weston Avenue. (PC)
 - a. Open Public Hearing.
 - b. Presentation by Staff.
 - c. Take Public Comment
 - d. Close Public Hearing.
 - e. Recommendation from Staff
 - f. Discussion & Action by the Plan Commission.
8. [Site Plan Approval for Detached Accessory Structure \(for Residential Use\) at 4907 Aspen Street.](#) (PC)
9. [October 2025 Staff-Approved Certified Survey Maps and Site Plans.](#) (PC)
10. [October 2025 Building Permits.](#) (PC)
11. [Planning & Development Department Project Update Report.](#)
12. Announcements & Commissioner Remarks
13. Next Regular Meeting Date - Monday, December 8, 2025, at 6 pm
14. Future Agenda Items or Staff Referrals
15. Adjourn Plan Commission

A quorum of members from other Village governmental bodies (boards, commissions, and committees) may/might attend the above-noticed meeting to gather information. Should a quorum of other government bodies be present, this would constitute a meeting pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis.2d 553,494 N.W.2d 408 (1993). No official actions other than those of the Plan Commission and Joint Village & Town of Weston Extraterritorial Zoning Committee shall take place.

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 (ADA), the Village will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs or activities. If you need assistance or reasonable accommodations in participating in this meeting or event due to a disability as defined under the ADA, please call the Village Clerk at 715-359-6114 or clerks@westonwi.gov to discuss your accessibility needs. We ask your request be provided a minimum of 72 hours before the scheduled event or meeting. If a request is made less than 72 hours before the event the Village will make a good faith effort to accommodate your request.

This Agenda was posted at the Village Municipal Center, on www.westonwi.gov and transmitted to media partners on 11/5/2025. Questions can be directed to the Planning & Development Department at (715) 241-2613 or plandev@westonwi.gov.

Village of Weston, Wisconsin
OFFICIAL PROCEEDINGS OF THE VILLAGE PLAN COMMISSION AND JOINT VILLAGE & TOWN OF WESTON
EXTRATERRITORIAL ZONING COMMITTEE MEETING

held on Monday, October 13, 2025, at 6:00 p.m., in the Board Room, at 4747 Camp Phillips Road

AGENDA ITEMS.

1. Meeting called to order by Plan Commission Chair and Village Trustee Steve Cronin at approximately 6:10 p.m.

Roll Call of Village Plan Commission (PC) by Secretary Parker.

Roll call indicated 5 PC members present.

<u>Member</u>	<u>Present</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	YES
Diesen, Dave	YES
Guerndt, Gary	EXCUSED
Hoffman, Travis	ABSENT
Jordan, Joe	YES
Mumper, Roy	YES

Roll Call of Joint Village & Town of Weston Extraterritorial Zoning Committee (ETZ) by Secretary Parker.

Roll call indicated 5 ETZ members present.

<u>Member</u>	<u>Present</u>
Cronin, Steve	YES
Phelps, Dave	YES
Christiansen, Randy	YES
Guerndt, Gary	EXCUSED
Hull, Mark	YES
Mumper, Roy	YES

Village Staff in attendance, in-person: Gebert, Higgins, Wodalski, Maguire, Meverden, and Parker

Village Staff in attendance, via Zoom: None

Other Village Representatives in attendance, in-person: None

Other Village Representatives in attendance, via Zoom: None

Audience Members in attendance, in-person: There were 8 audience members present, in-person.

Audience Members in attendance, via Zoom: There was 1 audience member present, via Zoom.

2. Open Public Comment Period for items that do not appear on this agenda noted as public hearings. [0:00:45 Zoom Recording]

Cronin stated he received one comment that will be read in under Agenda Item #7.

3. Written Communications, Disclosures, and Recusals. [0:01:16 Zoom Meeting Recording]

None.

4. Minutes from September 8, 2025, Plan Commission Meeting. [0:01:30 Zoom Recording]

Motion by Diesen, second by Jordan: to approve the September 8, 2025, PC meeting minutes.

Yes Vote: 5 No Votes: 0 Abstain: 0 Not Voting: 2 Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	YES
Diesen, Dave	YES
Guerndt, Gary	----
Hoffman, Travis	----
Jordan, Joe	YES
Mumper, Roy	YES

5. Minutes from August 11, 2025, ETZ Committee Meeting (ETZ) [0:01:47 Zoom Recording]

Motion by Hull, second by Phelps: to approve the August 11, 2025, ETZ meeting minutes.

Yes Vote: 5 No Votes: 0 Abstain: 0 Not Voting: 1 Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Phelps, Dave {Vice Chair}	YES
Christiansen, Randy	YES
Guerndt, Gary	----
Hull, Mark	YES
Mumper, Roy	YES

6. Public Hearing – Project #20250376 – Rezone filed by Jason Pflieger, Northcentral Land Surveying, LLC, on behalf of property owners Wood Violet Trust and Scott & Jennifer Sommer. The request would rezone a portion of the following parcels to allow a land swap via a future Certified Survey Map

- **Parcel 192 2808 241 0993 (Wood Violet Trust): Rezone from SF-L (Single-Family Residential – Large Lot) to RR-5 (Rural Residential – 5 Acre)**
- **Parcel 192 2808 241 0997 (Scott & Jennifer Sommer) 10010 Schofield Avenue, Ringle: Rezone from RR-5 (Rural Residential – 5 Acre) to SF-L (Single-Family Residential – Large Lot) (PC) [0:02:10 Zoom Meeting Recording]**

a. Open Public Hearing

Cronin opened the hearing at 6:13 p.m.

b. Presentation by Applicant and/or Staff

Higgins referred to her report and the map in the packet, which shows the two small portions of land that the owners of the two properties would like to swap out. She stated that there is also a small separate piece of land within the overall parcel that Sommers’ owns, which will get combined into the main lot too.

Higgins stated that since the two small pieces, to be swapped out, are zoned differently, they are here requesting a rezoning of those to match the parcels they will be getting attached to.

The applicants were present in the audience, but chose not to make any comments.

c. Take Public Comment

None.

d. Close Public Hearing

Cronin closed the public hearing at 6:15 p.m.

e. Recommendation by Staff

Higgins stated staff recommends approval, and pointed the Commission to the Determination form.

f. Discussion and Action by Plan Commission

PC went through the Determination:

- 1) Yes
- 2) Yes
- 3) Reasoning #2
- 4) Yes

Motion by Diesen, second by Mumper: to recommend approval of Project #20250376 to the Board of Trustees.

Yes Vote: 5	No Votes: 0	Abstain: 0	Not Voting: 2	Result: PASS
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<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	YES
Diesen, Dave	YES
Guerndt, Gary	----
Hoffman, Travis	----
Jordan, Joe	YES
Mumper, Roy	YES

7. Public Hearing – Project #20220392 – Amendment to Conditional Use Permit and Site Plan at Ryan Street Rentals, LLC, 6508 Ryan Street, (REI/Ryan Street Rentals, LLC) (PC). [0:07:40 Zoom Meeting Recording]

c. Open Public Hearing

Cronin opened the hearing at 6:18 p.m.

d. Presentation by Applicant and/or Staff

Higgins explained the project and the timeline originally given with the CUP. She explained there was an amendment to the timeline about a year ago. She explained that all buildings, except for 3 final ones, have been constructed. All pavement and the concrete pads for the last 3 buildings are in. She stated that they have completed the required fencing, drainage swale, and landscaping.

Jeff Nowak, 166307 Green Hill Road, Wausau, and Brian Delisle, 1224 Townline Road, Wausau, were present, representing the project.

Higgins stated Nowak is requesting to construct the last 3 buildings at a later date, but does not have a designated timeframe on when those would be done, as he needs the market to recover first.

Mumper asked what Nowak's preference would be to complete.

Higgins stated if PC would like to put a timeline on this, they can, but how Nowak wants it open ended. Higgins stated that typically, a site plan approval is good for 2 years. Higgins stated he would have to take out the permit within 2 years, or come back through for a new CUP.

Nowak stated the buildings that he has commercial occupancy for, are about 50% filled now.

Delisle stated with no timeline, they have intentions to finish this when the market allows, but would like to get away from 2-year mark and leave it more open-ended.

Higgins explained that PC can amend the CUP to remove the 3 future buildings from the CUP. Then when they do want to construct those, they would just come back through the CUP and site plan review process. She stated that the PC could also amend the CUP timeline to allow more time (like 5 years) to construct those, where they would just need to obtain the building permits and staff could make sure the site plan was still viable. She stated the 3rd option would be to amend the CUP to remove the timeline, and let the building timeline follow the 2-year site plan approval deadline.

c. Take Public Comment

Cronin read in a public comment submitted by Thomas & Diane Allorie, of 6805 Feith Avenue, who is stating in their written comment that the fence has not been completed, and that there is a lot of overgrown weeds, left over tree stumps, large rocks, and unacceptable landscaping.

d. Close Public Hearing

Cronin closed the public hearing at 6:26 p.m.

e. Recommendation by Staff

Higgins stated staff recommends approval.

Diesen verified the buildings that they have received occupancy are being rented out. Nowak stated of the 80 units they have occupancy for, 50% are rented out.

Mumper questioned the comments from Allorie. Maguire stated that he is not sure where the comments are coming from, as the fence is installed, and the landscaping and drainage swale are all installed.

Maguire stated there is a berm to help keep stormwater, and how it was noticed that the neighbors are throwing their yard waste onto Nowak's property.

Jordan confirmed the slab for the other buildings are in place.

Diesen and Mumper both are in agreeance to give additional time for the 3 buildings.

Jordan commented on as long as codes don't change too much when they go to build, he is not opposed to 4 years. Maguire stated they would have to resubmit the plans when they do go to build. Maguire stated their State plan approvals will expire before the 4-year window.

Nowak questioned if we could move it out to 5 years.

f. Discussion and Action by Plan Commission

Motion by Jordan, second by Mumper: to recommend amending the timeline to for the final 3 buildings to be constructed to be in 5 years (2030). The applicant will need to apply for the building permits and site plan approval when that time comes.

Yes Vote: 5 No Votes: 0 Abstain: 0 Not Voting: 2 Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	YES
Diesen, Dave	YES
Guerndt, Gary	----
Hoffman, Travis	----
Jordan, Joe	YES
Mumper, Roy	YES

8. Final Plat Approval of Granite Ridge Subdivision – Riverside Land Surveying/Timber Ridge Builders, LLC (Project #20250324) PC [0:26:53 Zoom Meeting Recording]

Higgins stated the preliminary plat was approved last month. 67 single-family homes, and a mix of 20 duplex/twin homes. She stated this will be developed in two phases, and potentially starting construction of the roads yet this year.

Higgins pointed out that there are two encroachments from neighbors residing along Mary Lane. She stated this consists of some landscaping, hardscape fire pits and patios that those neighbors constructed that span across the property line. She stated there is also an outlot, for public right-of-way, where a resident on Old Costa Lane installed a yard shed without a building permit, across that property line.

Keith Walkowski, Riverside Land Surveying, 5310 Willow Street, was present.

Higgins stated staff is recommending that the developers not sell the lots with the encroachments, until those are figured out.

Cronin stated PC should go ahead and approve and have the property owners take care of the encroachment issues; however, the Village will take care of the shed one, by contacting them via certified letter.

There was discussion how the Future Transportation Map, and our Comprehensive Plan, since 2015, shows plans for an overpass over State Highway 29, but it is something that may never happen. Wodalski brought up the potential Municipal Street extension, and how that can be designed to cross the highway, if a crossing happened.

Motion by Mumper, second by Zeyghami: to recommend to the Board of Trustees to approve Resolution Number 2025-017, approving the final plat of the Granite Ridge Subdivision.

Yes Vote: 5 No Votes: 0 Abstain: 0 Not Voting: 2 Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	YES
Diesen, Dave	YES
Guerndt, Gary	----

Hoffman, Travis	-----
Jordan, Joe	YES
Mumper, Roy	YES

9. Review of Proposed Zoning Code Amendments (PC & ETZ) [0:35:15 Zoom Meeting Recording]

Higgins explained how at the last meeting where zoning code amendments were made, we left out the approval for greenhouses to allow for further discussion. She explained that since then, some potential changes for portable storage containers and changes to chicken coops/runs and come up. Depending on tonight's discussion, we could hold a public hearing in November or December.

Higgins explained the details from within her report.

Hull confirmed that for the AR District, we are proposing no permits required for the storage pods, as long as they meet the setbacks and the property owner has no more than 3. A concern he brought up was a property owner of vacant agricultural land placing these and then turning around and renting them out as storage rental. He brought up the concern about these being placed every 20 acres by the road. He also brought up the scenario of a property owner of 40 acres, has a residential business, and then using these as part of their residential business by renting them out.

Higgins stated Sec. 1 states not be placed prior to a principal use, and also that it is to be used for AG storage. Higgins stated these should be on an active farm, not just a field.

Hull stated how we've done a great job in cleaning up the Town over these past 40 years, that he does not want to see us go down the wrong direction, where we are chasing these down.

Hull commented (d) under 6 should be a #7, not a "d".

Hull confirmed, in Section 3, the reference to humane officers, that those still exist for us.

Christiansen questioned if it would help to require the portable storage containers to be permitted, because then we know where they are going. It was stated that most with them out in their AG fields would want access to them, where they would want to place them close to the roads. Hull is not sure how we will stop property owners from using these for business, if we are not permitting them.

A comment came up that someone with woods could have one of these placed during the night, and used as a hunting cabin. Another comment came up on if there was an emergency there, and no one knew it was there.

There was discussion that in all zoning districts, 94.4.09(1)(6)(v) should apply in all zoning districts.

Higgins stated the section on chicken coops essentially clarifies the coop area and enclosure (or run) area. She stated we are finding 30 sq ft is too small. She stated these will still need to be 10 feet from home and 50 feet from a neighbor's home. This change sets the coop, alone, at 30 sq ft, and the combined coop and enclosure to 75 sq ft.

Christiansen stated with the portable storage containers, he would prefer we permit them. Mumper stated for emergency purposes, so public safety knows what they are responding to, permitting would help.

Cronin does not feel it should be permitted. Higgins stated most of these will be located in the Town. She stated we can make changes to the code later if an issue starts to come up.

(PC) Motion by Jordan, second by Mumper: to direct staff to schedule a public hearing for November.

Yes Vote: 5 No Votes: 0 Abstain: 0 Not Voting: 2 Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	YES
Diesen, Dave	YES
Guerndt, Gary	----
Hoffman, Travis	----
Jordan, Joe	YES
Mumper, Roy	YES

(ETZ) Motion by Hull second by Christiansen: to direct staff to schedule a public hearing for November.

Yes Vote: 5 No Votes: 0 Abstain: 0 Not Voting: 1 Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Phelps, Dave {Vice Chair}	YES
Christiansen, Randy	YES
Guerndt, Gary	----
Hull, Mark	YES
Mumper, Roy	YES

10. September 2025 Staff-Approved Certified Survey Maps and Site Plans. [1:09:50 Zoom Meeting Recording]

Motion by Zeyghami, second by Mumper: to acknowledge the September 2025 Staff-Approved Certified Survey Maps and Site Plans.

Yes Vote: 5 No Votes: 0 Abstain: 0 Not Voting: 2 Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	YES
Diesen, Dave	YES
Guerndt, Gary	----
Hoffman, Travis	----
Jordan, Joe	YES
Mumper, Roy	YES

11. September 2025 Building Permits [1:10:10 Zoom Meeting Recording]

Motion by Mumper, second by Diesen: to acknowledge September 2025 Building Permits.

Yes Vote: 5 No Votes: 0 Abstain: 0 Not Voting: 2 Result: PASS

<u>Member (PC)</u>	<u>Voting</u>
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Cronin, Steve {Chair}	YES
Zeyghami, Hooshang {Vice Chair}	YES
Diesen, Dave	YES
Guerndt, Gary	----
Hoffman, Travis	----
Jordan, Joe	YES
Mumper, Roy	YES

12. Planning & Development Department Project Update Report. [1:10:24 Zoom Recording]

Higgins referred to her report. She also announced that our new Assistant Planner, Audrey Webster, will be starting this Thursday.

Higgins will email the recent League summary she received today, regarding housing, which will require us to make some changes to our code. She stated this is going through assembly and a hearing will be held on Wednesday.

13. Announcements and Committee/Commissioner Remarks/Staff Referrals [1:12:40 Zoom Recording]

Diesen questioned the status of the Weston Avenue project. Wodalski stated it should be finished this year. Paving will start mid-next week, and then will finish when rest of the road is done. He stated Nov. 14th is the due date for completion.

14. Next Regular Meeting Date – Monday, November 10, 2025, at 6pm.

This will be with ETZ.

15. Future Agenda Items or Staff Referrals [1:14:40 Zoom Recording]

None.

16. Adjourn Plan Commission & ETZ

Motion by Phelps, second by Mumper: to adjourn PC at 7:25 p.m.

Motion by Diesen, second by Zeyghami: to adjourn ETZ at 7:25 p.m.

Steve Cronin, Village Trustee and Plan Commission Chair
 Jennifer Higgins, Director of Planning & Development
 Valerie Parker, Recording Secretary

Project 20220392

During the December 12, 2022 the proposal consisted of:

- A fence installed along the Feith Ave family properties, to date this has not been completed. The fence in our backyard (6805 Feith Ave) has been started and has not been completed.
- Landscaping (to blend our properties along with the project) has not been completed:
 - The old fence was torn down however the area was never cleaned up hence the following:
 - Overgrown weeds
 - Left over tree stumps
 - Large rocks
 - Unacceptable/Unprofessional landscaping
 - Throwing dirt down along with grass seed is not acceptable

Therefore, we are opposed to amend the project phasing timeline as Ryan Street Rentals LLC has not met the initial promise to the households on Feith Ave.

Thomas and Diane Allorie
6805 Feith Avenue
Schofield, WI 54476

**NOTICE OF PUBLIC HEARING BEFORE VILLAGE OF WESTON PLAN COMMISSION &
EXTRATERRITORIAL ZONING COMMITTEE**

NOTICE IS HEREBY GIVEN that a public hearing will be held to take testimony relative to **amending provisions within Chapter 94 of the Municipal Code, affecting portable outdoor storage units and residential accessory buildings including greenhouses and chicken enclosures and coops.**

NOTICE IS FURTHER GIVEN that the **Village of Weston Plan Commission and Joint Village and Town of Weston Extraterritorial Zoning Committee** will hear this request at a public hearing scheduled for **Monday, November 10, 2025, at 6:00 p.m.** in the **Board Room of the Weston Municipal Center, 4747 Camp Phillips Road.** All interested persons are invited to attend and be heard.

A copy of the hearing and application materials are available in the **Planning & Development Department** during normal business hours (Monday through Friday 8:00 a.m. – 4:30 p.m.) or on the Village website at www.westonwi.gov.

Dated this **23rd day of October 2025.**
Valerie Parker, Commission Clerk

Run: October 27, 2025, and November 3, 2025.

REQUEST FOR CONSIDERATION

Public Mtg/Date:	Plan Commission & ETZ Committee Meeting, November 10, 2025
Description:	Public Hearing – Proposed Zoning Code amendments affecting portable outdoor storage units and residential accessory buildings including greenhouses and chicken enclosures and coops.
From:	Jennifer Higgins, Director of Planning & Development/Zoning Administrator Roman Maguire, Building Inspector Travis Meverden, Property Inspector Mark Roffers, MDRoffers
Question:	Should the PC/ETZ direct staff to schedule the proposed amendments for public hearing at a joint meeting of the PC/ETZ Committee in November?

Background

In August, the Plan Commission and ETZ Committee recommended, and the Village Board approved, several amendments to the zoning ordinance related to accessory buildings. At the Commission's and Committee's request, matters related to residential greenhouses and portable outdoor storage containers were removed from that amendatory ordinance before action. This removal was intended to allow further consideration of provisions, including a desire to allow portable outdoor storage containers in more permanent situations for non-residential uses within limits. Since August, staff also identified an interest in minor modifications to residential chicken coop and enclosure standards.

In October, the Commission and Committee reviewed a preliminary draft of a follow-up ordinance amendment to deal with these deferred matters. Concerns were raised about the perceived permissiveness in agricultural areas, and members suggested qualitative standards and a permit requirement in agricultural areas.

The attached draft amendatory ordinance addresses the matters raised in August and October. We are now submitting these ordinance changes for public hearing and recommendation to the Village Board. The attached draft amendatory ordinance suggests changes to sections of the Village's zoning ordinance in the order they appear in the full zoning ordinance. Except in Section 5, underlines are used to show proposed new language and ~~cross-outs~~ to show proposed deletions to existing language. The following summarizes the proposed changes.

Portable storage containers

- Addressed in Sections 1, 4, and 5 of the attached amendatory ordinance.
- Concept is to clarify the already existing rules for temporary storage containers, allowed in all zoning districts by temporary use approval, and to establish a separate set of rules for storage containers used on a more permanent basis in non-residential and agricultural districts.
- Section 5 defines portable storage containers for both temporary and permanent use, borrowing from the current definition of temporary portable storage containers.

REQUEST FOR CONSIDERATION

- Section 1 sets parameters for more permanent use of containers, by classifying such containers as a type of “detached accessory structure (for non-residential use)”, subjecting them to similar setback and other dimensional standards.
- Where in non-residential and mixed use zoning districts, additional proposed standards in Section 1 for these containers include attachment to a foundation such as a concrete slab, not blocking required parking spaces or traffic movement, not having a floor area greater than 15% of the principal building area, not more than 3 containers except by conditional use permit, installed and kept in good repair, only located within a rear yard area of a lot, and accompanied by a landscaped buffer where adjacent to a residential zoning district or public street.
- In a change from the last version, within Section 1, all permanent portable storage containers would require a building or zoning permit before installation regardless of zoning district—just like other accessory buildings—except where serving an agricultural use on the property.
- The number of portable storage containers would be limited to three in agricultural zoning districts; more possible by conditional use permit. With proposed changes from the last version, again in Section 1, containers in agricultural districts would be subject to similar maintenance standards as those in industrial and commercial districts, only located on a parcel with a principal building and placed within 500 feet of that building, not used to store materials from off-site, and not used to house or support a residential business.
- In another change since the last version, again in Section 1, semi-trailers, flatbed trailers, and detached truck bodies would be allowed as types of portable storage containers in agricultural districts, but not in other zoning districts. Where semi-trailers are used for storage in other districts, they are considered stored items themselves and subject to screening requirements under existing ordinance provisions not proposed for change.
- Temporary portable storage container regulations are amended in Section 4. These will generally be applied for up-to-30 day temporary use of shipping containers and PODS. In such cases, most of the above requirements for permanent containers would not apply. Another proposed revision in Section 4 allows longer-than-30-day periods by Zoning Administrator approval in emergency situations.

Residential Greenhouses and Other Residential Accessory Buildings

- Addressed in Section 2 of the attached amendatory ordinance.
- For each single-family lot, would allow one detached garage plus one utility shed, gazebo, or residential greenhouse.
- Requires all detached accessory structures serving a residential principal land use to be attached to a foundation, a hard surface, or the ground.
- Sets wind load requirements for all detached accessory structures of 144 square feet or greater serving a residential principal land use. These wind load requirements are proposed to be greater in areas with high wind exposure or population density—meeting standards similar to UDC buildings.

REQUEST FOR CONSIDERATION

- Provides more lenient snow load requirements for residential greenhouses than other types of residential accessory buildings, provided greenhouse design is conducive to sloughing off snow.

Chicken Coops and Enclosures

- Addressed in Section 3 of the attached amendatory ordinance.
- Clarifies that residential chicken coops may be as close as 10 feet from the home on the same lot (still have to be at least 50 feet from any other home).
- Expands the minimum coop area per chicken from 3 to 4 square feet, but still within a maximum of 30 square feet of coop area, based on a better understanding of animal health and sanitary standards.
- Sets a maximum coop + outdoor enclosure area of 75 square feet, based on similar attention to standards.
- Makes other minor changes for clarity.

Staff worked with MDROffers to allow for the proposed ordinance amendments to be done in a timely manner. We feel this will enable residents and businesses greater flexibility without compromising neighborhood aesthetics.

Attached Docs: Proposed Zoning Code Amendments Draft Ordinance

Committee Action: Greenhouses were looked at this past summer but removed from the last zoning code update so they could be researched more.

Amendments were initially reviewed by PC/ETZ at October Meeting.
Changes requested have been made.

Financial Impact: TBD

Recommendation: Staff recommends approval as submitted.

Recommended Language for Official Action

PC & ETZ will each need to make separate recommendation motions to the BOT.

- 1. I recommend the draft ordinance amendments as proposed to the BOT.**
- 2. I recommend the draft ordinance amendment with modifications to the BOT.**
- 3. I recommend the draft ordinance be denied by the BOT.**
- 4. No action – will move on to the BOT after 45 days with no action.**

REQUEST FOR CONSIDERATION

Additional action: BOT adoption by ordinance
Publication of Ordinance in WDH
Update Municipal Code

VILLAGE OF WESTON, MARATHON COUNTY, WISCONSIN

ORDINANCE NO. 25-016

AN ORDINANCE TO AMEND PROVISIONS WITHIN CHAPTER 94 OF THE MUNICIPAL CODE, AFFECTING PORTABLE OUTDOOR STORAGE UNITS AND RESIDENTIAL ACCESSORY BUILDINGS INCLUDING GREENHOUSES AND CHICKEN ENCLOSURES AND COOPS.

WHEREAS, the Village of Weston is authorized to prepare, adopt, and amend a zoning ordinance under §§ 62.23 and 61.35 of Wisconsin Statutes; and

WHEREAS, Chapter 94 of the Village's Municipal Code is the zoning ordinance for lands within the Village limits and portions of the Town of Weston designated as the extraterritorial zoning area; and

WHEREAS, certain standards regarding portable outdoor storage units and residential accessory buildings could be more responsive to recent requests, modern interests, and health, safety, and welfare needs; and

WHEREAS, the Joint Town and Village of Weston Extraterritorial Zoning Committee and the Village Plan Commission held a joint public hearing on this Ordinance, on November 10, 2025, in compliance with § 62.23 of Wisconsin Statutes; and

WHEREAS, following such hearing, the Village Plan Commission recommended enactment of this Ordinance for applicability within the Village limits; and

WHEREAS, following such hearing, the Joint Town and Village of Weston Extraterritorial Zoning Committee recommended enactment of this Ordinance for applicability within the extraterritorial zoning area; and

WHEREAS, the Village Board considered public comments and the recommendations of said Commission and Committee; and

WHEREAS, the Village Board finds the proposed amendments contained herein are reasonable, consistent with the Village Comprehensive Plan, and in the public interest.

NOW, THEREFORE, the Village Board of Weston, Marathon County, Wisconsin, does ordain as follows:

SECTION 1: Section 94.4.09(1) of the Village of Weston Municipal Code [Accessory & Miscellaneous Land Use Types] is hereby amended to provide as follows:

(1) Detached Accessory Structure (for Non-residential Use).

An accessory structure with floor area serving and ancillary to a non-residential principal land use and/or building(s) (e.g., an agricultural use or an industrial, institutional, commercial service use/building), but not attached to ~~the a~~ principal building(s).

Performance Standards:

1. Any such structure exceeding 2,000 square feet in floor area shall meet:
 - a. All principal building setback requirements in Figure 5.01(2) or 5.02(2) as applicable.
 - b. Building design standards in Section 94.10.03, except for a structure for fire department training, within an agricultural zoning district, and/or a hoop building or portable storage container which should instead meet applicable design standards per in subsection 6 below.
2. Shall not be constructed on any lot prior to establishment of a principal use on that same lot, unless otherwise stated in this Chapter.
3. Shall be designed to withstand a minimum of a 40-pounds per square foot of snow load.
4. See Figures 5.01(1), 5.01(2), 5.02(1), and 5.02(2) for setback, floor area, height, and coverage standards associated with Detached Accessory Structures (for Non-residential Use), which may vary by zoning district.
5. Shall not be occupied as a dwelling unit or otherwise used for human habitation, unless it has first been approved for such use by the Building Inspector and meets all applicable ~~code~~ requirements for a dwelling of the State ~~for a dwelling~~ and under ~~Section 94.4.09(8)~~ this chapter.
6. Except where accessory to an “Agricultural Use” as described in Section 94.4.03 or as a temporary use, shall require a building permit, or if not a building a zoning permit pursuant to Section 94.16.04, prior to placement on a lot.
- 6.7. No hoop building or portable storage container as defined in Section 94.17.04; or semi-trailer, flatbed trailer, detached truck body or structure of similar design; shall be permitted as a Detached Accessory Structure (for Non-residential Use), except where:
 - a. Where Used as a Temporary Portable Storage Container pursuant to Section 94.4.10(9) or as a Temporary Shelter pursuant to Section 94.10.10.
 - b. If Located within an agricultural zoning district, and meeting all of the following standards:
 - i. Up to three at any one time shall be permitted by right and more by conditional use permit.
 - ii. Shall be finished and maintained with a durable, all-weather material kept free from rips, tears, holes, seam breaks, rust, flaking paint, and any other

damage or disrepair that substantially impairs its appearance, functionality, or safety to its users or the public.

iii. May only be located on a tax parcel with a principal building, such as a farm residence, and no further than 500 feet from the principal building.

iv. Shall only be used for storage of materials or equipment generated by or used on the same tax parcel or same farm, as defined in Section 94.17.04.

v. May not be used for or to support a “Residential Business” as described in Section 94.4.09(6).

b.c. If located within an industrial, institutional, or rural mix- non-residential or mixed use zoning district as listed in Section 94.2.02(3), and meeting all of the following standards:

i. Attached to a finished, permanent foundation, such as a poured concrete slab or basement.

ii. May not be located within any designated parking space or in a manner that impedes traffic movement.

iii. No more than ~~two~~ three such buildings-structures permitted on any lot ~~or serving any principal use~~ at any one time, except by conditional use permit.

iv. Combined floor area ~~of all hoop buildings shall~~ not exceeding 15 percent of the floor area of the principal building(s) on the lot, except by conditional use permit.

v.

~~v. Shall be finished and maintained with a durable, all-weather material kept free from rips, tears, holes, seam breaks, rust, flaking paint, and any other damage or disrepair that substantially impairs its appearance, ~~or~~ functionality, or safety to its users or the public.~~

vi. Shall be scaled, designed, and colored to maintain harmony with the principal building and present a finished appearance to the public and surrounding properties.

vii. Shall not be a semi-trailer, flatbed trailer, detached truck body or structure of similar design.

viii. Shall be permissible in the rear yard only and not be visible from Schofield Avenue or Highway 29.

~~viii. Shall be sited to present its most desirable façade(s) to adjacent public rights-of-way and residentially zoned property, if façade appearance is appreciably different by side.~~

ix. A bufferyard meeting the requirements of Section 94.11.02(3)(d) shall be provided and continuously maintained between the structure and any ~~Where in a yard that is adjacent to a residentially zoned property, public land, or public right-of-way shall provide a bufferyard meeting the requirements of Section 94.11.02(3)(d).~~

SECTION 2: Section 94.4.09(2) of the Village of Weston Municipal Code [Accessory & Miscellaneous Land Use Types] is hereby amended to provide as follows:

(2) Detached Accessory Structure (for Residential Use).

An accessory structure serving a residential principal land use and building (e.g., a house or apartment building), but not attached to ~~the a~~ principal building. Includes detached residential garages and carports (where permitted) designed primarily to shelter parked passenger vehicles, utility sheds ~~as defined in Section 94.17.04~~, private recreation structures such as gazebos and residential greenhouses, and detached elevated decks or walkways associated with residential uses. All structures that are utilized for Agricultural Land Use Types (as listed in Section 94.4.03), ~~that~~ exceed 2,000 square feet in floor area, are within a rural and open space or RM zoning district, or are on parcels over 10 acres in area shall instead be regulated as a principal structure, and not as a “Detached Accessory Structure.”

Figure 4.09(2): Detached Accessory Structure (for Residential Use) Allowances

Principal Land Use	Zoning District	Maximum Permitted Type and Quantity of Detached Accessory Structure ¹	Minimum Distance from Other Buildings ²
Single-Family Detached Residence	FP, RM, AR and RR-5	Maximum of five ³	10 feet
	Any other zoning district	1 Detached Garage; and 1 Utility Shed; and 1 Gazebo <u>or Residential Greenhouse</u>	10 feet
Two-Family <u>or Townhouse</u> Residence	Any district where principal building located	1 Utility Shed, <u>Gazebo, or Residential Greenhouse</u> per Housing Unit	10 feet
Multi-Family Residence (<u>not including Townhouse</u>)	Any district where principal building located	*As approved through Site Plan Procedures <u>in Section 94.16.09</u>	10 feet
Manufactured Home or Mobile Home	MH	1 Utility Shed ⁴ and 1 Carport ⁵ , or 1 Detached Garage ⁶	5 feet from the accompanying home and 10 feet from all other buildings

¹ The terms detached garage, utility shed, gazebo, residential greenhouse, and carport are defined in Section 94.17.04.
² See Figures 5.01(1) and 5.01(2), and the footnotes below as may be applicable, for maximum floor areas, maximum lot coverage, minimum property line setbacks, and maximum heights relating to detached accessory buildings.
³ Except where approved by the Plan Commission or Extraterritorial Zoning Committee as part of an approved site plan under Section 94.16.09.
⁴ Each Utility Shed within the MH zoning district shall not be greater than 144 square feet in floor area with a 5-foot building separation.
⁵ Each Carport within the MH zoning district shall not be greater than 200 square feet in floor area with a maximum width of 10 feet.
⁶ Each Detached Garage within the MH zoning district shall not be greater than 344 square feet in floor area with a maximum width of 14 feet.

Performance Standards:

1. No Detached Accessory Structure (for Residential Use) shall be constructed on any lot prior to establishment of a principal use on that same lot.
2. ~~Except within the AR and RM zoning districts, n~~No hoop building, tarp shed, or carport shall be a permitted as a Detached Accessory Structure (for Residential Use), except within the AR or RM zoning district, for carports in the MH district, for residential greenhouses as defined in Section 94.17.04, or -on a temporary basis- for a maximum of five consecutive days within a 30-day period for a special event ~~such as a sale on the property~~ following ~~issuance of a~~ temporary use approval permit.

3. The roof of each Detached Accessory Structure (for Residential Use), ~~including those permitted under standard 2,~~ shall be designed to withstand a minimum of a 40-pounds per square foot of snow load, except residential greenhouses may be designed to a 30-pound per square foot standard where the roof has at least a 3:12 pitch and no valleys, directional changes, or obstructions.
4. Each Detached Accessory Structure (for Residential Use) shall be secured to a foundation, to another hard or gravel surface, or to the ground.
- ~~3.5.~~Each Detached Accessory Structure (for Residential Use) of 144 square feet or greater in floor area, or proposed for an area with high wind exposure or high population density as determined by the Building Inspector, shall be designed to meet the horizontal wind load requirement in SPS 321.23(2), Wis. Admin. Code. All other such structures shall be designed to sustain a wind load of up to 60 miles per hour.
- ~~4.6.~~All driveways built to serve Detached Accessory Structures (for Residential Use) are subject to associated standards under Section 94.12.08. Each Detached Accessory Structure (for Residential Use) shall be served by a driveway connected to a public road if used to shelter a motor vehicle or trailer, or otherwise where vegetative ground cover to an overhead door cannot be maintained in the determination of the Zoning Administrator or Building Inspector.
- ~~5.7.~~Except for residential greenhouses, The exterior walls of each Detached Accessory Structure (for Residential Use) shall be sided with wood, masonry, concrete, stucco, Masonite, horizontal vinyl or metal lap siding, or similar material approved by the Zoning Administrator. Vertical siding is also allowed in all RM and rural and open space zoning districts aside from RR-2. All exterior siding shall extend to the top of the foundation. If the top of the foundation is below grade, the siding shall extend to the ground.
- ~~6.8.~~Except for residential greenhouses, Rroofs of Detached Accessory Structures (for Residential Use) shall be surfaced with any of the following materials: wood shakes; asphalt, composition, or wood shingles; clay, concrete or metal tiles; slate; built-up gravel materials; screw down metal roofing; rubber membrane (for flat roofs or roofs with no greater than a 1:12 pitch); or similar material approved by the Zoning Administrator.
- ~~7.9.~~Pole or ladder constructed buildings shall be permitted only within the RM and rural and open space zoning districts, except for the RR-2 district and for residential greenhouses, and shall be subject to subsections 5. and 6. of this section.
- ~~8.10.~~ No Detached Accessory Structure (for Residential Use) shall involve or include the conduct of any business, trade, or industry, except for home occupations and residential businesses as described and limited elsewhere in this Article 4.
- ~~9.11.~~ No Detached Accessory Structure (for Residential Use) shall be occupied as a dwelling unit or otherwise used for human habitation, unless it has first been approved for such use by the Building Inspector and meets all applicable requirements of the State for a dwelling and under Section 94.4.09(8).
- ~~10.12.~~ In all residential, RR-2, and non-residential and mixed-use zoning districts, and for all Multi-family Residences regardless of district, no portion of a Detached

Accessory Structure (for Residential Use) shall occupy any land between the principal building on a residential lot and ~~a street right-of-way~~ the front lot line, except where such building has fewer than 15 square feet of floor area (30 square feet in the RR-2, non-residential, and mixed use districts) or otherwise by Plan Commission or Extraterritorial Zoning Committee approved by the Plan Commission as part of an approved site plan approval.

~~11.13.~~ 13. See Figures 5.01(1) and 5.01(2) for other setback, floor area, building height, and coverage standards associated with Detached Accessory Structures in residential zoning districts. Maximum floor area and total building coverage shall not exceed the maximums set forth in Figure 5.01(1), except as allowed by a conditional use permit; ~~subject to the procedures in Section 94.16.06 where all of the performance standards in this section plus and~~ all of the following additional standards are satisfied for the Detached Accessory Structure:

- a. Not taller or have more floors above ground level than the principal building.
- b. Has a similar roof slope and overhang width as the principal building. If the principal building has multiple roof slopes and/or overhang widths, the roof slopes and widths of the accessory structure shall reflect those principal building roof characteristics that are most visible from the public street.
- c. Shingles or other roof surface shall be of a similar material and color as the roof surface of the principal building.
- d. Siding shall be of a similar material and color as the siding on the principal building, except that where the siding on the principal building is stone or brick, another compatible material may be selected.
- e. May not be located further toward the front lot line than the principal building.
- f. Shall meet all setback requirements normally applicable to principal buildings per Figure 5.01(2).

~~12.14.~~ 14. Detached garages serving Multi-Family Residences shall be accompanied by a bufferyard meeting the requirements of Section 94.11.02(3)(d) between the garage and (a) the public right-of-way and (b) a property line abutting any residentially zoned property.

SECTION 3: Performance standard 7 of Section 94.4.09(10) of the Village of Weston Municipal Code [Accessory & Miscellaneous Land Use Types, Keeping of Farm Animals on Residential Lots and School Sites] is hereby amended to provide as follows:

7. To be considered an allowed accessory use within any residential zoning district:
 - a. The principal use of the lot must be a Single-Family Detached Residence and lot area shall not be less than 15,000 square feet.
 - b. The only permitted farm animals are up to 5 chickens; no roosters are permitted.
 - c. In addition to meeting the minimum detached accessory building setback requirements in Figure 5.01(2)a. above, no animal enclosure shall be closer than 10

feet from the dwelling on the same lot and 50 feet from any pre-existing dwelling on any other lot.

- d. Chickens may only be kept in ~~only~~ one enclosure per lot, which enclosure shall include a covered coop and ~~may include an attached a~~ contiguous run. The ~~enclosure shall be large enough to provide~~coop shall have at least 34 square feet of floor areaspace per chicken, ~~but shall not exceed up to a maximum of~~ 30 square feet ~~in size~~total. The enclosure including the coop shall not exceed 75 square feet in area. Between sunrise and sunset, chickens may be outside of the coop ~~into the run~~but must remain within the enclosure at all times. Chickens must be secured in the coop between sunset and sunrise.

~~e. Proof of WIDATCP livestock registration shall be required. <https://wiid.org>~~

~~f.e.~~ License Required. No person shall keep chickens without first obtaining a valid license issued by the Village of Weston and proof of livestock registration from the Wisconsin Department of Agriculture and Consumer Protection. If not the owner of the premises, the applicant shall secure the owner's signature on or with the license application. Each ~~l~~license shall be valid for one year from April 1 through March 31 and is required to be renewed annually. Failure to obtain or renew a license by ~~said date~~ ~~or~~ prior to acquiring or maintaining chickens may result in a penalty ~~subject to~~under Section 94.16.19. Prior to license issuance, the interested party shall first obtain site plan approval ~~through an application, site inspection, and fee~~ pursuant to Section 94.16.09 ~~and 94.15.18~~ to demonstrate compliance with standards ~~a~~ed above.

~~g.f.~~ Following the procedure in Section 94.16.19, the village may revoke any license, impose other penalties and abatement based on the Humane Officer's findings of violation to any applicable ordinance requirement, approved plan, or condition of site plan or license approval.

SECTION 4: Section 94.4.10(9) of the Village of Weston Municipal Code [Temporary Land Use Types] is hereby amended to provide as follows:

(9) Temporary Portable Storage Container.

A portable storage container as defined in Section 94.17.04 and designed and used ~~primarily~~ for temporary storage, ~~such of household goods and other such materials for use on a limited basis on residential property. Also known as a "pod."~~ Longer-term usage of portable storage containers in agricultural, non-residential, and mixed use zoning districts is as prescribed in Section 94.4.09(1) rather than the Temporary Portable Storage Container performance standards below.

Performance Standards:

1. ~~The container~~Container shall either be:
 - a. ~~permitted~~Permitted on the property for up to 30 days associated with each change of occupancy as defined by a recorded change in property ownership or valid lease, ~~or~~
 - ~~a.b.~~Permitted for a longer period of time as specified by the Zoning Administrator in emergency circumstances such as fire, flood, or other extreme weather event.

2. ~~The~~No Temporary Portable Storage Container ~~cannot shall~~ encroach on any the public right-of-way, neighboring adjacent property or in the public right-of-way including any ,sidewalk, or be placed in the street.
- 2.3.-The ~~unit~~Container must be sited on a hard surface as defined in Section 94.17.04.
4. No more than one Temporary Portable Storage Container per lot shall be permitted at any one time.
5. Shall comply with temporary use review and approval procedures in Section 94.16.07.

SECTION 5: The following definition is hereby added within Section 94.17.04 of the Village of Weston Municipal Code:

Portable Storage Container: A stand-alone secure container that is portable in nature; designed and constructed for outdoor use; and used for the storage of household goods and/or commercial products that are not hazardous, toxic, explosive, or alive. For temporary use, often also commonly referred to as a “pod” and for other uses sometimes referred to as a “shipping container.”

SECTION 6: SEVERABILITY. If any section, clause, provision, or portion of this Ordinance is adjudged unconstitutional or invalid by a court of competent jurisdiction, the remainder of this Ordinance shall not be affected thereby. If an application of this Ordinance to a particular structure, land, or water is adjudged unconstitutional or invalid by a court of competent jurisdiction, such judgment shall not be applicable to any other structure, land, or water not specifically included in said judgment. If any requirement or limitation attached to an authorization given under this Ordinance is found invalid, it shall be presumed that the authorization would not have been granted without the requirement or limitation and, therefore, said authorization shall also be invalid. Any other ordinances whose terms are in conflict with the provisions of this ordinance are hereby repealed as to those terms that conflict.

SECTION 7: EFFECTIVE DATE. This Ordinance shall take effect upon approval and publication.

Dated the ____ day of _____, 2025

WESTON VILLAGE BOARD

By: _____
Mark Maloney, its President

Attest:

Pamela Brehm, its Clerk

APPROVED: _____
PUBLISHED: _____

NOTICE OF PUBLIC HEARING BEFORE VILLAGE OF WESTON PLAN COMMISSION

NOTICE IS HEREBY GIVEN that an application has been filed by **Michael Juedes, Just Build It Construction** on behalf of property owner **Daniel Weilep, Crane Meadows, LLC**, requesting a **Conditional Use Permit** at **8103 Weston Avenue**, to allow for the expansion of an **active outdoor public recreation** land use in an **AR (Agriculture and Residential)** zoning district. (Project #20250414).

The property is described as the northwest quarter of the northeast quarter except for the north 2 rods thereof, located in Section 26, Township 28 North, Range 08 East, Village of Weston, Marathon County, WI. Total parcel area consists of **39 acres** and is addressed as **8103 Weston Avenue**.

NOTICE IS FURTHER GIVEN that the **Plan Commission** will hear this request at a public hearing scheduled for **Monday, November 10, 2025, at 6:00 p.m.** in the **Board Room of the Weston Municipal Center**, 4747 Camp Phillips Road. All interested persons are invited to attend and be heard.

A copy of the hearing and application materials are available in the **Planning & Development Department** during normal business hours (Monday through Friday 8:00 a.m. – 4:30 p.m.) or on the Village website at www.westonwi.gov.

Dated this **28th day of October 2025**.
Valerie Parker, Commission Clerk

Run: October 31, 2025, and November 3, 2025.



NOTICE OF PUBLIC HEARING BEFORE THE VILLAGE OF WESTON PLAN COMMISSION

NOTICE IS HEREBY GIVEN that a public hearing will be held before the Village of Weston Plan Commission on **Monday, November 10, 2025, at 6:00 p.m.** in the Board Room of the Weston Municipal Center, 4747 Camp Phillips Road.

An application for Conditional Use Permit (Project #20250414) has been filed by Michael Juedes, Just Build It Construction on behalf of property owner Daniel Weilep, Crane Meadows, LLC. The request would all for the expansion of an **active outdoor public recreation land use** in an AR (Agriculture and Residential) zoning district at 8103 Weston Avenue.

The applicant is proposing to expand the active outdoor public recreation land use by constructing a 34'X54' (1,836 sq ft) addition on the existing Crane Meadows golf course clubhouse.

Property Owner – Crane Meadows, LLC

Parcel: 192 2808 261 0998

Current Zoning: AR Agriculture and Residential

Acreage: 39 acres

Legal Description:

The NW $\frac{1}{4}$, of the NE $\frac{1}{4}$, except for the north 2 rods thereof, of Section 26, Township 28 North, Range 08 East, Village of Weston, Marathon County, WI.

All interested persons are encouraged to attend the public hearing and will be given the opportunity to provide testimony. Written comments may also be submitted prior to the meeting.

Question regarding this request may be directed to Jennifer Higgins, Director/Zoning Administrator, in the Planning & Development Department at (715) 241-2613, or by email at plandev@westonwi.gov.

Notice to Adjacent Property Owners and Municipalities:

In accordance with Wis. Stat. § 62.23(7)(d)2 and Weston Zoning Ordinance Chapter 94, notice of this public hearing has been mailed to property owners within 300 feet of the affected parcels and to any adjacent municipality within 1,000 feet.

Dated this 28th day of October 2025.

Valerie Parker, Commission Clerk

Run: October 31, 2025, and November 3, 2025.

REQUEST FOR CONSIDERATION

Public Mtg/Date:	Plan Commission, November 10, 2025
Description:	Public Hearing - Project #20250414 – Conditional Use Permit and Site Plan Review for Clubhouse Expansion at Crane Meadows Golf Course, 8103 Weston Avenue.
From:	Jennifer Higgins, Planning & Development Director/Zoning Administrator
Question:	Should the Plan Commission approve a conditional use permit to allow for the expansion of the Crane Meadows Golf Course Clubhouse?

BACKGROUND

Crane Meadows Golf Course is an existing, privately owned seasonal golf course located on Weston Avenue. They are proposing a 1,836 sq ft addition to the existing clubhouse. The proposed expansion of the clubhouse is intended to enhance guest services and support seasonal golf operations. The clubhouse will offer limited food, beverage, and retail services to golfers and guests during active golf hours. It will also add bathrooms to the facility that will be hooked up to Village sewer and water services.

The property is zoned AR Agriculture and Residential. The current land use, *Active Outdoor Public Recreation*, requires a conditional use permit in the AR zoning district.

The applicant, Michael Juedes of Just Build It Construction, has submitted applications for conditional use permit and site plan review. A public hearing was noticed for this Plan Commission meeting. Staff has no issues with approving the conditional use permit however, we have been struggling to get the appropriate site plan review materials from the applicant which need to be included in the final CUP. Currently we are still waiting for the following plans:

1. Utility Plans – as this will be a new hookup to the sewer and water that was extended a few years ago.
2. Lighting Plans – they plan to add new lighting to the building addition, so we need to have lighting photometrics for the site and lighting spec cut sheets.
3. Grading/Drainage Plan
4. Location of mechanical equipment additions have not been shown on the site plan. Staff has requested the applicant provide information and location on any heating, ventilation and air conditioning equipment that will be located outside and show how it will be properly screened.

The applicant was notified immediately after the initial submittal in early October that these were missing and needed to be submitted for the review. I proceeded with the hearing notice as to not hold up the approvals and at the time we were weeks away from the meeting.

A denial letter was sent yesterday for the site plan review requesting the above materials again and payment of application fees to be made to keep this moving through review. Today (11/5/25), an updated erosion control plan of sorts was submitted however we still do not have any of the requested plans or information from above. He did pay for the review fees.

REQUEST FOR CONSIDERATION

It will be up to the PC to decide how they want to handle this given that we are coming to the end of construction season. Per Section 94.16.06(6) *Review and Action by the Plan Commission or Extraterritorial Zoning Committee. Within 60 days after the public hearing, or an extension of said period requested in writing or electronic format by the applicant and granted by the Commission or Committee, the Plan Commission or Extraterritorial Zoning Committee shall take final action on the conditional use permit request. Prior to acting on a conditional use permit application, the Plan Commission or the Extraterritorial Zoning Committee may request further information and/or additional reports from the Zoning Administrator, the applicant, outside experts and/or any other source. The Commission or Committee may approve the conditional use as originally proposed, may approve the proposed conditional use with conditions or modifications, or may deny approval of the proposed conditional use and include reasons for denial. Any action to approve or amend the proposed conditional use permit requires a majority vote of Commission or Committee members in attendance. Nothing in this Chapter requires town plan commission or town board action on proposed conditional use permits in the ETZ Area.*

Staff will continue working with the applicant until the meeting on Monday to obtain the necessary site plan materials and also will provide a draft CUP for review at that time to allow for the meeting packet to go out in a timely manner. Someone from PGA did contact Michael on the utility extension so I am hopeful we will receive that prior to Monday.

Attached Docs: Hearing Notice, Site Plan materials received to date, Draft CUP Determination

Committee Action: None.

Fiscal Impact: TBD.

Recommendation: None at this time. We will continue to work with the applicant up to the meeting and provide the recommendation at that time.

RECOMMENDED LANGUAGE FOR OFFICIAL ACTION

Per Sec. 94.16.06(6) The Commission may approve the conditional use as originally proposed, may approve the proposed conditional use with conditions or modifications, or may deny approval of the proposed conditional use and include reasons for denial. Any action to approve or amend the proposed conditional use permit requires a majority vote of Commission members in attendance.

With that being said, here are your motion options for consideration.

- 1. I recommend approval of the conditional use permit (CUP) as presented.**
- 2. I recommend approval of the CUP with conditions or modifications.....[please list]**
- 3. I recommend we deny the CUP for the following reasons.....[please list]**
- 4. I recommend we defer action until the next meeting (or up to 60 days) to allow for the applicant to provide the requested materials so staff can finish their review.**
- 5. I recommend approval of the CUP and direct staff to work with the applicant on achieving site plan approval. The final approved site plan materials will then be added to the CUP as Exhibit A.**

REQUEST FOR CONSIDERATION

ADDITIONAL ACTION: Notify applicant of [Approval / Denial] [Staff]
Record CUP [Staff]



Application for Conditional Use Permit
CONDITIONAL USE PERMIT DETERMINATION BY THE PLAN COMMISSION

Application/Petition No.: **20250414** Hearing Date: **November 10, 2025**
Applicant: **Michael Juedes, Just Build It Construction**
Location: **8103 Weston Avenue, Weston, WI 54476**
Description: **A conditional use permit application, to allow for expansion of an active outdoor public recreation land use in an AR (Agriculture and Residential) zoning district.**

The Department of Planning and Development of the Village of Weston, pursuant to the Village of Weston Zoning Code, Article 16 Procedures and Administration, Section 94.16.06 Conditional Use Permits, hereby makes the following findings and evaluation to the Plan Commission:

GENERAL INFORMATION:

Zoning: **AR Agriculture and Residential Zoning District**

Definition: AR Agriculture and Residential. The AR district is primarily intended to preserve agricultural, forested, and other open lands until ripe for non-agricultural development, including residential, commercial, and industrial development, and to allow for very low density residential development. The AR district is also intended for areas planned for denser development in the Comprehensive Plan, but not yet suited for such denser development due to lack of public utilities or services in the area, inadequate roads, a sufficient supply of lands zoned for development elsewhere, and other factors. (Predecessor districts: AG, RR-10)

Definition: **Active Outdoor Public Recreation.**

94.4.04(2) Includes all outdoor land uses located on public property or public easement that accommodates active recreational activities. Such land uses include play courts (such as tennis courts and basketball courts), playfields (such as ball diamonds, football fields, and soccer fields), tot lots, outdoor swimming pools, swimming beach areas, fitness courses, golf courses open to the public, and similar land uses.

Performance Standards:

- a. Concession stands, shelters, pavilions, gazebos, restrooms, and other buildings commonly associated with an Active Outdoor Public Recreation use shall be permitted but shall meet size limitations associated with Accessory Buildings (for Non-Residential Use).
- b. Air domes may be allowed to house part of use by conditional use permit.
- c. Any Active Outdoor Public Recreation Use that involves balls or other projectiles shall provide netting, sufficient distance, or another method approved by the Zoning Administrator to prevent the balls or projectiles from leaving the property.
- d. Minimum Required Off-Street Parking: One space per four expected patrons at maximum capacity for any use requiring over five spaces by this standard.

DETERMINATION (To be completed by the Plan Commission):

1. Is the proposed conditional use consistent with the Comprehensive Plan, this Chapter, and all other plans, programs, and ordinances adopted by the Village and ETZ Committee.
2. The proposed conditional use, in its proposed location and as depicted on the required site plan, will not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan, or all other plans, programs, and ordinances adopted by the Village.

3. Does the proposed conditional use will maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
4. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by public agencies serving the subject property.
5. Do the potential public benefits of the proposed conditional use outweigh potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

BACKGROUND INFORMATION:

Crane Meadows Golf Course is an existing, privately owned seasonal golf facility located in Weston, Wisconsin. . They are proposing a 1,836 sq ft addition to the existing clubhouse. The proposed expansion of the clubhouse is intended to enhance guest services and support seasonal golf operations. The clubhouse will offer limited food, beverage, and retail services to golfers and guests during active golf hours. It will also add bathrooms to the facility that will be hooked up to Village sewer and water services.

CURRENT PROPERTY CONDITIONS:

The subject property is currently being used as a 9-hole golf course.

PLAN COMMISSION ACTION OPTIONS:

1) Approve the Conditional Use Permit at 8103 Weston Avenue, with the following conditions:

[NOTE: THESE ARE STILL BEING WORKED ON AND WILL BE UPDATED FOR THE MEETING DEPENDING ON STATUS OF SITE PLAN SUBMITTAL]

1. The use and construction of the structure shall be consistent with the plans as submitted and as shown in "Exhibit A". [Note: These exhibits are still fluid as we have not received all the requested site plan material for review.]
2. Any changes to the use, structure, or location as submitted as "Exhibit A", shall require submittal of a new Conditional Use Permit application.
3. The building addition shall be in accordance with the site plan approved by the Village Approval Authority within 12 months of the signing of this conditional use permit. Any future additions, modifications or changes in said site plan and/or building plan must be approved by the Village Approval Authority, in advanced of any construction;
4. No use is hereby authorized unless the use is conducted in a lawful, orderly, and peaceful manner. Nothing herein shall be deemed to authorize any public or private nuisance or to constitute a waiver, exemption, or exception to any law, ordinance, order or rule by the Village, Marathon County, State of Wisconsin, United States or other duly constituted authority, except only to the extent that it authorizes the use of the Subject Property in any specific respects described herein.
5. Should any paragraphs or phase of herein be determined by a court of competent jurisdiction to be unlawful, illegal, or unconstitutional, said determination as to the particular phrase or paragraph shall not void the remainder of this conditional use and the remainder shall continue in full force and effect.
6. Any additional conditions PC determines at the hearing.

2) Deny the Conditional Use Permit at 8103 Weston Avenue. (Please list reasons why)

3) Defer action on the Conditional Use Permit for up to 60 days per Sec. 94.16.06(6).

**CONDITIONAL USE PERMIT
SUPPLEMENTAL REVIEW CRITERIA
VILLAGE OF WESTON**



The following questions are a Comparison of Proposed Conditional Use with Required Review Criteria (complete below or on an attached sheet as needed). Thorough and complete answers assist Staff and Commissioners in review the application and reaching a determination. If you have questions with these questions, please contact staff at plandev@westonwi.gov or (715)241-2613. The Zoning Code and Comprehensive Plan can be found online at the Village's Website.

1. Is the proposed conditional use consistent with the purposes, goals, objectives, policies and standards of the Village of Weston Comprehensive Plan; zoning ordinance; and all other plans, program and ordinances adopted or under consideration? Explain how, or why not. (Consult with Zoning Administrator as necessary on applicable plans.)

Yes, it is an addition to the existing business

2. Does the proposed conditional use in this location, as depicted on the required site plan, result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, the natural environment, traffic, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this Chapter, the Comprehensive Plan, or all other plans, programs, map, and ordinances adopted by the Village? Explain how, or why not.

No, the property is large and it will improve appearance

3. Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environments of the subject property? How?

Yes, it allows for better use of the course

4. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property? Explain how this has been evaluated.

Yes, it is behind the existing buildings

5. Do the potential public benefits of the proposed conditional use outweigh potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts? Explain how.

Yes, it will bring more business in the area

Crane Meadows Golf Course – Clubhouse Expansion Operational Plan

1. Facility Overview

Crane Meadows Golf Course is a privately owned seasonal golf facility located in Weston, Wisconsin. The proposed expansion of the clubhouse is intended to enhance guest services and support seasonal golf operations. The clubhouse will offer limited food, beverage, and retail services to golfers and guests during active golf hours.

2. Operating Season & Hours

Seasonal Operation: April 15 through October 31 (weather dependent)

Daily Hours: Clubhouse operations will mirror golf course hours, typically from 8:00 AM to dusk

League Nights: Extended hours may apply for scheduled league play and events

3. Services Provided

A. Golf Operations

Tee time check-in, cart rental coordination, and general customer service

Beverage cart service during league nights and special events

B. Food & Beverage

Prepackaged Food: Frozen pizza (prepared and served on-site), chips, granola bars, and other light fare

Beverages:

Non-alcoholic: Water, soda, sports drinks

Alcoholic: Beer, wine coolers, and seltzers (served in compliance with Wisconsin licensing and age verification laws)

C. Retail Sales

Light retail of golf-related supplies including:

Golf balls, tees, gloves, hats, sunscreen, insect repellent

Branded apparel and accessories

4. Staffing & Oversight

Typical Staffing: 1–2 employees in the clubhouse during regular hours

League Nights: Additional beverage cart employee assigned

Management: Owners oversee staffing, inventory, compliance, and financial operations

5. Licensing & Compliance

Alcohol License: Seasonal Class B license application submitted to local municipality

Retail Sales Tax: Registered with Wisconsin Department of Revenue for applicable sales tax collection

Food Safety: Compliance with Wisconsin Department of Health Services for handling and serving prepackaged food

6. Waste Management & Safety

Waste Disposal: Contracted with local provider for regular waste and recycling pickup

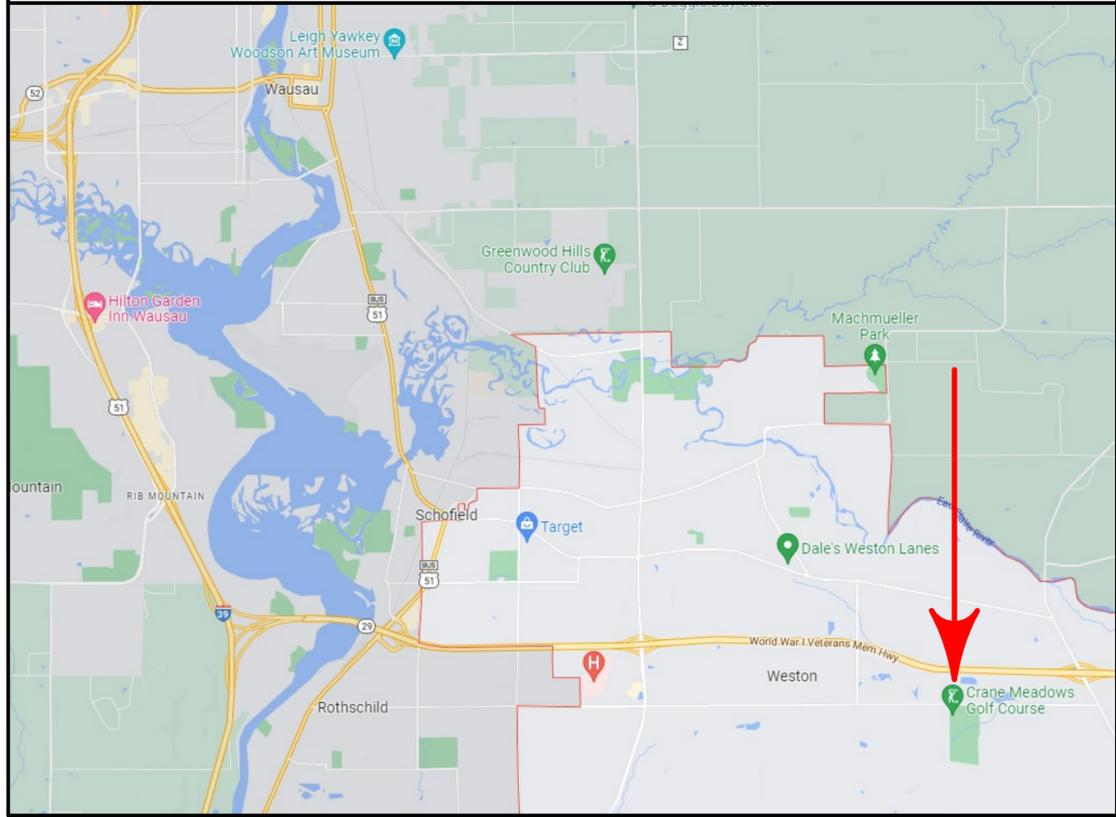
Safety Protocols: Staff trained in responsible beverage service, basic first aid, and emergency procedures

7. Community & Events

The clubhouse may host occasional member events, league gatherings, and private functions

All events will comply with local noise ordinances, occupancy limits, and licensing requirements

BUILDING LOCATION



CRANE MEADOWS GOLF COURSE

8103 ZINSER STREET, AVENUE, WESTON, WI 54476



BUILDING INFORMATION

PROJECT ADDRESS

8103 ZINSER STREET
WESTON, WI 54476
MARATHON COUNTY

DESIGNED TO

IBC 2015 COMMERCIAL BUILDING CODE

DESIGNATION

NON-SPRINKLERED CONSTRUCTION TYPE VB
CAPACITY OF 50

BUILDING AREA

TOTAL AREA = 1,836 SQ. FT.
BUILDING VOLUME: > 50,000 C.F.
BUILDING HEIGHT: 19'-7"
LEVELS: 1

ZONING ANALYSIS

ZONING DISTRICT: AGRICULTURE & RESIDENTIAL (AR)
PERMITTED USE: CONDITIONAL USE
MIN. LOT AREA: 20 ACRES
PROVIDED LOT AREA: 38.26 ACRES
MIN. LOT WIDTH: 300' / 1320' PROVIDED
MAXIMUM HEIGHT: 35' / 19'-7" PROVIDED
FRONT YARD SETBACK: 60' REQUIRED
SIDE YARD SETBACK: 30' REQUIRED/ GREATER THEN 30' PROVIDED
REAR YARD SETBACK: 40'REQUIRED/ GREATER THEN 40' PROVIDED

ROOF TRUSS LOADING SUMMARY

LOADING	DEAD
TOP CHD	10.0 PSF (10.8 PSF) ADJUSTED FOR SLOPE BTU CHD 5.0 PSF
TOTAL:	15.8 PSF

ROOF TRUSS DESIGN LOADS

SNOW LOAD	= 50 PSF
Ce	1.0 (EXPOSURE B, PARTIALLY EXPOSED)
Ct	1.1
I	1.0
Cs	1.0
Ps	38.5 PSF

UNBALANCED SNOW LOAD PER 362.1608

Ss = 50 PSF	Ca = 1.25
Is = 1.0	Cb = 0.80
Cb = 1.0	Cw = 1.0
S = 50 PSF	

WIND LOADS

WALLS	20 PSF
ROOF	-25 PSF

STRUCTURAL MEMBERS

ALLOWABLE SOIL BEARING PRESSURE	1,500 PSF
DEFLECTION LIVE LOAD = L/360	
DEFLECTION TOTAL LOAD = L/240	

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION
- THE CONTRACTOR SHALL EXAMINE THE PROJECT DRAWINGS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES FOUND BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL VERIFY CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
- EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC. FOR THE COMPLETE CONSTRUCTION OF THE WORK INDICATED AS SPECIFIED BY THE DRAWINGS AND SPECIFICATIONS, UNLESS OTHER ARRANGEMENTS HAVE BEEN MADE BETWEEN CONTRACTOR AND CUSTOMER.
- MATERIALS AS SPECIFIED ON DRAWINGS AND CONTRACTUAL DOCUMENTS SHALL BE USED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DETAILING AND COORDINATION IN CONJUNCTION WITH SUBSTITUTIONS MADE TO SPECIFIED MATERIALS.
- VIZION DESIGN GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OTHER PERSONS PERFORMING THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS. ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK IS TO BE COORDINATED BETWEEN THE TRADES AS PART OF THEIR INSTALLATION LAYOUT.
- CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND/OR SHARING TO ENSURE
- STRUCTURAL STABILITY OF BUILDING DURING CONSTRUCTION.
- ALL MATERIAL FINISHES AND STYLES INCLUDING BUT NOT LIMITED TO EXTERIOR SIDING, WINDOWS, EXTERIOR TRIM, AND INTERIOR AND EXTERIOR MILLWORK, ETC. SHALL BE APPROVED BY CUSTOMER.
- DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND/OR DISCREPANCIES IN PLAN AND REPORT ERRORS TO VIZION DESIGN GROUP PRIOR TO COMMENCEMENT OF THE WORK, AND TO BE RESPONSIBLE FOR SAME.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE REQUIRED DESIGN LOADS WITH GOVERNING CODES AND SITE CONDITIONS. VERIFY WITH THE LOCAL BUILDING AGENCIES THE WIND, SEISMIC, SNOW, AND OTHER SPECIAL LOADING CONDITIONS. VIZION DESIGN GROUP SHALL BE NOTIFIED OF ALL DISCREPANCIES.
- IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON DRAWINGS.
- ALL DIMENSIONS TO OPENINGS ARE ROUGH FRAMING UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO STUD PARTITIONS ARE TO THE FACE OF STUD UNLESS NOTED OTHERWISE.
- CEILING HEIGHT DIMENSIONS ARE FROM FLOOR SHEATHING TO UNDERSIDE OF ROOF TRUSS OR FLOOR JOIST.
- DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS NOTED OTHERWISE.
- WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THE PROJECT.
- FOLLOW ALL MANUFACTURER'S RECOMMENDED SPECIFICATIONS AND INSTALLATION PROCEDURES UNLESS OTHERWISE DIRECTED.
- PROVIDE ADEQUATE ANCHORAGE, BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, HVAC EQUIPMENT ETC.
- SLOPE ALL CONCRETE WALKS AWAY FROM EXTERIOR DOORS A MAXIMUM OF 2% TO PREVENT WATER FROM RUNNING OR BEING BLOWN UNDER DOORWAYS AND TO PREVENT STANDING WATER FROM ACCUMULATING IN FRONT OF DOORS.
- PROVIDE FIRE-BLOCKING AND DRAFT-STOPPING IN SPACES CREATED BY CHASES, FURRING, ETC. IN ACCORDANCE WITH THE APPLICABLE CODES.
- SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE CODES.
- WINDOW DESIGN INTENDED TO BE IN COMPLIANCE WITH APPLICABLE CODES IN REGARDS TO EGRESS AND SAFETY GLASS. ALL WINDOW SIZES AND REQUIREMENTS TO BE VERIFIED BY CONTRACTOR WITH MANUFACTURER TO ENSURE COMPLIANCE WITH APPLICABLE CODES.

SHEET INDEX

A1	- COVER SHEET
A2	- ELEVATIONS
A3	- ELEVATIONS
A4	- SITE DRAWING
A5	- FOUNDATION PLAN
A6	- FIRST FLOOR PLAN
A7	- ROOF LAYOUT
A8	- DETAILS & SCHEDULES

Clubhouse Addition

FINAL SET

Crane Meadows
Golf Course

WESTON, WI 54476

Vizion Design Group
5801 Packer Dr | Suite #2
Wausau, WI 54401
715.571.0680
info@viziondesigngroup.com

VIZION
DESIGN
GROUP

DATE:

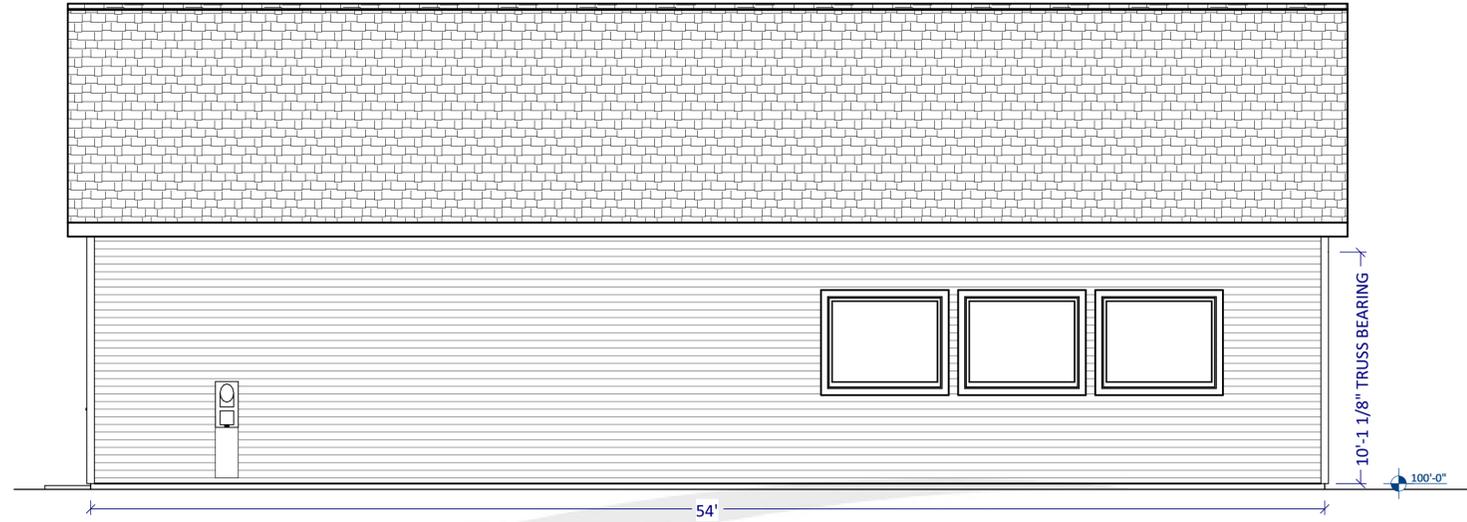
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JDG/HMD

SHEET:

A-1



REAR ELEVATION
 1/4" = 1'-0" (22x34)
 1/8" = 1'-0" (11x17)



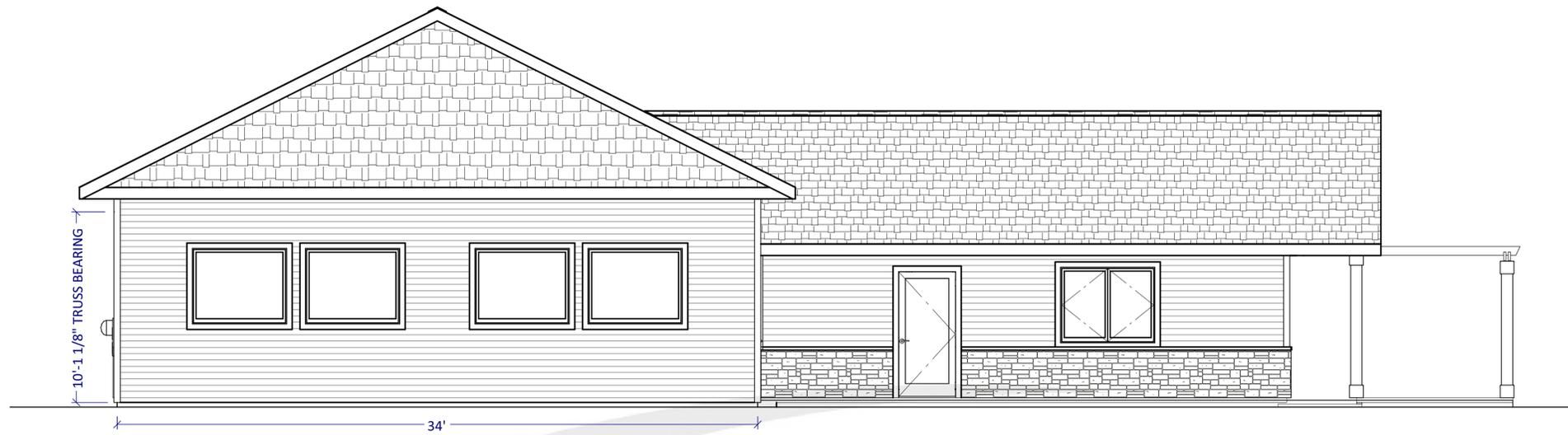
FRONT ELEVATION
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VIZIONDESIGN

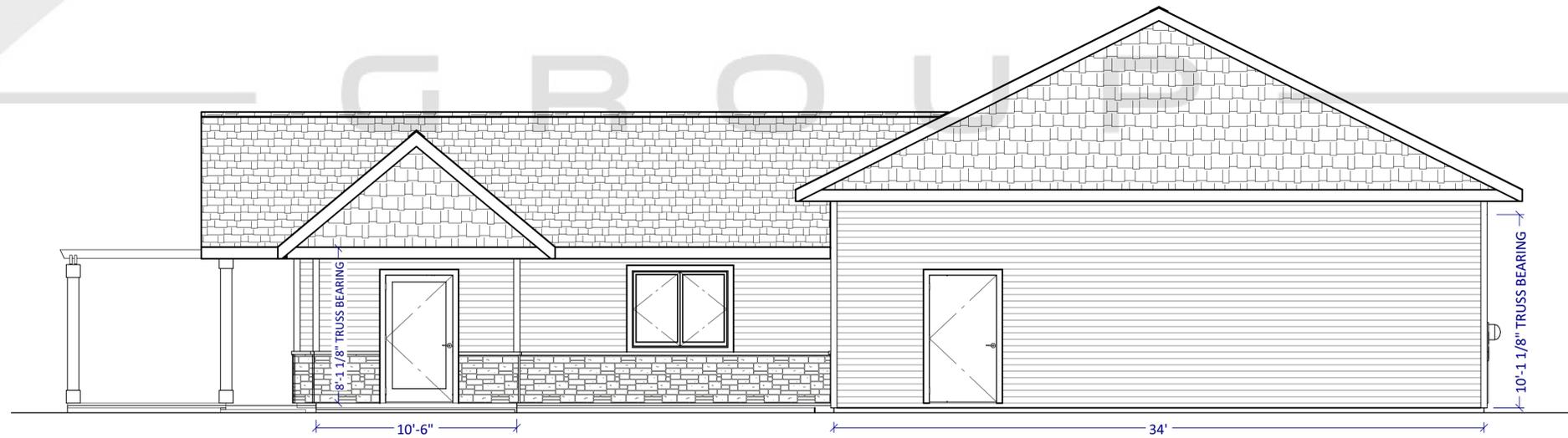
Clubhouse Addition
Crane Meadows Golf Course
 WESTON, WI 54476
 FINAL SET

VIZIONDESIGN GROUP
 Vizion Design Group
 5801 Packer Dr | Suite #2
 Wausau, WI 54401
 715.571.0680
 info@viziondesigngroup.com

DATE:
 10/13/2025
 DRAWN BY:
 JDG/HMD
 SHEET:
A-2



LEFT ELEVATION
 1/4" = 1'-0" (22x34)
 1/8" = 1'-0" (11x17)



RIGHT ELEVATION
 1/4" = 1'-0" (22x34)
 1/8" = 1'-0" (11x17)

VIZION DESIGN GROUP

Clubhouse Addition
 FINAL SET

**Crane Meadows
 Golf Course**
 WESTON, WI 54476

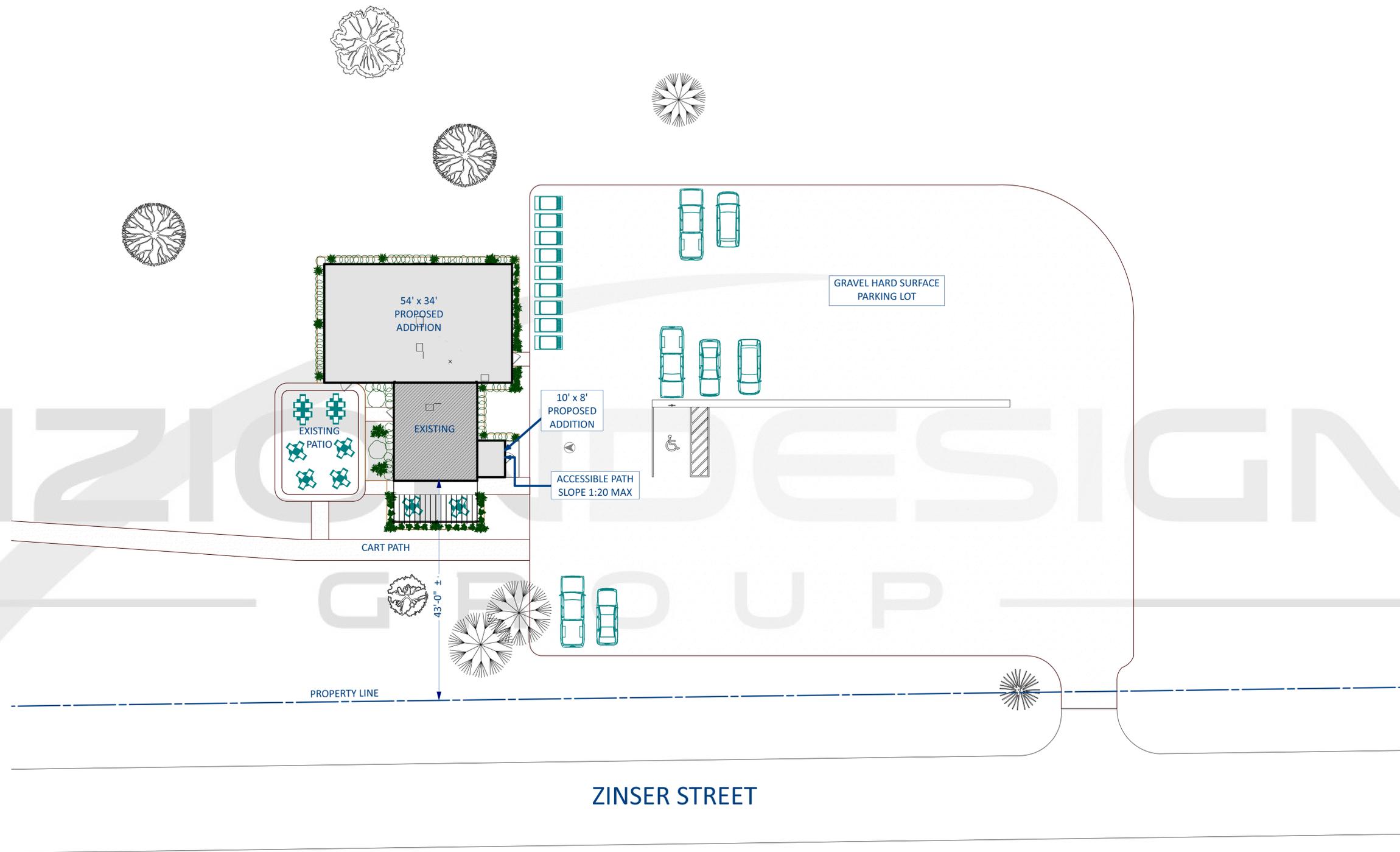
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A-3



SITE DRAWING
 1/16" = 1'-0" (22x34)
 1/8" = 1'-0" (11x17)

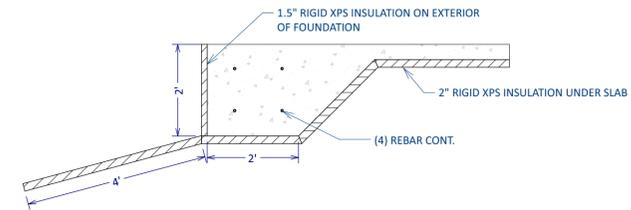
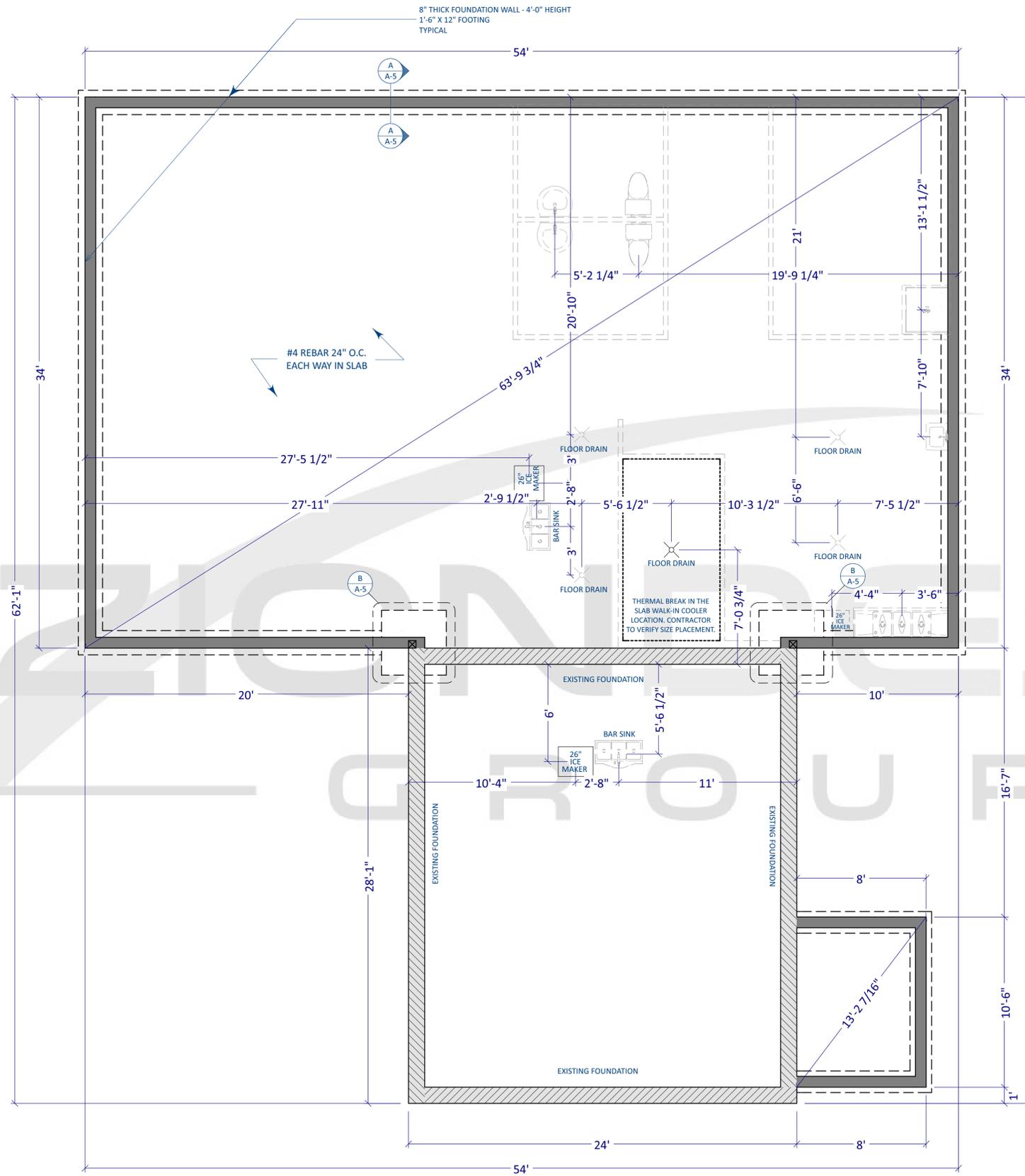
Clubhouse Addition
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Crane Meadows Golf Course
 WESTON, WI 54476

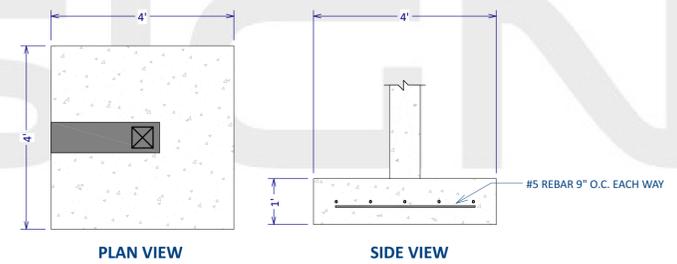
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A-4



TYPICAL FOOTING
 1/2" = 1'-0" (22x34)
 1/4" = 1'-0" (11x17)

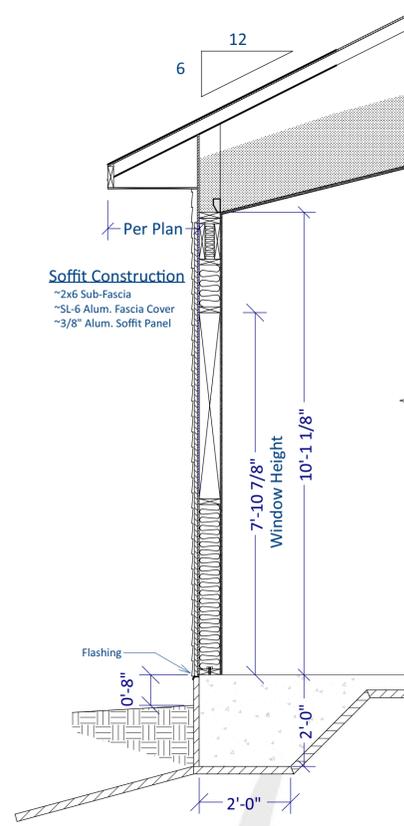


POINT LOAD FOOTING
 1/2" = 1'-0" (22x34)
 1/4" = 1'-0" (11x17)

- THIS DRAWING IS TO PROVIDE THE MASON OR OTHER RESPONSIBLE CONTRACTOR WITH THE PROPER FOUNDATION DIMENSIONS. IT IS HIS RESPONSIBILITY TO ENSURE THAT THE FOUNDATION IS CONSTRUCTED IN ACCORDANCE WITH APPLICABLE CODES AND SOIL CONDITIONS.
- HEIGHT OF FOUNDATION AND COLUMN SPACING AS SHOWN ARE CRITICAL. IF CHANGES ARE MADE, THEY MUST BE REPORTED IMMEDIATELY TO THE ENGINEERING DEPARTMENT.
- CONCRETE:
 PSI: 4,000 PSI
 SLUMP: NOT TO EXCEED 4"
 CONTROL JOINT SPACE: NOT TO EXCEED 12'-0"
 1500 PSF SOIL BEARING

FOUNDATION / LOWER LEVEL PLAN

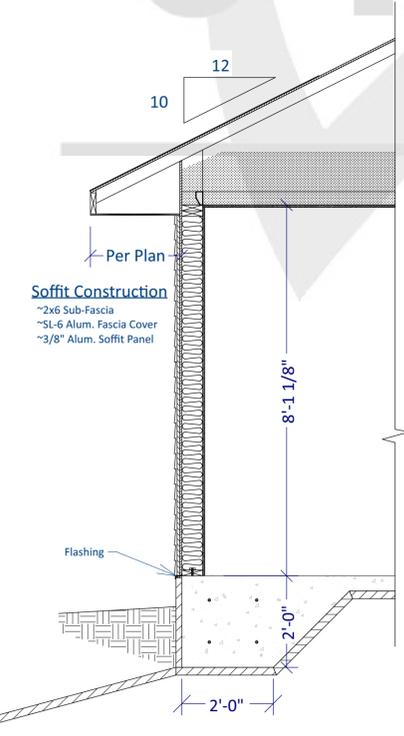
- 1/4" = 1'-0" (22x34)
- 1/8" = 1'-0" (11x17)



- Roof Construction**
- ~Architectural Shingles
 - ~15lb Felt
 - ~Ice & Water Shield 24" From Building Wall Line
 - ~5/8" Osb Sheathing w/ Clips
 - ~ODE Roof Edge
- Truss / Attic Construction**
- ~Proper Vents
 - ~R-50 Fiberglass/Cellulose Insulation
 - ~Engineered Wood Trusses (24" o.c.)
 - ~RT7 Truss Clip
- Ceiling Construction**
- ~6 mil Vapor Barrier
 - ~5/8" Sheetrock or 1/2" No-Sag Sheetrock
- Wall Construction**
- ~1/2" Sheetrock
 - ~6 mil Vapor Barrier
 - ~R-19 Fiberglass Insulation
 - ~2x6 Studs 16" o.c.
 - ~7/16" Osb Exterior Sheathing
 - ~House Wrap
 - ~Siding
 - ~Opening Header 2 Ply 2x10 SPF #2
- Typical Footing Construction**
- ~2x6 Treated Plate w/ 1/2" X6" Anchor Bolts 42" o.c.
 - ~Sill Sealer
 - ~Continuous 24" x 24" Concrete Footing w/ Rebar Per Detail
 - ~1 1/2" Ridge XPS Insulation At Footing Exterior
 - ~4" Poured Concrete Floor
 - ~2" Ridge XPS Insulation Under Slab

SECTION C-C 9' WALL SECTION

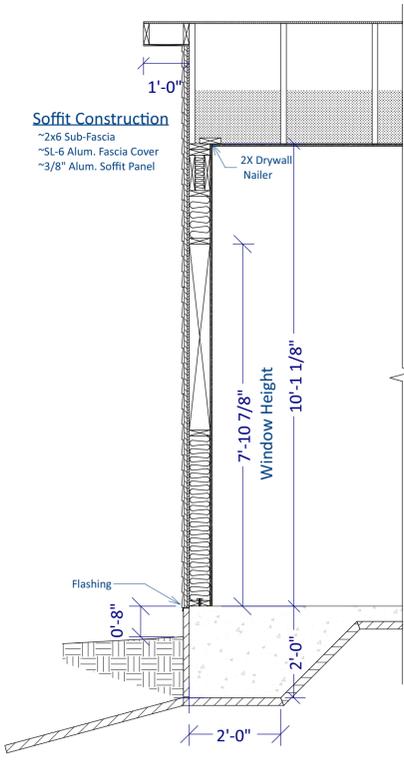
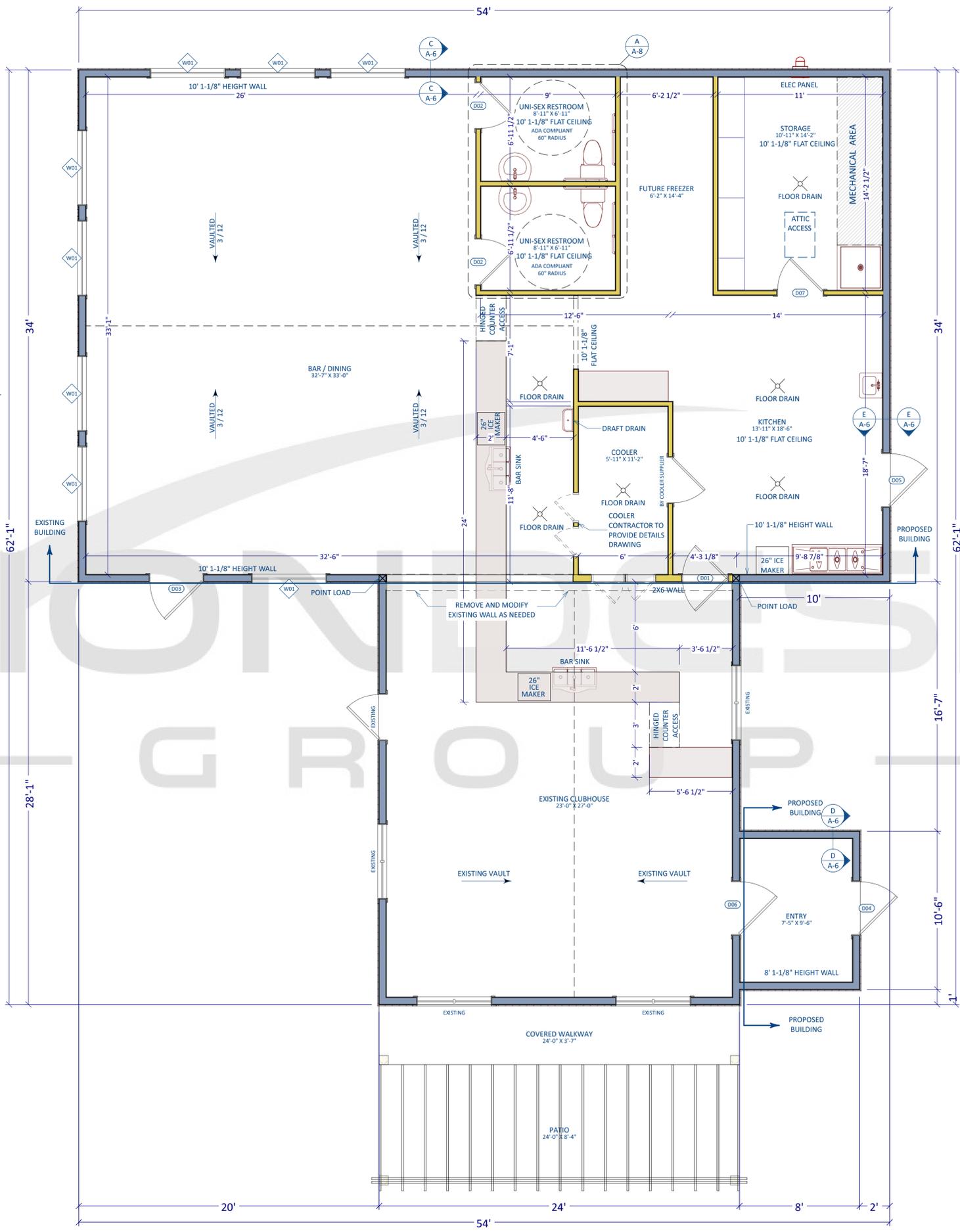
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 - ~4" Poured Concrete Floor
 - ~2" Ridge XPS Insulation Under Slab

SECTION D-D ENTRY - 8' WALL SECTION

1/2" = 1'-0" (22x34)
1/4" = 1'-0" (11x17)



SECTION E-E GABLE WALL SECTION

1/2" = 1'-0" (22x34)
1/4" = 1'-0" (11x17)

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1ST FLOOR PLAN
1/4" = 1'-0" (22x34)
1/8" = 1'-0" (11x17)

PROPOSED BUILDING: 1,836 SF
EXISTING BUILDING: 728 SF

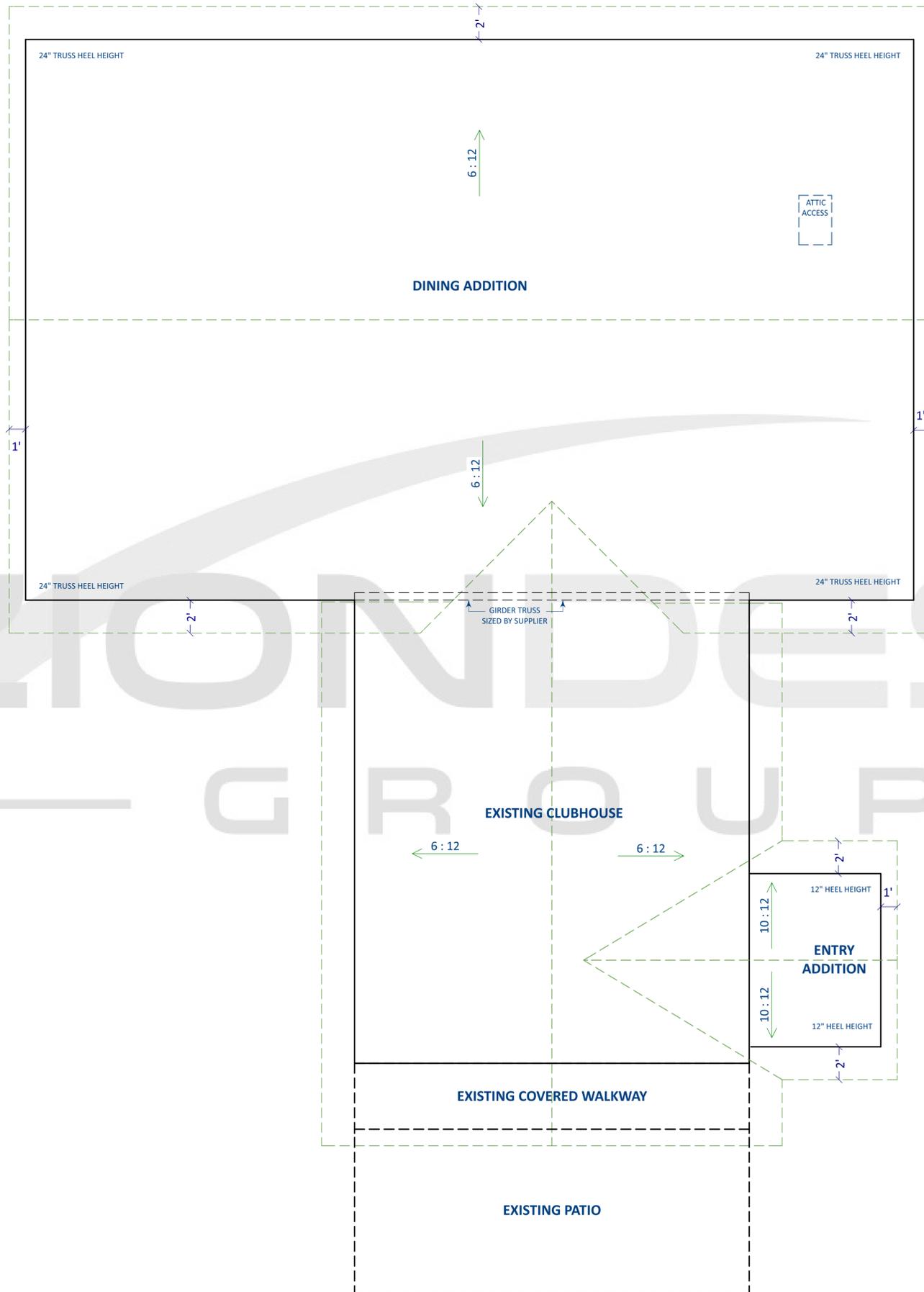
Clubhouse Addition
FINAL SET

Crane Meadows
Golf Course
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VIZIONDESIGN
GROUP

DATE:
10/13/2025
DRAWN BY:
JDG/HMD
SHEET:
A-6



ATTIC VENTILATION NOTES:
 THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/300 OF THE SPACE VENTILATED WITH 50% OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
 PROVIDE CONTINUOUS RIDGE VENTS TYP.

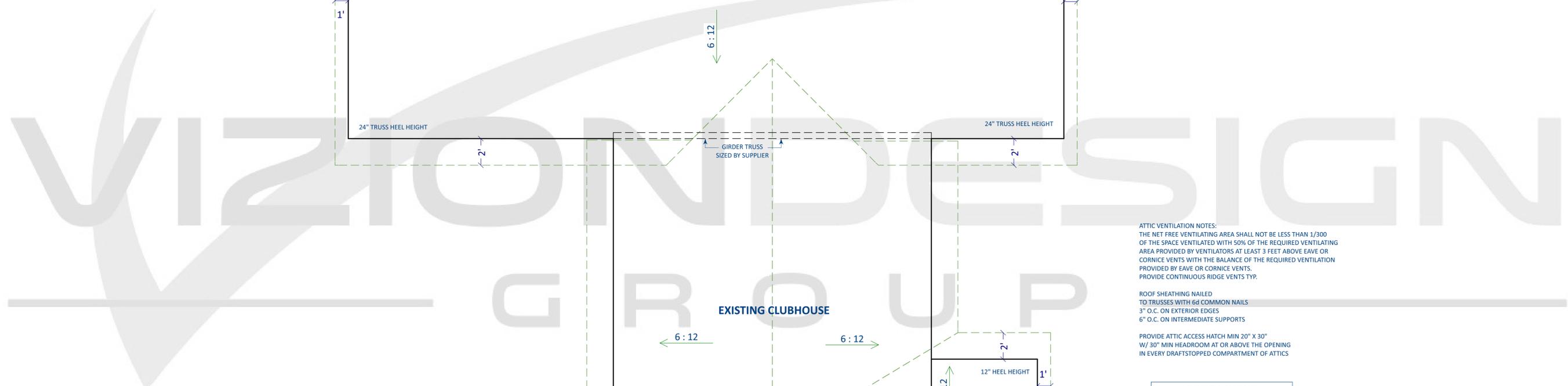
ROOF SHEATHING NAILED TO TRUSSES WITH 6d COMMON NAILS
 3" O.C. ON EXTERIOR EDGES
 6" O.C. ON INTERMEDIATE SUPPORTS

PROVIDE ATTIC ACCESS HATCH MIN 20" X 30" W/ 30" MIN HEADROOM AT OR ABOVE THE OPENING IN EVERY DRAFTSTOPPED COMPARTMENT OF ATTICS

ROOF LAYOUT
 1/4" = 1'-0" (22x34)
 1/8" = 1'-0" (11x17)

NOTES
 24" EAVE OVERHANGS TYPICAL
 12" GABLE OVERHANGS TYPICAL (unless noted otherwise)

FASCIA TO ALIGN AS SHOWN



Clubhouse Addition
 FINAL SET

Crane Meadows Golf Course
 WESTON, WI 54476

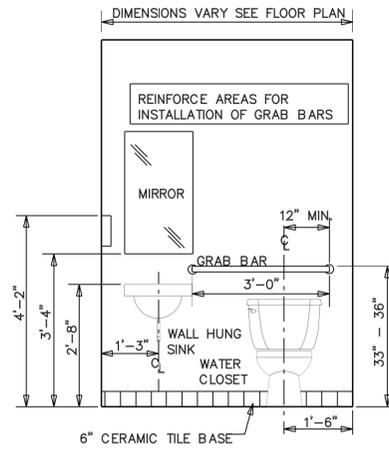
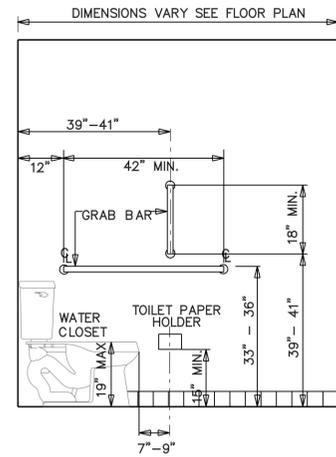
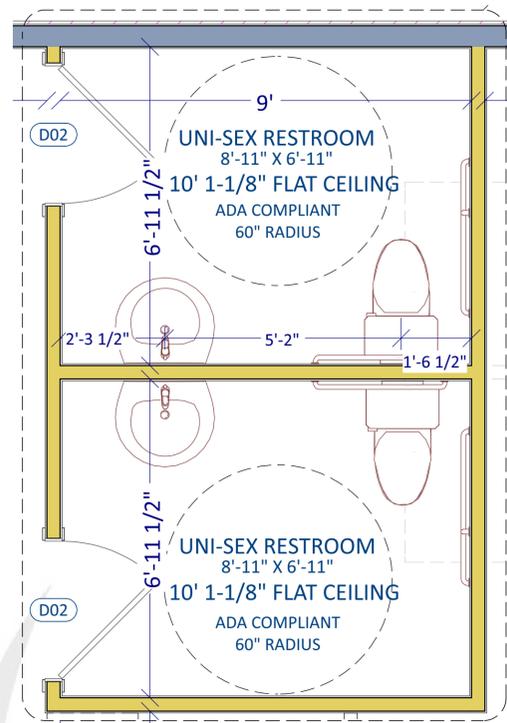
Vizion Design Group
 5801 Packer Dr | Suite #2
 Wausau, WI 54401
 715.571.0680
 info@viziondesigngroup.com



DATE:
 10/13/2025

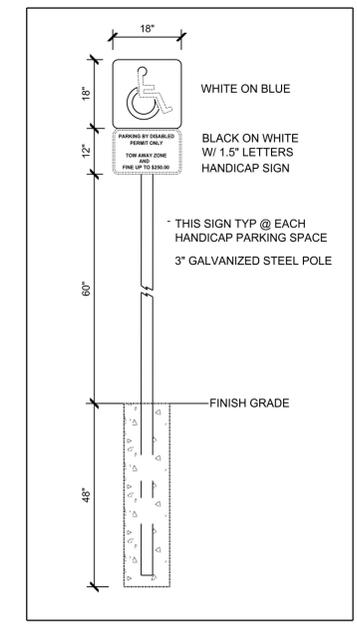
DRAWN BY:
 JDG/HMD

SHEET:
A-7

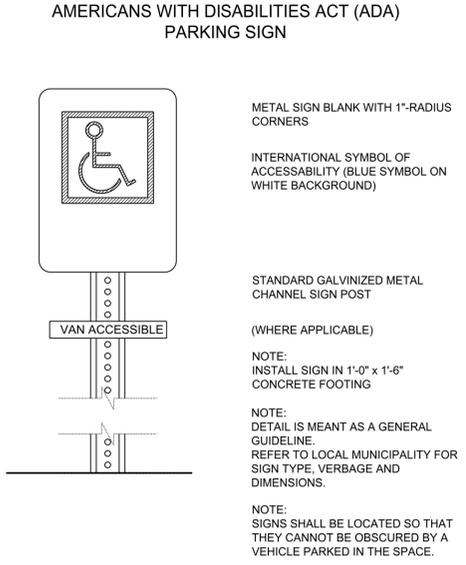


A BATHROOM DETAILS

- NOTES:**
- REINFORCE AREA FOR INSTALLATION OF GRAB BARS
 - GRAB BARS TO BE GAMCO OF EQ. 1 1/4" DIA WITH SNAP FLANGE MOUNT COVERS
 - ALL EXPOSED PIPES TO BE INSULATE TO PREVENT BURNS FOR H.C. USERS
 - WALLS WITHIN 2'-0" OF WATER CLOSETS SHALL HAVE A SMOOTH HARD NON ABSORBENT SURFACE TO A HEIGHT OF 4'-0" ABOVE THE FLOOR



HANDICAP PARKING SIGN



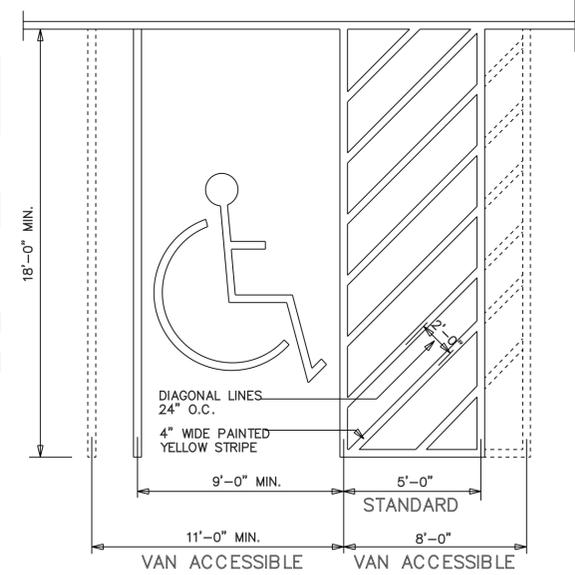
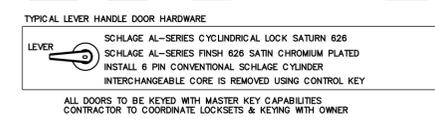
DOOR SCHEDULE					
ITEM	SIZE	QTY	DESCRIPTION	ROOM NAME	COMMENTS
D01	3068	1	HINGED-SLAB	KITCHEN/EXISTING CLUBHOUSE	
D02	3068	2	HINGED-SLAB	BAR / DINING/UNI-SEX RESTROOM	
D03	3668	1	EXT. HINGED-GLASS PANEL	BAR / DINING	
D04	3668	1	EXT. HINGED-GLASS PANEL	ENTRY	
D05	3668	1	EXT. HINGED-SLAB	KITCHEN	
D06	3668	1	HINGED-GLASS PANEL	EXISTING CLUBHOUSE/ENTRY	
D07	3068	1	HINGED-SLAB	KITCHEN/STORAGE	
D08	3068	1	HINGED-SLAB	SERVER STATION/KITCHEN	

NOTES:
ALL EXTERIOR DOOR HEADERS WILL BE 2-PLY 2X10 SPF #2 - INSULATED

WINDOW SCHEDULE					
ITEM	LABEL	QTY	SIZE	DESCRIPTION	COMMENTS
W01	PIC6048	9	5040FX	FIXED GLASS	

NOTES:
HEADER HEIGHT IS 94 7/8"
ALL EXTERIOR WINDOW HEADERS WILL BE 2-PLY 2X10 SPF #2 - INSULATED
ALL GLAZING IN AND ADJACENT DOORS TO BE SAFETY GLASS

ROOM FINISH SCHEDULE			
ROOM NAME	WALL MATERIAL	FLOOR FINISH	CEILING FINISH
BAR / DINING	DRYWALL	TILE	DRYWALL, COLOR - BRITE
COOLER	DRYWALL	TILE	DRYWALL, COLOR - BRITE
EXISTING CLUBHOUSE	DRYWALL	EXISTING TILE	DRYWALL, COLOR - BRITE
ENTRY	DRYWALL	TILE	DRYWALL, COLOR - BRITE
KITCHEN	DRYWALL	TILE	DRYWALL, COLOR - BRITE
SERVER STATION	DRYWALL	TILE	DRYWALL, COLOR - BRITE
STORAGE	DRYWALL	TILE	DRYWALL, COLOR - BRITE
UNI-SEX RESTROOM	DRYWALL	TILE	DRYWALL, COLOR - BRITE



HANDICAP PARKING & ACCESS AISLES

Clubhouse Addition
FINAL SET

Crane Meadows
Golf Course
WESTON, WI 54476

Vizion Design Group
5801 Packer Dr | Suite #2
Wausau, WI 54401
715.571.0680
info@viziondesigngroup.com

VIZIONDESIGN
GROUP

DATE:
10/13/2025
DRAWN BY:
JDG/HMD
SHEET:
A-8

**Drainage Plan Specifications
Worksheet**

Public Works - Village of Weston

ERU:



4747 Camp Phillips Rd
Weston, WI 54476
(715) 359-6114

Date: 10-8-25

-- ALL FIELDS MUST BE FILLED OUT TO BE PROCESSED PLEASE PRINT LEGIBLY --

Owner Information:
 Business Name: Crane Meadows
 Contact Name: Dan Weitek
 Mailing Address: 6304 Weston Ave
Weston, WI
 Phone Number: 715 577 4560
 Email Address: dweitek@gmail.com

Builder Information:
 Business Name: Just Build It
 Contact Name: Mike Juedes
 Mailing Address: 162967 Townline Rd
Wausau, WI 54403
 Phone Number: 715 581 3120
 Email Address: justbuilditconstruction@gmail.com

Developer Information:
 Business Name: Just Build It Construction
 Contact Name: Michael Juedes
 Mailing Address: 162967 Townline Rd
Wausau, WI 54403
 Phone No.: 715 581 3120
 Email: justbuilditconstruction@gmail.com

Lot/CSM Address: _____
 Subdivision: _____
 Zoning: _____
 Lot Size: _____ Square Feet 80 Acres

Building Type: _____
Existing Impervious Surfaces:
 Existing Building(s): Clubhouse 20x30 = 600
2 pole Sheds 20x40 = 800
40x60 = 2400 3800 Sq Ft
 Existing Driveways/Parking Lot(s) - 230x150 = 34500 34500 Sq Ft
 Existing Walkway(s): _____ Sq Ft

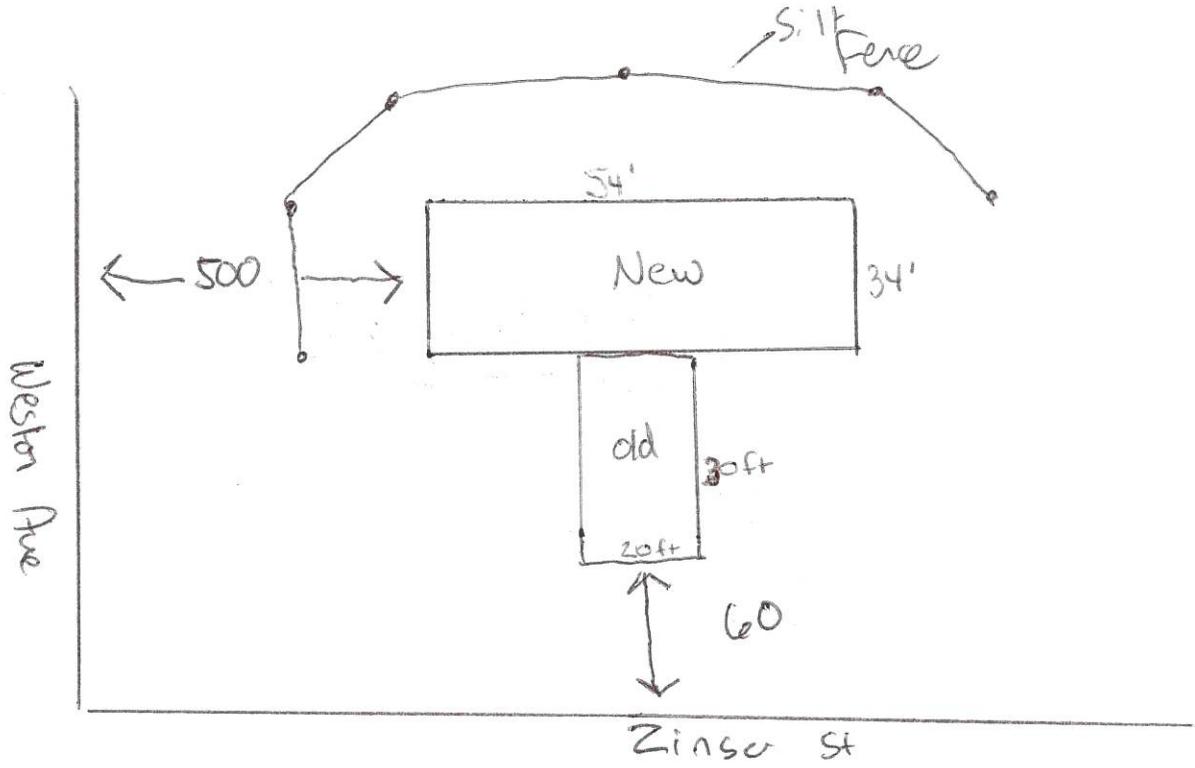
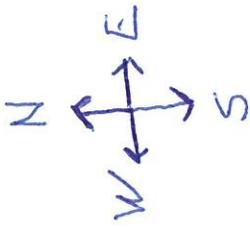
Proposed Impervious Area:
 Building(s): new addition 34x54 = 1836sqft 1836 Sq Ft
 Driveway/Parking Lot: Asphalt Concrete Gravel* _____ Sq Ft
 Private Walkway: Asphalt Concrete Gravel* _____ Sq Ft

Total Impervious Area: 40,136 Sq Ft

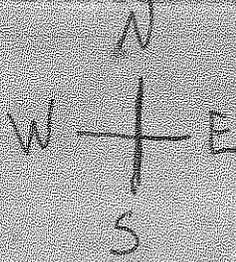
*Not permitted unless approved with site plan

Applicant Signature: [Signature] Date: 10-8-25

For Office Use Only: Total ERU's: _____



Weston Ave



Crane Meadow Golf Course
8310 Weston Ave
Dan & Kerthey Weir LP
715-577-4560

Zinser St

Zinser St

Weather



Table of contents

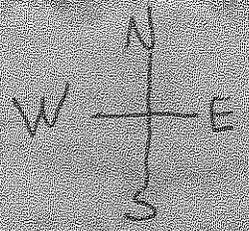
 New building

Silt
Fence

~
~
~
Grade
out
Flat

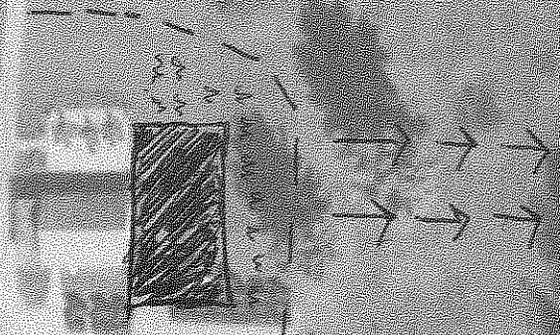
→
→
→
Water
Run
off

Weston Ave



ZIPPER

ZIPPER



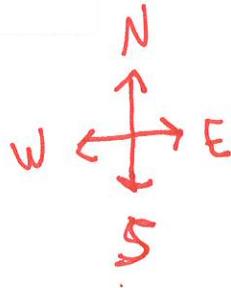
Weather





Imagery ©2025 Airbus, Maxar Technologies, Map data ©2025 50 ft

Measure distance
Total distance: 74.34 ft (22.66 m)

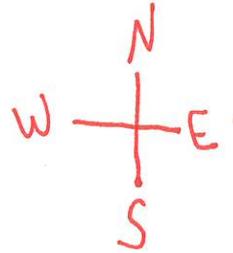




Imagery ©2025 Airbus, Maxar Technologies, Map data ©2025 50 ft

Measure distance

Total distance: 394.93 ft (120.37 m)



REQUEST FOR CONSIDERATION

Public Mtg/Date:	Plan Commission, November 10, 2025
Description:	Site Plan Approval for Detached Accessory Structure (for Residential Use) at 4907 Aspen Street
From:	Jennifer Higgins, Planning & Development Director/Zoning Administrator Roman Maguire, Building Inspector
Question:	Should the Plan Commission allow the garage to occupy the land between the principal building and street right-of-way (Sec. 94.4.09(j))

BACKGROUND

The applicant, Ken Robinson, used to own the apartment complex at 4907 Aspen St. He still lives there and has received authorization from the new owner, Alex Zahn/Falcon Valley Apartments, LLC, to construct an accessory structure, 24 ft x 28 ft two car garage, on the property.

The proposed accessory building meets the requirements of Sec. 94.4.09 except for (j) which does allow for it to occur with Plan Commission approval of the site plan.

(j) In all residential, RR-2 and non-residential and mixed-use zoning districts, and for all Multi-family Residences regardless of district, no portion of a Detached Accessory Structure (for Residential Use) shall occupy any land between the principal building on a residential lot and a street right-of-way, except where approved by the Plan Commission as part of an approved site plan.

Fire Chief Finke questioned the location being only 10 feet away from the apartment building, however in speaking with Building Inspector Maguire, this setback meets commercial building codes. The site plan submitted meets setback requirements and does not adversely impact the parking requirement minimums for the apartment complex.

Based on the current submittal, staff sees no reason not to allow the garage in the proposed location.

Attached Docs:	Site Plan, Building Elevations, Section 94.4.09(2) Detached Accessory Structure (for Residential Use)
Committee Action:	None.
Fiscal Impact:	TBD.
Recommendation:	Staff recommends approval.

RECOMMENDED LANGUAGE FOR OFFICIAL ACTION

- 1) I recommend approval of the site plan as proposed allowing the detached accessory structure to be placed between the street right-of-way and the principal building on the lot.**
- 2) I recommend denial of the site plan as proposed.**

REQUEST FOR CONSIDERATION

3) Something else....

ADDITIONAL ACTION: Notification of Applicant (Staff)
Building permit issuance (Staff)

Sec 94.4.09 Accessory And Miscellaneous Land Use Types

2. Detached Accessory Structure (for Residential Use).

An accessory structure serving a residential principal land use and building (e.g., a house or apartment building), but not attached to the principal building. Includes detached residential garages and carports (where permitted) designed primarily to shelter parked passenger vehicles, utility sheds as defined in Section 94.17.04, private recreation structures such as gazebos, and detached elevated decks or walkways associated with residential uses. All structures that are utilized for Agricultural Land Use Types (as listed in Section 94.4.03), that exceed 2,000 square feet in floor area, are within a rural and open space or RM zoning district, or are on parcels over 10 acres in area shall instead be regulated as a principal structure, and not as a “Detached Accessory Structure.”

Figure 4.09(2): Detached Accessory Structure (for Residential Use) Allowances

Principal Land Use	Zoning District	Maximum Permitted Type and Quantity of Detached Accessory Structure ¹	Minimum Distance from Other Buildings ²
Single-Family Detached Residence	FP, RM, AR and RR-5	Maximum of five ³	10 feet
	Any other zoning district	1 Detached Garage; and 1 Utility Shed; and 1 Gazebo	10 feet
Two-Family Residence	Any district where principal building located	1 Utility Shed per Housing Unit	10 feet
Multi-Family Residence	Any district where principal building located	*As approved through Site Plan Procedures	10 feet
Manufactured Home or Mobile Home	MH	1 Utility Shed ⁴ and 1 Carport ⁵ or 1 Detached Garage ⁶	5 feet from the accompanying home and 10 feet from all other buildings

¹The terms detached garage, utility shed, gazebo and carport are defined in Section 94.17.04.
² See Figures 5.01(1) and 5.01(2) for maximum floor areas, maximum lot coverage, minimum property line setbacks, and maximum heights relating to detached accessory buildings.
³ Except where approved by the Plan Commission as part of an approved site plan.
⁴ Each Utility Shed within the MH zoning district shall not be greater than 144 square feet in floor area with a 5-foot building separation.
⁵ Each Carport within the MH zoning district shall not be greater than 200 square feet in floor area with a maximum width of 10 feet.
⁶ Each Detached Garage within the MH zoning district shall not be greater than 344 square feet in floor area with a maximum width of 14 feet.

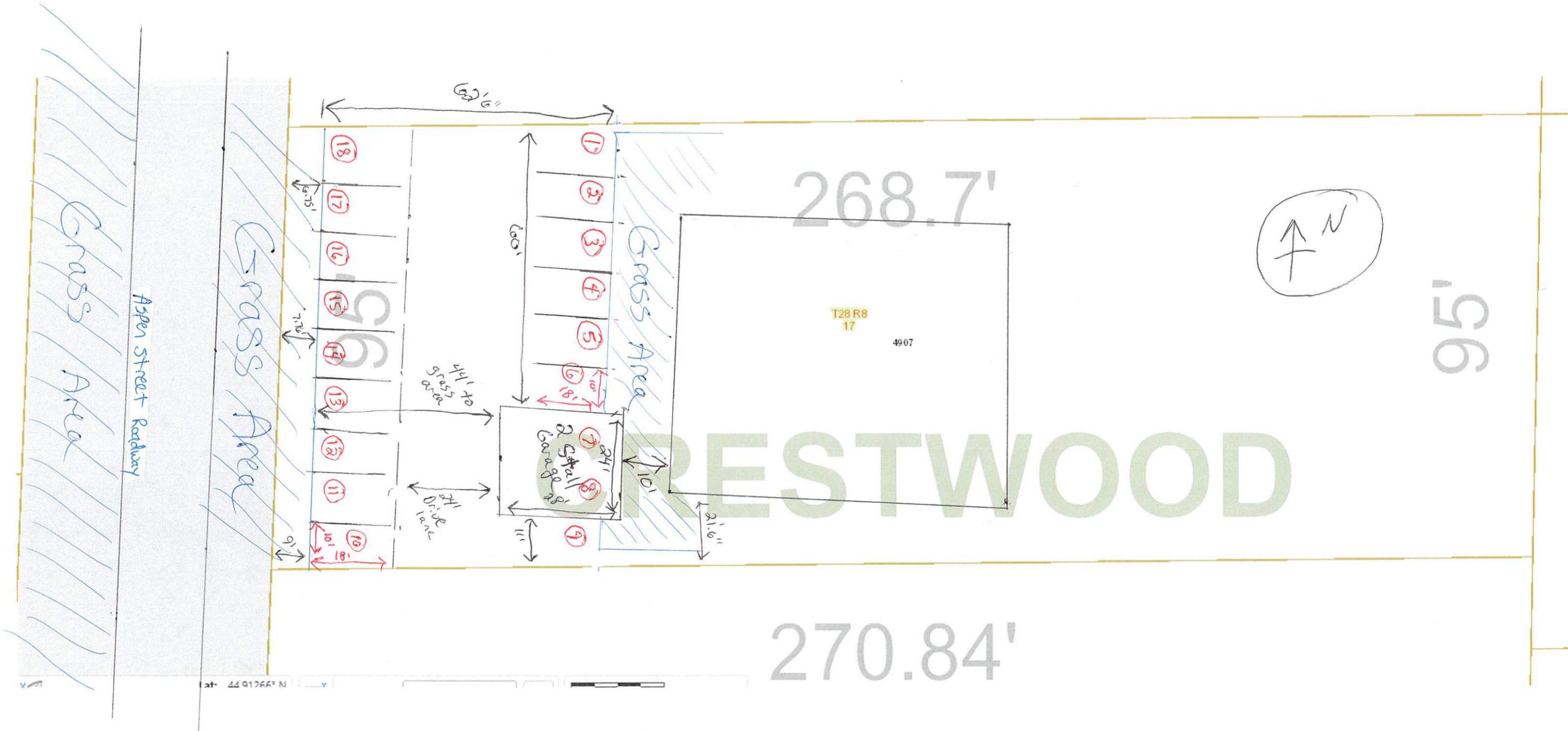
Performance Standards:

- a. No Detached Accessory Structure (for Residential Use) shall be constructed on any lot prior to establishment of a principal use on that same lot.
- b. Except within the AR and RM zoning districts, no hoop building, tarp shed, or carport shall be a permitted as a Detached Accessory Structure (for Residential Use), except on a temporary basis for a maximum of five consecutive days within a 30-day period for a special event such as a sale on the property following issuance of a temporary use permit.

- c. The roof of each Detached Accessory Structure (for Residential Use), including those permitted under standard 2, shall be designed to withstand a minimum of a 40-pounds per square foot of snow load.
- d. All driveways built to serve Detached Accessory Structures (for Residential Use) are subject to associated standards under Section 94.12.08. Each Detached Accessory Structure (for Residential Use) shall be served by a driveway connected to a public road if used to shelter a motor vehicle or trailer, or where vegetative ground cover to an overhead door cannot be maintained in the determination of the Zoning Administrator or Building Inspector.
- e. The exterior walls of each Detached Accessory Structure (for Residential Use) shall be sided with wood, masonry, concrete, stucco, Masonite, horizontal vinyl or metal lap siding, or similar material approved by the Zoning Administrator. Vertical siding is also allowed in all RM and rural and open space zoning districts aside from RR-2. All exterior siding shall extend to the top of the foundation. If the top of the foundation is below grade, the siding shall extend to the ground.
- f. Roofs of Detached Accessory Structures (for Residential Use) shall be surfaced with any of the following materials: wood shakes; asphalt, composition, or wood shingles; clay, concrete or metal tiles; slate; built-up gravel materials; screw down metal roofing; rubber membrane (for flat roofs or roofs with no greater than a 1:12 pitch); or similar material approved by the Zoning Administrator.
- g. Pole or ladder constructed buildings shall be permitted only within the RM and rural and open space zoning districts, except for the RR-2 district, and shall be subject to subsections 5. and 6. of this section.
- h. No Detached Accessory Structure (for Residential Use) shall involve or include the conduct of any business, trade, or industry, except for home occupations and residential businesses as described and limited elsewhere in this Article 4.
- i. No Detached Accessory Structure (for Residential Use) shall be occupied as a dwelling unit or otherwise used for human habitation, unless it has first been approved for such use by the Building Inspector and meets all applicable requirements of the State for a dwelling and under Section 94.4.09(8).
- j. In all residential, RR-2 and non-residential and mixed-use zoning districts, and for all Multi-family Residences regardless of district, no portion of a Detached Accessory Structure (for Residential Use) shall occupy any land between the principal building on a residential lot and a street right-of-way, except where approved by the Plan Commission as part of an approved site plan.
- k. See Figures 5.01(1) and 5.01(2) for other setback, floor area, building height, and coverage standards associated with Detached Accessory Structures in residential zoning districts. Maximum floor area and total building coverage shall not exceed the maximums set forth in Figure 5.01(1), except as allowed by a conditional use permit, subject to the procedures in Section 94.16.06 and all of the following standards for the Detached Accessory Structure:
 - 1. Not taller or have more floors above ground level than the principal building.
 - 2. Has a similar roof slope and overhang width as the principal building. If the principal building has multiple roof slopes and/or overhang widths, the roof

slopes and widths of the accessory structure shall reflect those principal building roof characteristics that are most visible from the public street.

3. Shingles or other roof surface shall be of a similar material and color as the roof surface of the principal building.
 4. Siding shall be of a similar material and color as the siding on the principal building, except that where the siding on the principal building is stone or brick, another compatible material may be selected.
 5. May not be located further toward the front lot line than the principal building.
 6. Shall meet all setback requirements normally applicable to principal buildings per Figure 5.01(2).
- l. Detached garages serving Multi-Family Residences shall be accompanied by a bufferyard meeting the requirements of Section 94.11.02(3)(d) between the garage and (a) the public right-of-way and (b) a property line abutting any residentially zoned property.



N 44 912666 N

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Estimate ID: 24806
Estimated Price: \$16,303.11

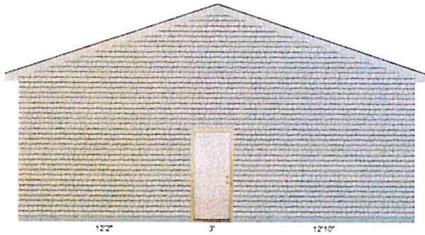
**Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

MEVARDS®
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GARAGE

Dimensions

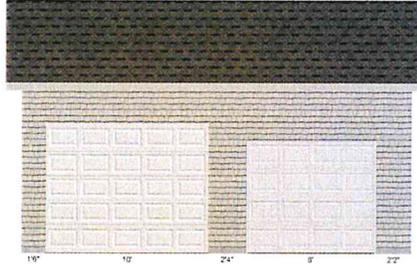
Wall Configurations

*Some items like wainscot, gutter, gable accents, are not displayed if selected.



ENDWALL B

Mastercraft® 36W x 80H Primed Steel 6-Panel



SIDEWALL D

10x8 White Raised Panel EZ Set Torsion Spring (R-Value 6.5)

(WindCode)

8X7 White Raised Panel EZ Set Torsion Spring (R-Value 6.3)

Date: 8/18/2025 - 12:14 PM

Design ID: 301659757364

Estimate ID: 21229

Estimated Price: \$11,873.15

**Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

MENARDS®

Design & Buy™

GARAGE

How to recall and purchase your design at home:



OR

1. On Menards.com, enter "Design & Buy" in the search bar
2. Select the Garage Designer
3. Recall your design by entering Design ID: 301659757364
4. Follow the on-screen purchasing instructions

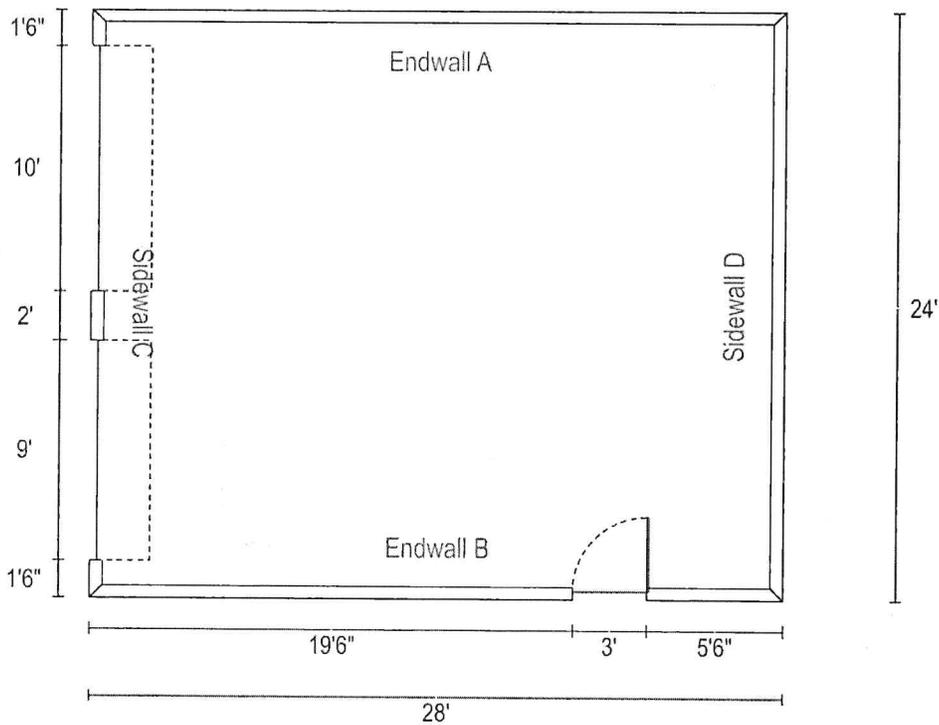
How to purchase your design at the store:

1. Enter Design ID: 301659757364 at the Design-It Center Kiosk in the Building Materials Department
2. Follow the on-screen purchasing instructions

Garage Image

Side *North*

West side



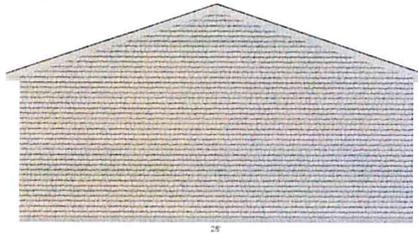
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Design ID: 301659909108
Estimate ID: 24806
Estimated Price: \$16,303.11

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SIDEWALL C



ENDWALL A

Date: 8/26/2025 - 6:39 PM
Design ID: 301659909108
Estimate ID: 24806
Estimated Price: \$16,303.11

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Materials

Building Type

Building Location Zip Code: 54401
Building Type: Gable
Framing Type: Stud Wall Framing

Building Info

Building Width: 28'
Building Length: 24'
Building Height: 9'
Wall Framing Stud: 2 x 4
Roof Framing: Truss Construction (Sealed truss designs available on request)
Truss Type: Common (24" on center spacing)
Roof Pitch: 4/12 Pitch
Eave Overhang: 12"
Gable Overhang: 12"
Curb: Poured Curb
Curb Height: 4"
Foundation Type: Poured
Building Plan: Yes I need a Building Plan

Wall Info

Siding Material Types: Vinyl
Vinyl Siding: Cedar Impressions® Double 7 Staggered Perfection Shingles,
Color: Colonial White
Vinyl Corner Trim Color: Colonial White
Accent Material Type: None
Wainscot Material Type: None
Wall Sheathing: 7/16 x 4 x 8 OSB(Oriented Strand Board)
House Wrap: Kimberly-Clark BLOCK-IT® 9' x 75' House Wrap
Gable Vents: Novik® 12" x 12" Square Gable Vent, QTY: 2

Roof Info

Date: 8/26/2025 - 6:39 PM
Design ID: 301659909108
Estimate ID: 24806
Estimated Price: \$16,303.11

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GARAGE

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Roof Sheathing:	1/2 x 4 x 8 OSB(Oriented Strand Board)
Roofing Material Type:	Architectural Shingle
Architectural Roofing:	Atlas Castlebrook™ Limited Lifetime Warranty Architectural Shingles (32.8 sq. ft.), Color: Weathered Wood
Roof Underlayment:	VB Shield Synthetic Underlayment 48" x 250' (1000 sq. ft.)
Ice and Water Barrier:	None
Fascia Material Type:	Textured Aluminum Fascia
Fascia:	6" x 12' Aluminum Rustic Fascia, Color: White
Soffit Material Type:	Aluminum Soffit
Soffit:	16" x 12' Aluminum Vented Soffit, Color: White
Gutter Material Type:	None
Ridge Vent:	Owens Corning® VentSure® 11-1/4" x 20' Shingle Over Ridge Vent
Roof Vents:	None

Openings

Service Door:	Mastercraft® 36W x 80H Primed Steel 6-Panel
Overhead Door:	10x8 White Raised Panel EZ Set Torsion Spring (R-Value 6.5) (WindCode)
Additional Information:	MDP38-W1 EZ Set Torsion Spring
Overhead Door:	8X7 White Raised Panel EZ Set Torsion Spring (R-Value 6.3)
Additional Information:	M4SV EZ Set Torsion Spring
Overhead Door Trim Type:	Vinyl
Vinyl Trim Color:	White

Additional Options

Ceiling Insulation:	None
Wall Insulation:	None
Ceiling Finish:	None
Wall Finish:	None
Mounting Blocks:	No
Hydronic Radiant Heat:	No
Anchor bolt:	Grip Fast® 1/2 x 10 HDG Anchor Bolt w/ Nut & Washer

Date: 8/26/2025 - 6:39 PM
Design ID: 301659909108
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Estimated Price: \$16,303.11

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MENARDS
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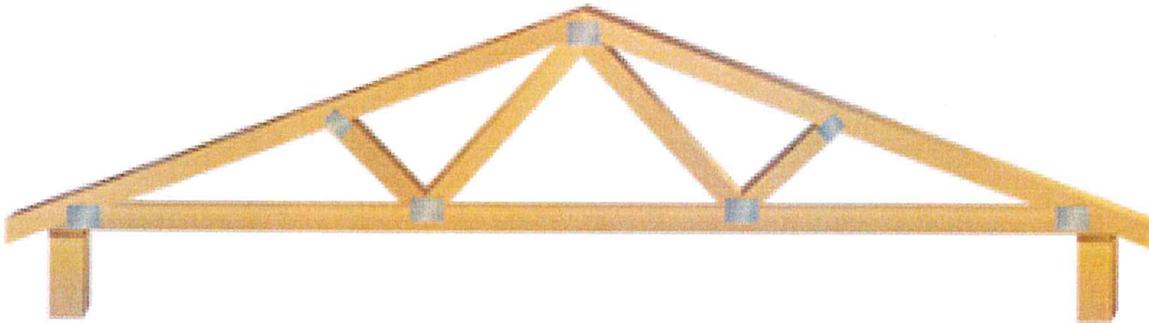
Framing Fasteners:	Grip Fast® 3-1/4 16D Vinyl-Coated Smooth Shank Sinker Nail - 5 lb. Box
Sheathing Fasteners:	Grip Fast® 2-1/2 8D Vinyl-Coated Smooth Shank Sinker Nail - 5 lb. Box
Roofing/Shingle Fasteners:	Grip Fast® 1-1/4 Electro-Galvanized Coil Roofing Nails - 7,200 Count
Truss Fastener:	FastenMaster® TimberLOK® 5/16 x 6 Hex Drive Black Hex Head Timber Screw - 50 Count
Overhead Opening Hardware:	No

Date: 8/26/2025 - 6:39 PM
Design ID: 301659909108
Estimate ID: 24806
Estimated Price: \$16,303.11

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Helpful Hints for Garage Construction

- Studs are estimated 16 inches on center with single treated bottom plate and double top plate.
- For 10- and 12-foot-tall buildings studs should be cut for an approximate 10- or 12-foot plate height.
- If steel is estimated (Pro-Rib or Pro-Snap), the steel lengths should be verified based off the actual framing. Plate height (stud length), truss heel and other framing should be confirmed. Steel is estimated to the inch, make sure the lengths are accurate based on final overall building design.
- Trusses included are estimated at 2 feet on center spacing. The design is based on the zip code provided, design and loading should be verified.
- Trusses should not be cut or modified with the exception of trimming the truss tails to the correct overhang.
- The bottom chord is designed to support standard ceiling and insulation materials.
- Dropped end trusses are estimated with 18 inch and 24 inch gable overhangs.



Date: 8/26/2025 - 6:39 PM
Design ID: 301659909108
Estimate ID: 24806
Estimated Price: \$16,303.11

**Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*



Menards Building Checklist Planning

- Get a permit. Check restrictions, building codes or local zoning to make sure your design complies with all requirements.
- Contact local utilities to ensure construction will not disturb any electrical, cable or plumbing.
- If necessary, hire a professional to help with planning and construction.
- Consider site conditions including soil type, grade, and runoff before finalizing your design.
- Material estimates are calculated based on approximate plate heights of 97", 109", 121" and 145".
- STEEL LENGTHS if selected should be verified prior to purchase.
- Menards offers professional delivery of materials. Delivery is extra based on the distance from your local Menards store to your building site.
- Practice good safety habits, use PPE including eye protection & dust masks during construction.
- Make sure to follow good building practice and all manufacturer's instructions. Use all the hardware and fasteners recommended.

Date: 8/26/2025 - 6:39 PM
 Design ID: 301659909108
 Estimate ID: 24806
 Estimated Price: \$16,303.11

*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.



Design & Buy™

GARAGE

Project Name: QTRTH0017205		Qty: 15	Truss: T1
Customer: Matthew Robinson		SID: TID: QTRTH001... Date: 06/16/25 Page: 1 of 1	
Truss Weight = 975 lb			
Code/Design: IRC 2009/10/1209 RF: Snow Wind TC: 4x8 7x4 1x6 1x6 1x6 BC: 3x6 3x6 3x6 3x6 3x6 Web: 2x4 2x4 2x4 2x4 2x4 Plate: 1/2 1/2 1/2 1/2 1/2 Material: 20G 20G 20G 20G 20G Member: 20G 20G 20G 20G 20G Plate: 20G 20G 20G 20G 20G Lab: 150 150 150 150 150 OH: 150 150 150 150 150		Additional Design Checks: 15' min Non-Compliant: No 20' min BC Limited: No 300 lb BC Acceptable: No 300 lb TC Acceptable: No 2000 lb TC Safe Load: No Unbalanced: No	
Material Summary TC: 20G 20G 20G 20G 20G BC: 3x6 3x6 3x6 3x6 3x6 Web: 2x4 2x4 2x4 2x4 2x4 Plate: 1/2 1/2 1/2 1/2 1/2		Reaction Summary Max Cx1: 10.00 Max Cx2: 10.00 Max Cx3: 10.00 Max Cx4: 10.00 Max Cx5: 10.00 Max Cy1: 10.00 Max Cy2: 10.00 Max Cy3: 10.00 Max Cy4: 10.00 Max Cy5: 10.00	
Member Forces Summary Mem: 1 2 3 4 5 Type: TC BC BC BC BC Force: 1000 1000 1000 1000 1000 Comp: C T C T C T Stiff: 1000 1000 1000 1000 1000		Deflection Summary Mem: 1 2 3 4 5 Type: TC BC BC BC BC Defl: 0.10 0.10 0.10 0.10 0.10 Limit: 0.10 0.10 0.10 0.10 0.10	
Notes Plates designed for Cx at 0.85 and Rotational Tolerance of 10.0 degrees. Plates located at TC pitch breaks meet the prescriptive minimum size requirement to transfer unbalanced diaphragm loads across knee joints. A "pm" next to the plate size indicates that the plate has been user modified, see Plate Offsets for any special positioning requirements. This truss is not symmetric - proper orientation is critical.		Bracing Data Summary Chord2: continuous except where shown Web: Bracing = None	
Plate offsets (X, Y): Mem: 100-15,00-00, 100-15,00-00 Mem: 100-15,00-00, 100-15,00-00		Joint Stress Index (JSI): JSI: 10.00, 10.00, 10.00, 10.00, 10.00 JSI: 10.00, 10.00, 10.00, 10.00, 10.00	
NOTICE: A copy of this design shall be furnished to the erection contractor. The design of this individual truss is based on design criteria and requirements supplied by the Truss Manufacturer and relies upon the accuracy and completeness of the information set forth by the Building Designer. A seal on this drawing indicates acceptance of professional engineering responsibility solely for the truss component design shown. See the cover page and the "Important Information & General Notes" page for additional information. All connector plates shall be manufactured by Simpson Strong-Tie Company, Inc. in accordance with EDR 2762. All connector plates are 20 gauge, unless the specified plate size is followed by a "-18" which indicates an 18 gauge plate, or "25-18" which indicates a high-tension 18 gauge plate.			
		MIDWEST MANUFACTURING 5111 Kahn Road Eau Claire, WI 54703 (715) 876-5555 midwestmanufacturing.com	

Date: 8/26/2025 - 6:39 PM
 Design ID: 301659909108
 Estimate ID: 24806
 Estimated Price: \$16,303.11

*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.



Design & Buy™

GARAGE

Project Name: QTRTH0017329		Qty: 2	Truss: T1E
Customer: Matthew Robinson		SID: TID: QTRTH001... Date: 06/16/25 Page: 1 of 1	

<p>Code/Design: IBC 2009/CP1-001</p> <p>Wind: 15.0 mph 10.0 mph 5.0 mph 1.0 mph</p> <p>Roof Slope: 4/12 1.0 1.0 1.0</p> <p>Member: 3x4 3x6pm 3-15</p> <p>Plate: 1/4"</p> <p>Truss Weight: 102.4 lb</p>	<p>Added Snow Load: 30.0 psf 10.0 psf 5.0 psf 1.0 psf</p> <p>Added Wind Speed: 40 mph 15.0 mph 5.0 mph 1.0 mph</p> <p>Added Deck Design: 10 psf 20 psf 30 psf 40 psf</p>	<p>Deflection Summary</p> <p>Vertical Deflection: 1/16" Horizontal Deflection: 1/16" Rotation: 1/16"</p> <p>Bracing Data Summary</p> <p>Bracing: None</p> <p>Plate offsets (X, Y):</p> <p>None</p> <p>Joint Stress Index (JSI):</p> <p>JSI(10,55), JSI(10,65), JSI(10,75), JSI(10,85), JSI(10,95), JSI(11,05), JSI(11,15), JSI(11,25), JSI(11,35), JSI(11,45), JSI(11,55), JSI(11,65), JSI(11,75), JSI(11,85), JSI(11,95)</p>
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Material Summary

Mem.	Qty	Comp.	CSJ
3x4	40	185	0.44
3x6pm	40	185	0.44
3-15	40	185	0.44

Member Forces Summary

Mem.	Max CSJ	Min CSJ
3x4	1.18	0.29
3x6pm	1.18	0.29
3-15	1.18	0.29

Reaction Summary

Reaction Summary (kips)

Node	Reaction
1	14.00
2	14.00
3	14.00
4	14.00
5	14.00
6	14.00
7	14.00
8	14.00
9	14.00
10	14.00
11	14.00

Loads Summary

This truss has been designed for the effects of an unbalanced top chord live load occurring at 14'-0" under a 1.00 Full and 0.50 Reduced Load Factor.

See Loadcase Report for load combinations and additional details.

Notes

If this truss is exposed to wind load perpendicular to the plane of the truss, gable ends must be braced according to the Construction Documents, BCCI-B1, or a gable end bracing detail matching the Design Wind Speed shown. Lateral bracing of the truss must be in accordance with the Construction Documents.

The maximum rake overhang length is 12'-0".

Plates designed for 20 at 0.95 and rotational tolerance of 10.0 degrees.

Plates located at 72 pitch breaks meet the prescriptive minimum size requirement to transfer unblocked diaphragm loads across those joints. A "P" next to the plate size indicates that the plate has been size modified; see Plate Offsets for any special positioning requirements. Lumber and plating have been applied symmetrically.



**VILLAGE OF WESTON, WISCONSIN
AGENDA ITEM COVER SHEET / REQUEST FOR CONSIDERATION**

DESCRIPTION: October Staff-approved Certified Survey Maps and Site Plans.

FROM: Jennifer Higgins, Director of Planning & Development
Valerie Parker, Planning Technician

FOR REVIEW BY: Plan Commission, 11/10/2025

POLICY QUESTION: Should the PC acknowledge the staff approvals as submitted by the Department?

ISSUE-IN-BRIEF: October Staff-approved Certified Survey Maps and Site Plans.

FISCAL IMPACT: TBD.

GUIDANCE: Director of Planning & Development recommends the PC acknowledge the report and place on file.

PRIOR REVIEW: No previous public review.

REQUEST: Acknowledge and place on file.

Is there an additional briefer with this agenda item?

Are there additional documents which have been attached to this report?

List of CSM's and Site Plans Approved by Staff Since the last PC Meeting:

Certified Survey Maps –
Project #20250376 – Wood Violet Trust & Sommer, 10010 Schofield Ave – Parcel Reconfiguration
Project #20250360 – Village of Weston, 3006 Foxtail Court – Land Division

Site Plans –
Project #20250410 – Kwik Trip, 4103 Barbican Avenue – Parking Lot Repair Work
Project #20250403 – Target, 2707 Schofield Avenue – E-Vehicle Charging Station Equipment Replacement
Project #20250378 – WI Estate Solutions, 5909/5703 Jamar Street – Parking Lot Repair Work

****To view any of the above-approved projects (CSM's & Site Plans), visit:**
<https://evolvepublic.infovisionsoftware.com/weston/>, under the PROJECT heading, select **PROJECT SEARCH**. You can then search any of the above projects by name, address, or date range. **



**VILLAGE OF WESTON, WISCONSIN
AGENDA ITEM COVER SHEET / REQUEST FOR CONSIDERATION**

DESCRIPTION: Report re: October 2025 Building Permits

FROM: Roman Maguire, Building Inspector
Travis Meverden, Building Inspector

FOR REVIEW BY: Plan Commission, 11/10/2025
Board of Trustees, 11/17/2025

POLICY QUESTION: Should the PC & BOT acknowledge the October 2025 building permits issued as submitted by the Department?

ISSUE-IN-BRIEF: Monthly report from the Planning & Development Department – Building Inspections Division.

FISCAL IMPACT: \$49,574,189 in permit valuation
\$336,863 in permit fees
1,278 total permits issued (1,228 Village, 19 Town, 31 Rothschild)
(YTD as of 11/3/25)

Month of October 2025 Permits Issued.
Village of Weston - 148
Town of Weston - 3
Village of Rothschild - 6
\$23,759 received in permit fees.
\$3,023,853 in permit valuation

GUIDANCE: Inspectors recommend the PC & BOT acknowledge the report and place on file.

PRIOR REVIEW: No previous public review.

REQUEST: Acknowledge and place on file.

Is there an additional briefer with this agenda item?

Are there additional documents which have been attached to this report?

October 2025 Building Permits

Monthly Permit Issued List

Permit #	Issue Date	Templates	Permit Address	Parcel ID	Owner Name	Contractor	Contract Price
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Town of Weston

202501645	10/01/2025	Excavation	225181 KRAMER LN, WESTON	08228081420988	JOSHUA FINKE	ICS (Integrated Construction Solutions, LLC)	
202501806	10/31/2025	Minor Home Improvement	228470 LAHR AVE, WESTON	08228080420986	PABLO ABREGO	Leid Construction	\$37,500
		Re-shingle, remove old and installed new.					
202501729	10/15/2025	WUBPA	164079 RIVER RD, WESTON	08228081340969	ALAN FLOOD	Timber River Custom Homes & Design, LLC.	\$500,000
		New Home					

Village of Rothschild

202501731	10/16/2025	Lateral	1422 HARLYN AVE, ROTHSCHILD	17628083031040	COLE BARWICK	PGA Inc	
		replacing sanitary lateral from home to ROW					
202501730	10/15/2025	Special Assessment	7410 WHITESPIRE RD, ROTHSCHILD	17628081930111	AUTUMN E REISSMANN	Knight Barry Title - QTax	
202501759	10/20/2025	Special Assessment	2205 FANTAIL AVE, ROTHSCHILD	17628083011157	PETER JAGLINSKI	County Land and Title Co.	
202501760	10/20/2025	Special Assessment	2218 FAWN AVE, ROTHSCHILD	17628083011143	JEAN KOPPLIN	County Land and Title Co.	
202501761	10/20/2025	Special Assessment	7410 WHITESPIRE RD, ROTHSCHILD	17628081930110	PHILLIP JAMES SALZMAN	County Land and Title Co.	
202501762	10/20/2025	Special Assessment	7320 WHITESPIRE RD, ROTHSCHILD	17628081930066	JAMES ROGGE	County Land and Title Co.	

Village of Weston

Monthly Permit Issued List

Permit #	Issue Date	Templates	Permit Address	Parcel ID	Owner Name	Contractor	Contract Price
202501804	10/30/2025	Accessory	5705 HIDDEN RIVER CT, WESTON	19228081520088	JOSEPH SLOGAR		\$800
			Installation of a 10' x 12' x 8' shed to be located in rear property. Will be placed on a 6" treated wood floor, that will extend out past the building by a foot or so.				
202501662	10/02/2025	Accessory	8405 MAPLEFIELD WAY, WESTON	19228082910075	JAMES KAUDY		\$4,600
			Prebuilt Storage Shed				
202501795	10/28/2025	Accessory	6300 BIRCH ST, WESTON	19228082010996	MHWI COLONIAL GARDENS OF WESTON LLC		\$5,700
			Carport				
202501692	10/07/2025	Accessory	1805 EL SEGUNDO AVE, WESTON	19228081910065	JUAN JARAMILLO		\$6,000
			New shed				
202501705	10/10/2025	Accessory	6300 BIRCH ST, WESTON	19228082010996	MHWI COLONIAL GARDENS OF WESTON LLC		\$8,000
			(TM10/7)Adding a detached garage on my lot.				
202501648	10/01/2025	Accessory	5103 QUIRT SANN DR, WESTON	19228081720092	MARLOWE C EMBREE AND SUSAN K EMBREE REVOCABLE TRUST		\$15,000
			Storage shed				
202501709	10/13/2025	Accessory	5105 RIVERFRONT PL, WESTON	19228080940215	BRIAN BRINK	Just Build It Construction	\$20,000
			covered porch				
202501701	10/10/2025	Deck	8503 BIRCH ST, WESTON	19228082940009	STEVEN SCHULTZ	Northeast Wisconsin Retina Associates	\$1,500
			Construction of a new deck. Width will be 6' 6" wide, and coming out 8' from the house.				
202501695	10/08/2025	Deck	1904 HIGHLAND AVE, WESTON	19228081910125	JOSHUA PAGEL		\$2,500
			Deck/ steps				
202501659	10/02/2025	Deck	8710 HINNER SPRINGS DR, WESTON	19228082940039	JEFFREY AND SUZANNE DELAHAUT REVOCABLE TRUST	Denyon Homes, Inc	\$5,500
			Deck				
202501773	10/20/2025	Deck	8315 MAPLEFIELD WAY, WESTON	19228082910077	JIM AND BRENDA WILKERSON TRUST	Just Build It Construction	\$8,000
			Deck				
202501774	10/20/2025	Deck	8405 MAPLEFIELD WAY, WESTON	19228082910075	JAMES KAUDY	Just Build It Construction	\$10,000
			Deck				

Monthly Permit Issued List

Permit #	Issue Date	Templates	Permit Address	Parcel ID	Owner Name	Contractor	Contract Price
202501789	10/27/2025	Deck	5011 LEE AVE, WESTON	19228081640084	OPPORTUNITY OF NORTH CENTRAL WISCONSIN INC	Todd Janke Construction LLC	\$15,000
		Handicap Ramp to Front Doors X2					
202501710	10/13/2025	Deck	5105 RIVERFRONT PL, WESTON	19228080940215	BRIAN BRINK	Just Build It Construction	\$15,500
		Deck/ Covered Porch					
202501796	10/28/2025	Deck	10105 PHEASANT RUN CT, WESTON	19228083230055	JENIFER WILHELM	Premier exteriors	\$18,500
		tear down existing deck and build larger deck					
202501720	10/14/2025	Deck	3805 WINDING RIDGE WAY, WESTON	19228081740892	WESTON ESTATES LLC	Lexington Homes, Inc	\$5,000
		Replace/Repair Deck					
202501721	10/14/2025	Deck	3707 WINDING RIDGE WAY, WESTON	19228081740892	WESTON ESTATES LLC	Lexington Homes, Inc	\$5,000
		Replace/Repair Deck					
202501722	10/14/2025	Deck	3602 WINDING RIDGE WAY, WESTON	19228081740892	WESTON ESTATES LLC	Lexington Homes, Inc	\$5,000
		Replace/Repair Deck					
202501725	10/14/2025	Deck	3607 WINDING RIDGE WAY, WESTON	19228081740892	WESTON ESTATES LLC	Lexington Homes, Inc	\$5,000
		Replace/Repair Deck					
202501723	10/14/2025	Deck	3607 WINDING RIDGE WAY, WESTON	19228081740892	WESTON ESTATES LLC	Lexington Homes, Inc	\$5,000
		Replace/Repair Deck					
202501646	10/01/2025	Electrical	4006 HOWLAND AVE, WESTON	19228083210983	LENARD HABECK	MB Electric	\$968
		Replace an existing 100 amp breaker panel that was recalled					
202501655	10/02/2025	Electrical	6300 BIRCH ST, WESTON	19228082010996	MHWI COLONIAL GARDENS OF WESTON LLC	FLOYD J MOORE	\$1,500
		(Lot 39) New Pedestal					
202501656	10/02/2025	Electrical	6300 BIRCH ST, WESTON	19228082010996	MHWI COLONIAL GARDENS OF WESTON LLC	FLOYD J MOORE	\$1,500
		(Lot 213) Change Pedestal					
202501668	10/06/2025	Electrical	5702 GORDON ST, WESTON	19228081740978	RODNEY GORSKI	Croker Electric, LLC	\$1,500
		60-100 amp overhead service upgrade					

Monthly Permit Issued List

Permit #	Issue Date	Templates	Permit Address	Parcel ID	Owner Name	Contractor	Contract Price
202501657	10/02/2025	Electrical	1819 EL SEGUNDO AVE, WESTON	19228081910067	PHILIP ANKLAM	FLOYD J MOORE	\$2,000
			Service Update to 200 amp & Location Change to Underground				
202501702	10/10/2025	Electrical	5405 ZADRA ST, WESTON	19228081630074	ANTHONY ROBINSON	NEWTON ELECTRIC CORP	\$2,600
			service upgrade 100 to 200				
202501666	10/03/2025	Electrical	8901 JONES ST, WESTON	19228082530998	GERALD OSTROWSKI		\$3,500
			Adding electrical service - freestanding pedestal.				
202501740	10/17/2025	Electrical	3807 MICHAEL DR, WESTON	19228080940164	RONALD GILSON	PGA, Inc.	\$4,892
			Service upgrade from 100 amp overhead to a 200 amp overhead.				
202501667	10/03/2025	Electrical	5108 SUNSET ST, WESTON	19228081620022	CAPGROW HOLDINGS JV SUB VIII LLC	PGA, Inc.	\$5,570
			Move the service from its current location to the north side of the house and upgrade the service to a 200 amp overhead.				
202501719	10/14/2025	Electrical	3115 SHOREY AVE, WESTON	19228083220962	KELLE FECKER	Adams	\$11,359
			Generator Installation with automatic transfer switch				
202501797	10/28/2025	Electrical	6000 HIGH RIDGE CIR, WESTON	19228081520081	MICHAEL HAYLETT	All Energy Solar	\$18,000
			Installation of a flush-mounted rooftop solar PV system on the residence				
202501676	10/07/2025	Electrical Comm	3402 HOWLAND AVE, WESTON	19228083210997	WAUSAU YMCA FOUNDATION INC	K and M Electric	\$7,130
			Reception remodel and new exam room				
202501728	10/15/2025	Electrical Comm	3200 SCHOFIELD AVE, WESTON	19228081730982	ABC WESTON LLC	PGA, Inc.	\$10,000
			Add receptacles, Ceiling fan, reattach loose receptacles and EM Light s				
202501675	10/07/2025	Electrical Comm	5101 MESKER ST, WESTON	19228081610964	NORTHERN LIMITED LIABILITY CO	Atlas Electric & Control, Inc	\$40,000
			Remodel and Relight				
202501717	10/14/2025	Electrical Comm	2707 SCHOFIELD AVE, WESTON	19228081730958	DAYTON HUDSON CORP #364	ECCO ELECTRIC	\$41,000
			change out existing EV charging equipment for new				
202501714	10/14/2025	Electrical Comm	9601 CHRISTIE LN, WESTON	19228082430999	JFTCO INC	Atlas Electric & Control, Inc	\$80,000
			Complete Electrical Install of new addition				
202501803	10/30/2025	Electrical Comm	6100 ALDERSON ST, WESTON	19228081910991	D C EVEREST AREA SCHOOL DISTRICT	Olson Solar Energy	\$136,086
			Roof mounted solar PV array				

Monthly Permit Issued List

Permit #	Issue Date	Templates	Permit Address	Parcel ID	Owner Name	Contractor	Contract Price
202501755	10/20/2025	Excavation	5802 WESTON AVE, WESTON	19228082230982	CHRISTOPHER BARNETT	Wisconsin Public Service	
202501756	10/20/2025	Excavation	7505 SHOREY AVE, WESTON	19228083520995	RACHEL GRAY	WISCONSIN PUBLIC SERVICE	
202501805	10/31/2025	Excavation	4009 HOWLAND AVE, WESTON	19228083240998	MAS INCOME TRUST	Wisconsin Public Service	
202501651	10/01/2025	Excavation	4502 STERNBERG AVE, WESTON	19228081620018	WILLIAM OMERNIK	ICS (Integrated Construction Solutions, LLC)	
202501696	10/08/2025	Excavation	5602 MUNICIPAL ST, WESTON	19228081530925	PENROSE PROPERTIES LLC	Wisconsin Public Service	
202501697	10/08/2025	Excavation	1706 ROSSENBACH AVE, WESTON	19228081810981	DAVID LANGE	Wisconsin Public Service	
202501727	10/14/2025	Excavation	No Address			Wisconsin Public Service Corporation	
202501726	10/14/2025	Excavation	2606 SCHOFIELD AVE, WESTON	19228081730937	BALSAM LLC	Wisconsin Public Service Corporation	
202501743	10/17/2025	Excavation	164875 RIVER BANK LN, WESTON	19228082410017	CHAD BENZ	WISCONSIN PUBLIC SERVICE	
202501652	10/01/2025	Excavation	9640 SANDHILL DR, WESTON	19228083220089	BARTON RIDDELL	ICS (Integrated Construction Solutions, LLC)	
202501742	10/17/2025	Excavation	164845 RIVER BANK LN, WESTON	19228082410016	BRIAN WITZELING	WISCONSIN PUBLIC SERVICE	
202501649	10/01/2025	Excavation	6003 BABL LN, WESTON	19228081030041	KATHLEEN WEST	ICS (Integrated Construction Solutions, LLC)	

Monthly Permit Issued List

Permit #	Issue Date	Templates	Permit Address	Parcel ID	Owner Name	Contractor	Contract Price
202501650	10/01/2025	Excavation	9109 CALLON AVE, WESTON	19228082420974	D C EVEREST AREA SCHOOL DISTRICT	ICS (Integrated Construction Solutions, LLC)	
202501780	10/22/2025	Fence	9813 SIBERIAN DR, WESTON	19228083220056	BRETT HOEY	Sam's Pizza	\$4,000
		Installing black chainlink fence					
202501802	10/29/2025	General	6400 ALDERSON ST, WESTON	19228081910991	D C EVEREST AREA SCHOOL DISTRICT	DC Everest Schools	\$0
		Early Start for HVAC modification to GTCC					
202501711	10/13/2025	General	5105 RIVERFRONT PL, WESTON	19228080940215	BRIAN BRINK	Just Build It Construction	\$15,500
		Decks/ Covered Porch					
202501661	10/02/2025	General	3107 CONCORD AVE, WESTON	19228081720963	USSAM LLC	LCC Telecom Services	\$75,000
		Adding new microwave dish antennas and related equipment onto the existing cell tower.					
202501706	10/10/2025	Home Improvement	6412 KIRK ST, WESTON	19228082120072	BRIAN FIENE		\$10,000
		finish basement					
202501793	10/28/2025	Home Improvement	4803 CREST RIDGE AVE, WESTON	19228082120151	PERRY HARTL		\$30,000
		Reopening of permit number 202200155. Finishing basement					
202501677	10/07/2025	Home Improvement	6003 HIGH RIDGE CIR, WESTON	19228081520098	JAMI GEBERT		\$32,000
		Interior remodel: new laminate countertops, new flooring, replaced bathtub and primary shower surround (same size), and six new windows.					
202501683	10/07/2025	HVAC	3602 SANDY LN, WESTON	19228080910006	CHRISTOPHER KENNEDY		\$800
		Installation of Garage Heater in detached garage					
202501664	10/03/2025	HVAC	6307 RICHARDS AVE, WESTON	19228081030012	THOMAS HIRN	Comfort Gallery	\$3,280
		Install Modine 60,000 btu garage heater					
202501707	10/13/2025	HVAC	7912 CALLON AVE, WESTON	19228081430978	LOIS TETZLAFF	MALBRIT MECHANICAL INC.	\$4,630
		Replace Gas Furnace					
202501738	10/17/2025	HVAC	3311 EAU CLAIRE AVE, WESTON	19228081720997	YVONNE BRIDIS	Steves Plumbing	\$5,452
		Replace furnace with armstrong furnace					
202501792	10/28/2025	HVAC	9703 NEWBERRY DR, WESTON	19228083210032	RYAN BALD	Frasiers Plumbing & Heating	\$5,592
		Garage Heater Install					

Monthly Permit Issued List

Permit #	Issue Date	Templates	Permit Address	Parcel ID	Owner Name	Contractor	Contract Price
202501807	10/31/2025	HVAC	3209 SANDY LN, WESTON	19228081020151	JEAN WHITE	Comfort Gallery	\$5,600
			Furnace change out				
202501787	10/24/2025	HVAC	3302 PARIS PL, WESTON	19228083220179	ROCHON REVOCABLE LIVING TRUST	MALBRIT MECHANICAL INC.	\$6,980
			Replace Gas Furnace				
202501800	10/29/2025	HVAC	3602 SANDY LN, WESTON	19228080910006	CHRISTOPHER KENNEDY	Best HVAC	\$7,700
			replace furnace and AC				
202501739	10/17/2025	HVAC	4204 E EVEREST AVE, WESTON	19228082120033	DAVID HAHN	Best HVAC	\$9,000
			Replace cast boiler with high efficient boiler				
202501665	10/03/2025	HVAC	6103 DAWN ST, WESTON	19228082310970	DUSTIN VREELAND	MALBRIT MECHANICAL INC.	\$9,010
			Replace A/C & Add Ductless Split A/C				
202501741	10/17/2025	HVAC	3502 SANDY LN, WESTON	19228080910008	ROBERT BLUHM	Frasiers Plumbing & Heating	\$13,404
			HVAC Install				
202501808	10/31/2025	HVAC	9305 CAMP PHILLIPS RD, WESTON	19228083210977	LEWIS PROPERTIES I LLC	Best HVAC	\$6,000
			replace boiler , with same type				
202501716	10/14/2025	HVAC	4005 COMMUNITY CENTER DR, WESTON	19228082010032	ASPIRUS WAUSAU HOSPITAL INC	Air Quality Control	\$405,036
			3rd Floor Ophthalmology Remodel				
202501777	10/21/2025	Meter	3404 GREEN PASTURES LN, WESTON	19228082910092	DENYON HOMES INC	Denyon Homes, Inc	
			HS105 Meter Permit				
202501778	10/21/2025	Meter	3406 GREEN PASTURES LN, WESTON	19228082910093	DENYON HOMES INC	Denyon Homes, Inc	
			HS106 Meter Permit				
202501779	10/21/2025	Meter	3408 GREEN PASTURES LN, WESTON	19228082910094	DENYON HOMES INC	Denyon Homes, Inc	
			HS107 Meter Permit				
202501694	10/08/2025	Meter	3108 BALLY PARK PL, WESTON	19228083220211	DANIEL AND JODY SEYBOLD TRUST	J & T PLUMBING LLC	
			Water meter for New House				
202501699	10/09/2025	Minor Home Improvement	5503 GORDON ST, WESTON	19228081740919	MARK MITTLESTEADT		\$400
			Just repairing roof and new shingles on unattached utility shed.				

Monthly Permit Issued List

Permit #	Issue Date	Templates	Permit Address	Parcel ID	Owner Name	Contractor	Contract Price
202501715	10/14/2025	Minor Home Improvement	4712 FULLER ST, WESTON	19228081610019	KARL MANCHESKI		\$3,500
		install new patio door where two windows are now.					
202501801	10/29/2025	Minor Home Improvement	4903 MESKER ST, WESTON	19228081610069	CHONG VANG		\$4,000
		shingle roof					
202501703	10/10/2025	Minor Home Improvement	3302 MOUNT VIEW AVE, WESTON	19228081740943	SHAUNA JONES		\$5,000
		Replacing siding and windows					
202501786	10/24/2025	Minor Home Improvement	3205 LEYBURN DR, WESTON	19228082930038	JULIE SCESNIAK		\$14,500
		Tearing off old shingles and replacing with new shingles.					
202501654	10/02/2025	Minor Home Improvement	5007 FULLER ST, WESTON	19228081520002	CLYDE MUELLER		\$15,000
		Remove existing 3-tab shingles. Install new architectural asphalt shingles.					
202501680	10/07/2025	Minor Home Improvement	6507 WESTON AVE, WESTON	19228082710991	JOHN VANG		\$17,000
		Add vinyl siding					
202501783	10/23/2025	Minor Home Improvement	5306 SUNSET ST, WESTON	19228081630052	JEFFREY BUSHA	New Heights Roofing Inc.	\$18,400
		Roof tear off, re roof with asphalt shingles					
202501691	10/07/2025	Minor Home Improvement	3101 SANDGATE CT, WESTON	19228082930054	JON ZIEGLER		\$20,452
		Re-roofing - tear off - only replacing bad wood/decking only if necessary					
202501781	10/22/2025	Minor Home Improvement	8502 CASTLEBERRY CIR, WESTON	19228082930072	SCOTT EWASKOWITZ		\$21,200
		Re-roofing - tear off - only replacing bad wood/decking only if necessary					
202501647	10/01/2025	Minor Home Improvement	3303 RIO DR, WESTON	19228083220182	THOMAS BATTERMAN		\$22,173
		Re-roofing - tear off - only replacing bad wood/decking only if necessary					
202501693	10/08/2025	Minor Home Improvement	6007 THOMAS AVE, WESTON	19228081520037	ROXANNE SCHUSTER	Erie Construction	\$31,352
		REMOVING EXISTING SHINGLES REPLACING WITH ASPHALT SHINGLES					
202501698	10/09/2025	Occupancy	8310 COMMERCE DR, WESTON	19228082340014	MRMW HOLDING LLC	C&R Brokers LLC	
		New zoning permit due to changing name of the business, occupancy will not change, just the name.					
202501681	10/07/2025	Occupancy	8008 TECHNOLOGY DR, WESTON	19228082320954	MRMW HOLDING LLC	For One Gifting Studio	
		Zoning Permit for Office in Commercial Building.					

Monthly Permit Issued List

Permit #	Issue Date	Templates	Permit Address	Parcel ID	Owner Name	Contractor	Contract Price	
202501682	10/07/2025	Occupancy	8008 TECHNOLOGY DR, WESTON	19228082320954	MRMW HOLDING LLC	C&R Brokers LLC		
			Obtaining a zoning permit for our new office building					
202501782	10/22/2025	Occupancy	5608 BUSINESS HIGHWAY 51, WESTON	19228081831034	HUDDLE UP HOUSING LLC	Dart Domain LLC		
			Dart supply store					
202501674	10/06/2025	Occupancy	6703 RICKYVAL ST, WESTON	19228082320952	KOURY INVESTMENTS LLC	Engineering Tomorrow		
			We are a 501c3 nonprofit organization that provides no-cost engineering labs to students across the country. The business activities performed at 6703 Rickyval St, Weston, WI include the receiving of lab kits and kit components, and the assembly and shipping of kits to schools across the US.					
202501776	10/20/2025	Occupancy	5703 JAMAR ST, WESTON	19228081640970	PRAECAVEO II LLC	Wisconsin Estate Solutions		
			[hold for revised site plan jlh 9/30/25] Auction Company/Coin and resale Shop					
202501757	10/20/2025	Parking Lot	4103 BARBICAN AVE, WESTON	19228082120181	KWIK TRIP INC	Kwik Trip Inc.	\$8,000	
			Need to repair damaged and crumbling brick in drive entry.					
202501788	10/24/2025	Plumbing	6314 ALTA VERDE ST, WESTON	19228081910077	STEPHEN JASINSKI		\$1,000	
			replacing bathtub					
202501685	10/07/2025	Plumbing	4311 SCHOFIELD AVE, WESTON	19228081630943	ILLINOIS AVENUE HOUSING LLC	HUSKI PLUMBING & HEATING	\$1,000	
			new water and sewer lines					
202501686	10/07/2025	Plumbing	4311 SCHOFIELD AVE, WESTON	19228081630943	ILLINOIS AVENUE HOUSING LLC	HUSKI PLUMBING & HEATING	\$1,000	
			new sewer line					
202501687	10/07/2025	Plumbing	4311 SCHOFIELD AVE, WESTON	19228081630943	ILLINOIS AVENUE HOUSING LLC	HUSKI PLUMBING & HEATING	\$1,000	
			new hydrant					
202501688	10/07/2025	Plumbing	4311 SCHOFIELD AVE, WESTON	19228081630943	ILLINOIS AVENUE HOUSING LLC	HUSKI PLUMBING & HEATING	\$1,000	
			new water and sewer lines					
202501689	10/07/2025	Plumbing	4311 SCHOFIELD AVE, WESTON	19228081630943	ILLINOIS AVENUE HOUSING LLC	HUSKI PLUMBING & HEATING	\$1,000	
			new water and sewer lines					
202501690	10/07/2025	Plumbing	4311 SCHOFIELD AVE, WESTON	19228081630943	ILLINOIS AVENUE HOUSING LLC	HUSKI PLUMBING & HEATING	\$1,000	
			new water and sewer lines					
202501784	10/23/2025	Plumbing	6004 ABRAHAM ST, WESTON	19228081440023	CAROL WAGNER	Mad City Windows & Baths	\$5,000	
			Remove existing tub and replace with a walk-in shower unit.					

Monthly Permit Issued List

Permit #	Issue Date	Templates	Permit Address	Parcel ID	Owner Name	Contractor	Contract Price
202501713	10/14/2025	Plumbing	1818 LAGUNA AVE, WESTON	19228081910078	SAVANNAH VAUGHN	Acculevel, Inc	\$15,354
			waterproof basement with drain tile, sump pump and carbon fiber straps				
202501684	10/07/2025	Plumbing	5807 ISAIAH ST, WESTON	19228081020066	KEVIN ERMELING	Bath Fitter	\$19,000
			replace 2 mixer valves and replace 2 shower stalls				
202501758	10/20/2025	Plumbing	5710 RIPPLING CREEK DR, WESTON	19228081020197	MARCIA SPACHER	Tundraland/Leaf Home	\$20,568
			Basement level walk-in shower and surround being replaced, including the mixing valve and trap.				
202501663	10/02/2025	Resurface	5311 JEAN ELLEN ST, WESTON	19228081640007	KURT GERROW		
			Repave driveway and extend driveway area				
202501653	10/01/2025	Resurface	4810 STERNBERG AVE, WESTON	19228081620039	RICHARD SPATZ	BK Flatworks	\$7,487
			make gravel driveway concrete				
202501704	10/10/2025	Roof	3404 COMMUNITY CENTER DR, WESTON	19228082010031	WESTON ASSISTED LIVING PARTNERS LLC	Weather Shield Home Experts	\$280,000
			Tear off and reroof				
202501791	10/27/2025	Sign	8310 COMMERCE DR, WESTON	19228082340014	MRMW HOLDING LLC	Finishing Touch Signs	\$650
			Replace current business sign				
202501700	10/09/2025	Sign	5606 MUNICIPAL ST, WESTON	19228081530994	OLSON & OLSON LLC	Olson & Olson	\$665
			Installing Sign for New Building				
202501790	10/27/2025	Sign	8008 TECHNOLOGY DR, WESTON	19228082320954	MRMW HOLDING LLC	Finishing Touch Signs	\$1,200
			Replace current business sign				
202501768	10/20/2025	Special Assessment	4305 TRANSPORT WAY, WESTON	19228082820007	STAINLESS HOLDINGS LLC	County Land and Title Co.	
202501750	10/17/2025	Special Assessment	4503 STERNBERG AVE, WESTON	19228081630030	DEREK GREEN	RUNKEL ABSTRACT	
202501669	10/06/2025	Special Assessment	6704 MACHMUELLER ST, WESTON	19228081920055	MARK STEINES	Legends Title Services LLC	
202501670	10/06/2025	Special Assessment	6710 MACHMUELLER ST, WESTON	19228081920056	MARK STEINES	Legends Title Services LLC	

Monthly Permit Issued List

Permit #	Issue Date	Templates	Permit Address	Parcel ID	Owner Name	Contractor	Contract Price
202501671	10/06/2025	Special Assessment	5510 MESKER ST, WESTON	19228081640076	MARK STEINES	Legends Title Services LLC	
202501672	10/06/2025	Special Assessment	5115 LEE AVE, WESTON	19228081640089	HOLZHAUER HOLDINGS LLC	Legends Title Services LLC	
202501766	10/20/2025	Special Assessment	7202 BIRCH ST, WESTON	19228082030998	BRENDA HINTZ	County Land and Title Co.	
202501767	10/20/2025	Special Assessment	6110 KAYAK DR, WESTON	19228081020273	NENG LEE	County Land and Title Co.	
202501749	10/17/2025	Special Assessment	4411 LEDUC ST, WESTON	19228081610143	SALVATORE VITALE	RUNKEL ABSTRACT	
202501735	10/16/2025	Special Assessment	8414 MAPLEFIELD WAY, WESTON	19228082910071	TIMBER RIDGE BUILDERS LLC	Avenue Title	
202501769	10/20/2025	Special Assessment	6109 KAYAK DR, WESTON	19228081020266	DAVID HILL	County Land and Title Co.	
202501770	10/20/2025	Special Assessment	2810 JOSEPH AVE, WESTON	19228081730001	ROBERT C WITZELING REVOCABLE TRUST	County Land and Title Co.	
202501736	10/16/2025	Special Assessment	5906 ALEX ST, WESTON	19228081020026	RODNEY DEAN	Avenue Title	
202501751	10/17/2025	Special Assessment	5225 PINE ST, WESTON	19228081810986	GRANITE OAK PROPERTIES LLC	RUNKEL ABSTRACT	
202501763	10/20/2025	Special Assessment	5004 CRESTWOOD DR, WESTON	19228081710115	SUNNYSIDE VENTURES OF WISCONSIN INC	County Land and Title Co.	
202501745	10/17/2025	Special Assessment	3406 CAESARS CT, WESTON	19228083220216	STONEGATE VILLAS LLC	RUNKEL ABSTRACT	
202501746	10/17/2025	Special Assessment	7505 STONE RIDGE DR, WESTON	19228082040978	BAJA WELLNESS LLC	RUNKEL ABSTRACT	
202501732	10/16/2025	Special Assessment	5209 ISAAH ST, WESTON	19228080910111	ANDREW NELSON	Avenue Title	

Monthly Permit Issued List

Permit #	Issue Date	Templates	Permit Address	Parcel ID	Owner Name	Contractor	Contract Price
202501798	10/28/2025	Special Assessment	5209 PINE ST, WESTON	19228081810058	ROBERT BRANDT	GOWEY ABSTRACT & TITLE COMPANY INC	
202501748	10/17/2025	Special Assessment	3404 CROSS POINTE BLVD, WESTON	19228082910028	THE GOSPEL TLC INC	RUNKEL ABSTRACT	
202501764	10/20/2025	Special Assessment	8325 MAPLEFIELD WAY, WESTON	19228082910076	DENYON HOMES INC	County Land and Title Co.	
202501673	10/06/2025	Special Assessment	1821 MONTEREY AVE, WESTON	19228081910075	TONY DEGRAND	GOWEY ABSTRACT & TITLE COMPANY INC	
202501733	10/16/2025	Special Assessment	6103 RODNEY ST, WESTON	19228082120054	JEFFREY BARTNIK	Avenue Title	
202501765	10/20/2025	Special Assessment	10005 HERITAGE HILLS DR, WESTON	19228083210037	ROBERT DERRETT	County Land and Title Co.	
202501747	10/17/2025	Special Assessment	5011 LEE AVE, WESTON	19228081640084	TODD JANKE CONSTRUCTION LLC	RUNKEL ABSTRACT	
202501734	10/16/2025	Special Assessment	5307 SCOTT ST, WESTON	19228081640065	BENJAMIN GLASCOCK	Avenue Title	
202501772	10/20/2025	Special Assessment	6002 EDWARD ST, WESTON	19228081740048	RICHARD MAIER	County Land and Title Co.	
202501754	10/17/2025	Special Assessment	3302 TROPICANA CT, WESTON	19228083220237	STONEGATE VILLAS LLC	RUNKEL ABSTRACT	
202501752	10/17/2025	Special Assessment	4919 ALDERSON ST, WESTON	19228081720921	GERALD HEISLER	RUNKEL ABSTRACT	
202501753	10/17/2025	Special Assessment	4923 ALDERSON ST, WESTON	19228081720920	GERALD HEISLER	RUNKEL ABSTRACT	
202501771	10/20/2025	Special Assessment	4809 SHOREY AVE, WESTON	19228083320977	SHANE WIERCINSKI	County Land and Title Co.	

Monthly Permit Issued List

Permit #	Issue Date	Templates	Permit Address	Parcel ID	Owner Name	Contractor	Contract Price
202501775	10/20/2025	Special Assessment	2602 PARKWAY LN, WESTON	19228083220114	THOMAS KRAMER	Knight Barry Title - QTax	
202501799	10/28/2025	Special Assessment	5606 WALNUT ST, WESTON	19228081630098	PANHIA XIONG	Knight Barry Title - QTax	
202501794	10/28/2025	Well	4711 MESKER ST, WESTON	19228081620004	JACOB DAWSON		
		Well inspection and water sample					
202501737	10/16/2025	Well	6402 JACQUELYN RD, WESTON	19228082210012	DANIEL DALLMAN		
		2025 – 10 & 5 Year Permit					
202501660	10/02/2025	Well	3906 MICHAEL DR, WESTON	19228080940132	JOHN ZAMZOW		
		2025 – 10 & 5 Year Permit					
202501658	10/02/2025	Well	1818 LAGUNA AVE, WESTON	19228081910078	SAVANNAH VAUGHN		
		Well used for gardening					
202501679	10/07/2025	WUBPA	164875 RIVER BANK LN, WESTON	19228082410017	CHAD BENZ	Ott Development and Construction	\$770,263
		Benz Custom Home					
Total Permits Issued							157



Jennifer Higgins
Planning & Development Director

To: Plan Commission

Date: November 5, 2025

Re: Planning & Development Project Updates

1. **Comprehensive Plan Update** – Project is in progress. We have a draft Community Survey that we are reviewing. We are also in the process of reviewing the first draft of Volume 1 Conditions and Issues. It has taken a bit of a back seat to ensure that development projects coming in are getting approved and going before the snow flies.
2. **Evolve Software Upgrade** – We are now meeting weekly with Evolve to work through the permit module. The hope is to have the system live by the first quarter of the year.
3. **Commercial Building Inspections** –The Department is still working towards being able to provide this new service. Maguire has started studying again to take the test.
4. **Request to vacate a portion of Everest Hilltop Addition Subdivision** – No updates on this. The Board approved the street vacation and the resolution was sent to the landowner. They are now proceeding through Circuit Court to vacate the unbuilt portion of the subdivision in Weston. We continue to have inquiries on the property from those wishing to develop it.

TIF 1

1. **Fabick Cat, 9601 County Road J** – Site plan approval was given 6/27/25. Building permit has been issued. Building 1 is an 18,443-sf expansion and will add additional maintenance/service bays and offices to their existing maintenance facility. Building 2 is a 4,050-sf addition creating a covered area adjacent to the existing paint booth. We received a requested change to the parking lot last month and the property owner is still deciding if they want to proceed with it.
2. **Wiesman Storage Units, 4305 Progress Way** –Conditional Use Permit and Site Plan were approved in August. Building permits were issued in April 2024. CUP amendment was approved on the December 2024 PC Agenda. Project Completion needs to be scheduled.



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3. **Weston Mini-Maxi Storage, 8211 Schofield Avenue** – Under Construction – 6 of the buildings have received occupancy to date. They received a CUP amendment in September that changed one of the Maxi buildings that has yet to be constructed on the original approval into a 40 unit mini. This will increase the number of units by 25 to a total of 225 units.
4. **C-Tech, 8311 Technology Dr** – Under Construction - Building addition.
5. **C-Tech, 8000 Commerce Dr** – Under Site Plan Review – New Construction. Plan is to construct a 42,500 building to be used for a showroom.
6. **Wausau Supply, 8011 Technology Dr.** – We received a revision for landscaping that Meverden is following up on. Project Completion needs to be scheduled.
7. **Norcon, Progress Way, Phase 1 – Cold Storage & Phase II - Office Building** – Office area received temporary CO on 4/4/25. There are still outstanding site plan items that need to be addressed before site completion can be issued.
8. **Gymsport** – No new update here - Staff was expecting submittal of an application for a parking lot and building addition at Gymsport in October or November based on discussions with the applicant, which would require a Conditional Use Permit but nothing has been submitted to date.

TIF 2

1. **ABC Weston, 3200 & 3202 Schofield Avenue** – Final Occupancy Issued for Building 1 – Weston House Café & Adventure Awaits businesses opened in May 2024. No building permit has been received yet for Building 2. Board approved giving them 50% of the original \$115,470 for building #1 (or \$57,735). All new/updated plans for building 1 and 2 have been approved as of November 2024. Development Agreement has also been updated as of 11/24. Staff has received the state approval letter for building 2 as of 12/3/24 however no permits have been pulled to date. Adventure Awaits left this location in August and we received a zoning permit and sign permit for a new gym, Iron House Gym in late August. At the occupancy inspection for the gym, building inspection staff noticed road base has



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been added to the location where building 2 would be located. This area should be grass if not moving forward with building 2. They have been notified of this and asked to remove it. The 2nd payment for building 1 was issued 6/26/25. The project is complete to date. Development Agreement expires 12/31/26.

2. **Lokre/Stehr Retail Multi-tenant Building 2302 Schofield Avenue**— Project received its Certificate of Completion in October. The remaining TIF funds were also distributed. This project is closed.
3. **Wendy's, 5401 Business Hwy 51** – Project Completion Inspection needs to be scheduled. I recently approved a CSM to create a 2 lot CSM at this location.

Outside TIF

1. **Badgerland Industries** – building addition approved 4/14/23. Building permit issued 5/22/23 Under construction. No final has been requested. Inspections followed up on this on 2/5/25 and met for an inspection. We are still waiting for some emergency egress information from the contractor before we can close out the project.
2. **Beyond the Office Door** – 7/25/23 building permit issued. Under construction. No final has been requested. Inspections need to follow up on this.
3. **TA Hoffman Warehouse Suites, 5804 Wayfair Ave** – Nothing new on this one. Building permit issued. Dumpster enclosure area has been completed along with the parking lot expansion needed because of Adventure Awaits moving to this location. Sign electrical needs to be buried and then we should be able to issue final completion.
4. **BUG Properties** – CUP received, and site plan approved by PC. Development Agreement finally signed January 2nd. Building permit issued 2/13/24. Still under Construction.
5. **Central WI Powersports** – Site plan review for a small (1089 sq ft) cold storage building at this business was approved in April. Erosion control plans were



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Planning & Development Director

submitted and approved in July. Building permit issued in early September 2024. Project Completion is needed.

6. **Ryan Street Storage Units** – Developer has revised the site plan to include a smaller project. The CUP was amended in November 2024. Occupancy Certificates were issued for buildings E, F, G & H as of 4/3/25 and they have the ok to rent those out as the fence and gate have been fully installed. The developer asked and received in October a site plan and timeline change. A Project Completion Inspection will need to be scheduled and the project closed out.
7. **Koble Investments 8-unit Apartment on Foothill** – Under Construction - 8-unit apartment building. Site plan approved 11/7/24. Building Permit issued 11/19/24. Temporary occupancy received on the project in early August. Works is still be doing on the outside site plan amenities like landscaping and lighting.
8. **Green Tree Acres Final Plat** – Subdivision Plat and Development Agreement recorded. Phase 1 roads are complete. A few homes in Phase 1 are nearing completion. Replat was approved in March 2025. State review was done in July and the replat just finally recorded. Homes under construction.
9. **Arrowhead Estates First Addition** – Subdivision Plat was approved and recorded in April 2024. Under construction. DA has been amended. All lots are now sold. Many homes are under construction. First home received occupancy in August.
10. **Granite Ridge Subdivision** – Final plat was approved in October 2025. Staff is working through the phasing and development agreement with the applicant.
11. **Bull Junior View Subdivision - Reedy Subdivision off of Shorey Ave** – Chris Reedy is proposing a 23 lot Subdivision. All lots are around 1 acre or more so there needs to be a rezone request. It's anticipated the rezone public hearing will be heard by the PC in December along with the preliminary plat.
12. **Hinner Springs First Addition Multi-family property** – We met with Timber Ridge Builders first in August on what they would like to do with the multi-family lot in Hinner Springs First Addition. We met again this past week and they are planning to come forth with a re-plat of some of the lots. They will remain zoned



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MF however they plan to build a mix of single-family homes and duplex/twin home lots. We could see a plat as early as next month.

13. **Weston Marketplace** – General Development Plan (GDP) Amendment approved in September 2025. Have not received the Specific Implementation Plan (SIP) yet for the Dunkin/Baskin Robbins building yet.